

# LOMA DRIVE CONDOS

SCHEMATIC DESIGN SET - 10/09/2025

BUILDING DEPT STAMP

PLANNING DEPT STAMP

ENG. STAMP

DESIGNER

**small fab lab**

CONTRACTOR

**IODA  
CONSTRUCTION, INC.**

PROJECT NUMBER: 20250504  
 PROJECT DESIGNER: A. IODA  
 PROJECT ENGINEER: M. NAMVAR  
 DESIGNER SIGNATURE: \_\_\_\_\_

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT

MAL LOMA, LLC  
 326 S PACIFIC COAST  
 HIGHWAY #206, REDONDO  
 BEACH, CA 90277

## LOMA DRIVE CONDOS

722 & 714 Loma Drive  
 Hermosa Beach, CA 90254

SHEET NAME



### CONSULTANTS

**BUILDING DESIGN**  
 SMALL FAB LAB  
 217 S PROSPECT AVE  
 REDONDO BEACH, CA 90277

T: 310-750-7540

**STRUCTURAL ENGINEER**  
 NAMVAR ASSOCIATES  
 231 VISTA DEL MAR, SUIT # D  
 REDONDO BEACH, CA 90277

T: 310-540-7788

**CIVIL ENGINEER**  
 AZAD CONSULTING ENGINEERS  
 2340 FOX HILLS DR. #305  
 LOS ANGELES, CA 90064

T: 818-497-2923

**CONSTRUCTION**  
 IODA CONSTRUCTION, INC.  
 326 PACIFIC COAST HIGHWAY  
 REDONDO BEACH, CA 90277

T: 310-750-7541

**SURVEY ENGINEER**  
 DENN ENGINEERS  
 3914 DEL AMO BLVD.  
 TORRANCE, CA

T: 310-542-9433

**TITLE-24 ENERGY COMPLIANCE**  
 CAMPBELL CONSULTING  
 14671 W HARVARD STREET  
 GOODYEAR, AZ 85395

T: 310-345-2761

**LANDSCAPE DESIGN**  
 SMALL FAB LAB  
 217 S PROSPECT AVE  
 REDONDO BEACH, CA 90277

T: 310-750-7540

### COVER SHEET

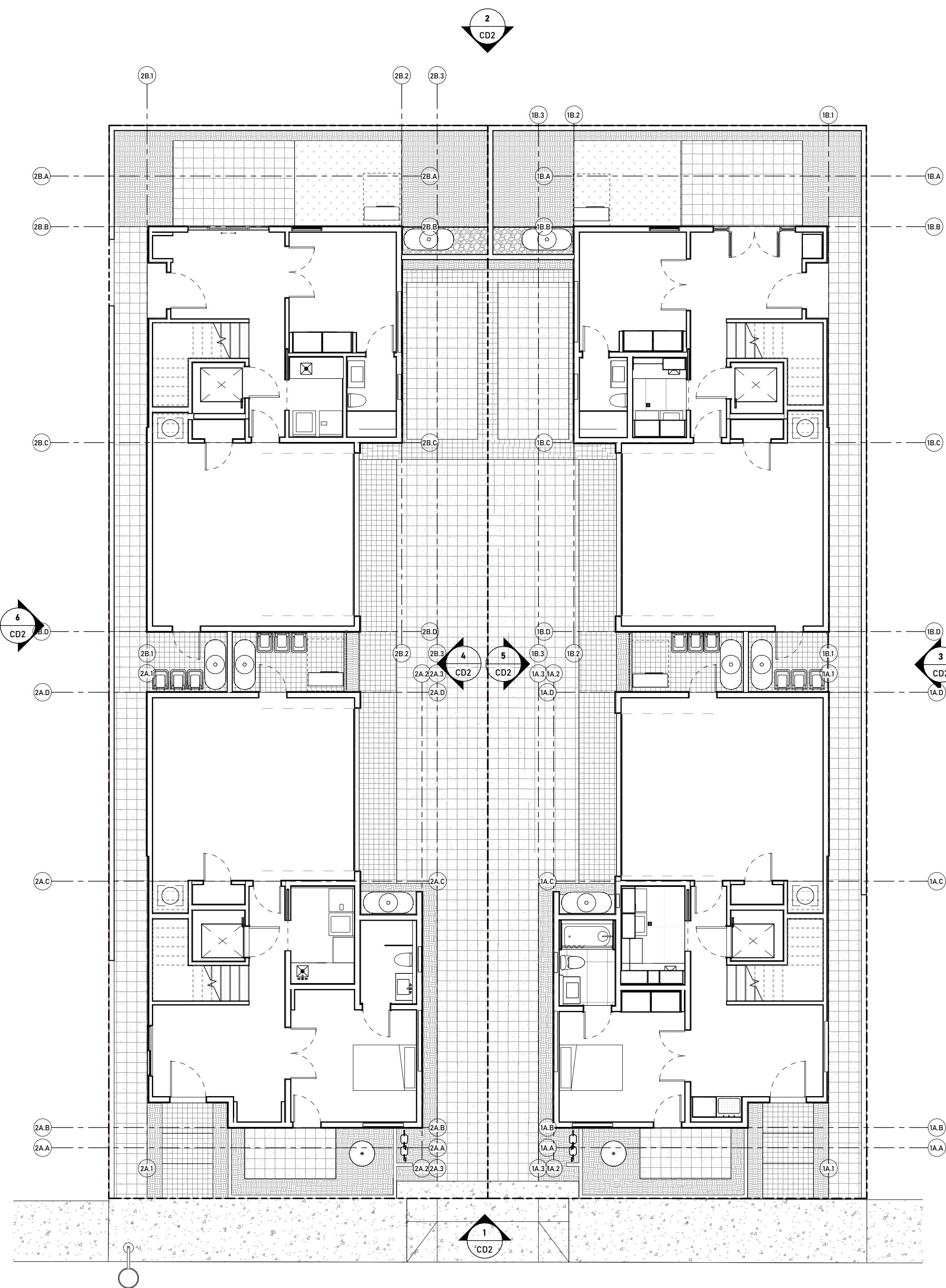
SHEET NUMBER

**6000**

PLOT DATE:

10/7/2025 2:11:32 PM





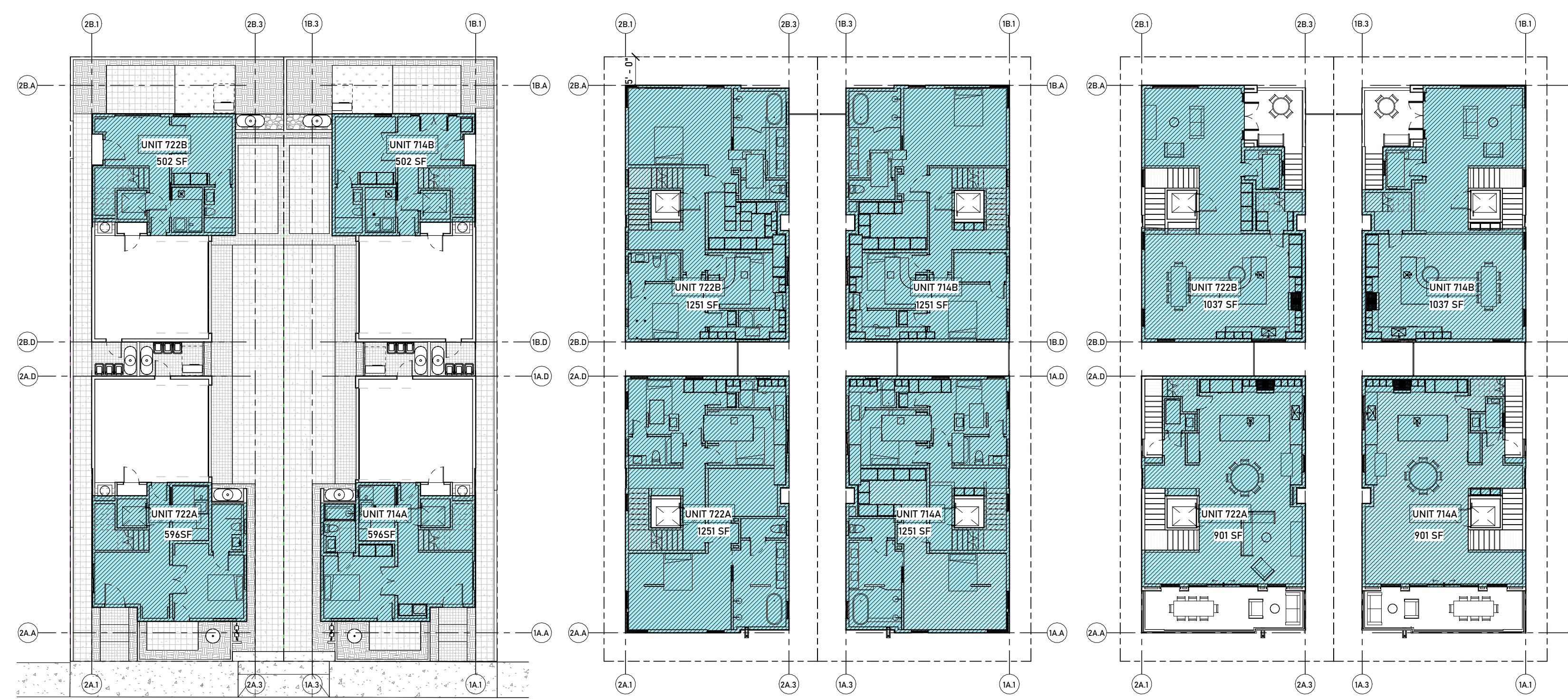
**FIRE SITE PLAN**  
SCALE: 1/8" = 1'-0"

11  
G002



**OPEN SPACE DIAGRAM**  
SCALE: 1/16" = 1'-0"

2  
G002



**LIVING AREA DIAGRAM LEVEL 1**  
SCALE: 1/16" = 1'-0"

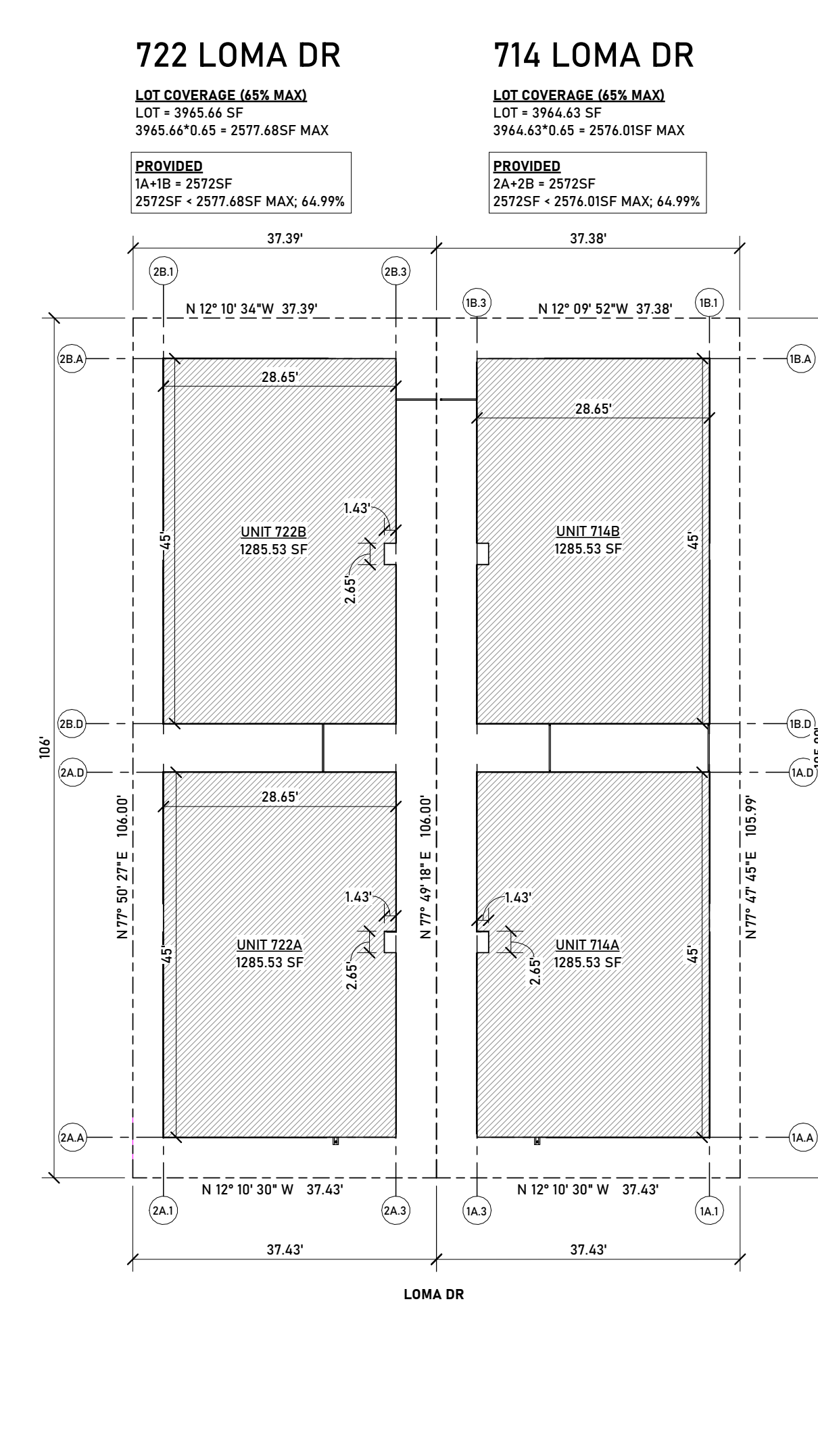
6  
G002

**LIVING AREA DIAGRAM LEVEL 2**  
SCALE: 1/16" = 1'-0"

5  
G002

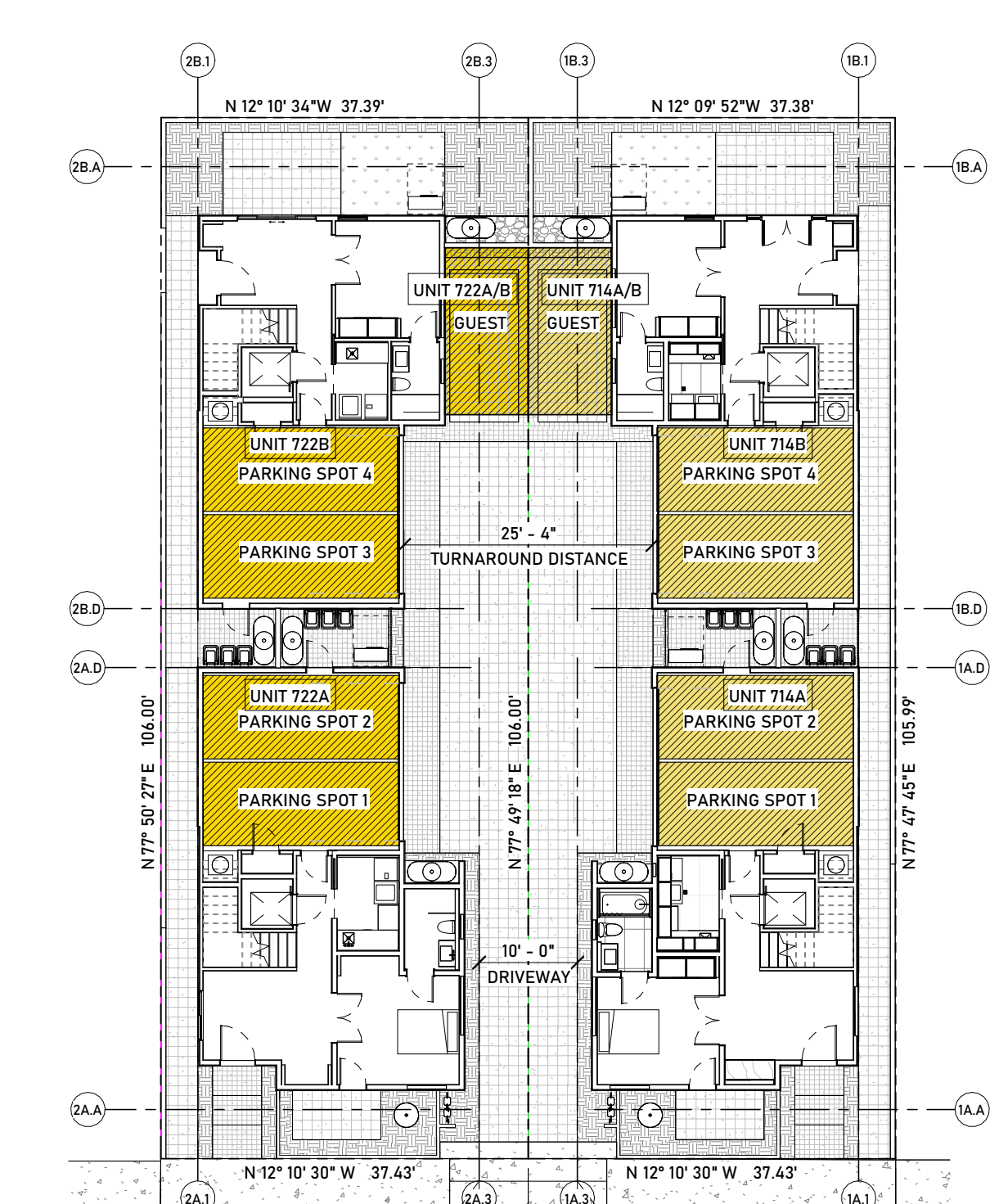
**LIVING AREA DIAGRAM LEVEL 3**  
SCALE: 1/16" = 1'-0"

4  
G002



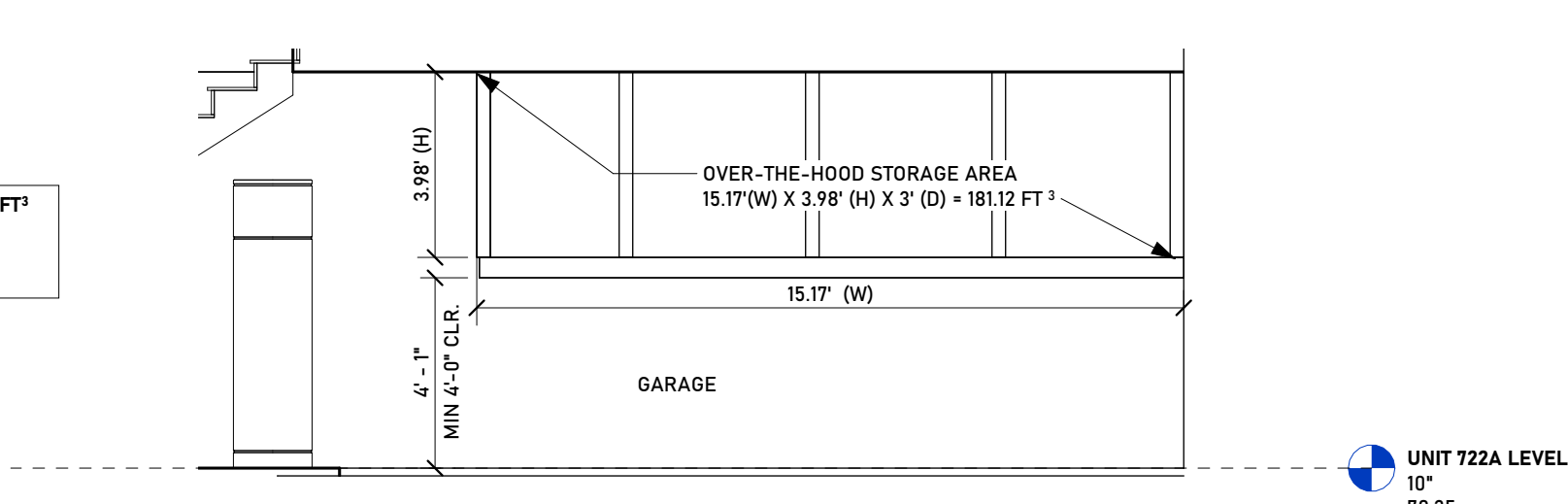
**LOT COVERAGE DIAGRAM**  
SCALE: 1/16" = 1'-0"

1  
G002



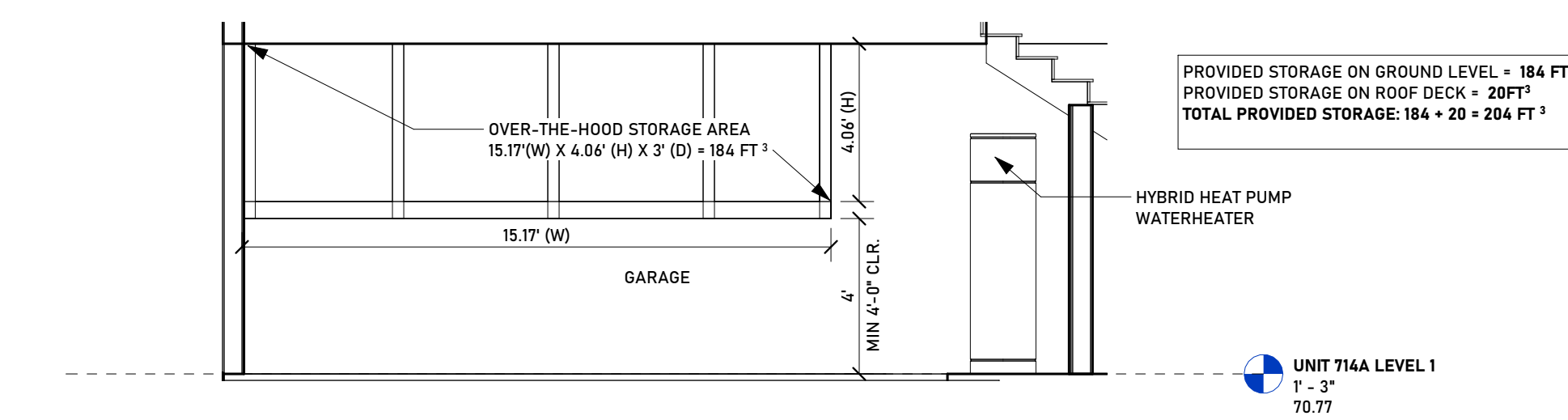
**PARKING DIAGRAM**  
SCALE: 1/16" = 1'-0"

3  
G002



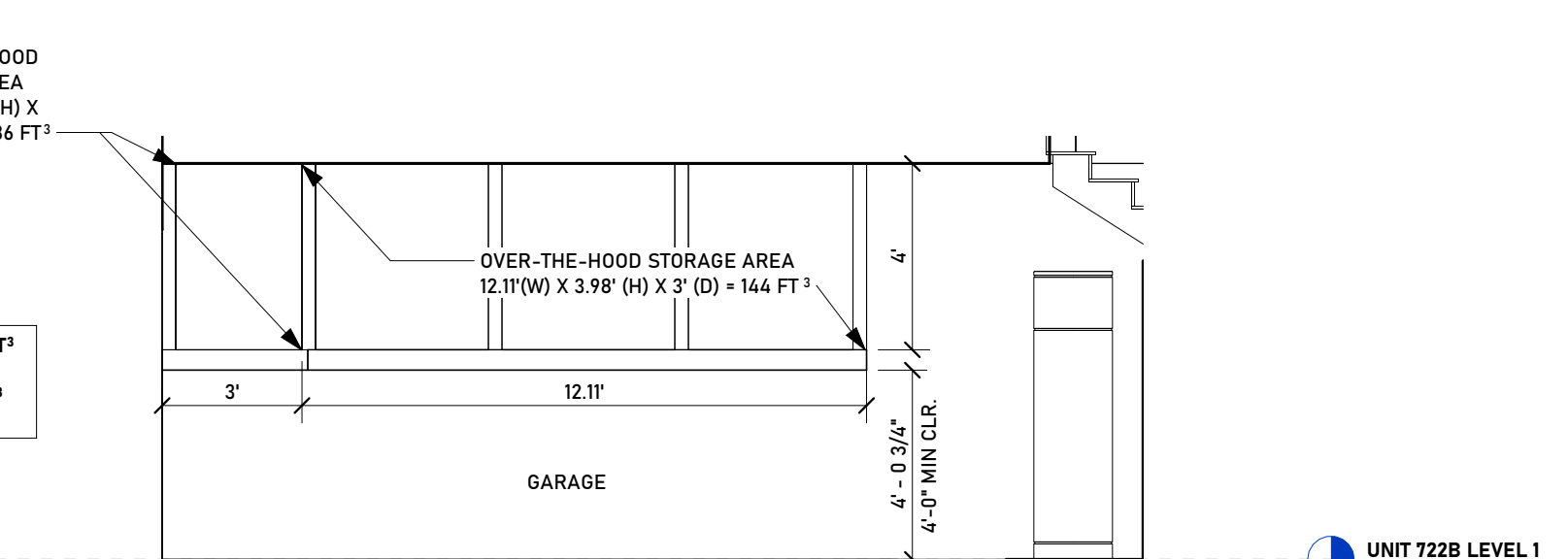
**722A - GARAGE STORAGE AREA ELEVATION**  
SCALE: 1/4" = 1'-0"

8  
G002



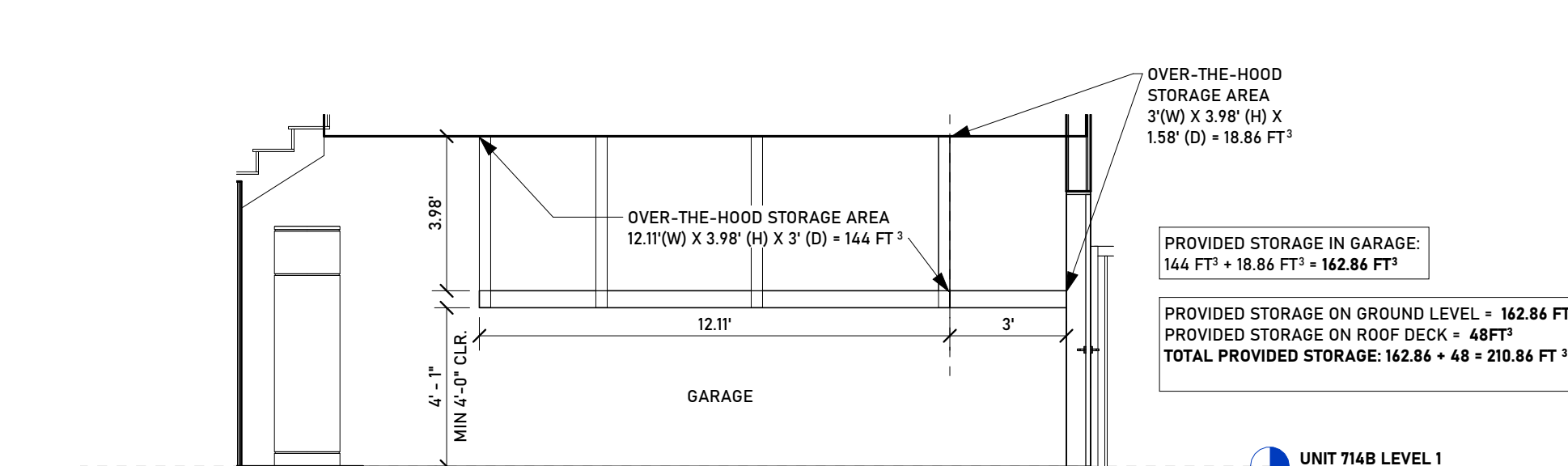
**714A - GARAGE STORAGE AREA ELEVATION**  
SCALE: 1/4" = 1'-0"

7  
G002



**722B - GARAGE STORAGE AREA ELEVATION**  
SCALE: 1/4" = 1'-0"

10  
G002



**714B - GARAGE STORAGE AREA ELEVATION**  
SCALE: 1/4" = 1'-0"

9  
G002

**City of Hermosa Beach**  
Community Development Department | Planning Division  
1315 Valley Drive, Hermosa Beach, CA 90254  
p: 310-318-0242 | e: [planning@hermosabeach.gov](mailto:planning@hermosabeach.gov)  
Office Hours: Monday - Thursday 7:00 AM - 6:00 PM

**Water Efficient Landscape Ordinance (WEL) Determination**

**Applicant Information**  
Applicant Name: MAL LOMA LLC  
Telephone Number: 310-750-7541  
Applicant Address: 326 S. Pacific Coast Hwy #206 Redondo Beach, CA 90277

**Project Information**  
Project Name: LOMA DR. CONDOS  
Project Address: 714 LOMA DR. HERMOSA BEACH, CA 90254  
Project Type (Residential, Commercial, Rehabilitated): RESIDENTIAL

**Check One:**  
 Currently, this project does not include landscaping. I am aware that future landscape installations may be required to comply with the Model Water Efficient Landscape Ordinance (MWELO) requirements per California Code of Regulations, Title 23, Division 2, Chapter 2.7.  
 This project does not incorporate landscaping but does not meet the WELO threshold.  
 This project does incorporate landscaping and meets the WELO threshold for additional review. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used.)

Total Landscape Area (square feet): 2207 SF  
 Turf Area (square feet): 0 SF  
 Non-Turf Plan Area (square feet): 2207 SF  
 Special Landscape Area (square feet): N/A  
 Water Type (potable, recycled, well): RECYCLED FROM RAIN BARRELS

**Compliance Method**  
 Performance Method for landscape projects between 500 and 2,499 square feet.  
 Prescriptive Method for landscape projects between 500 and 2,499 square feet.  
 Prescriptive Method for landscape projects greater than 2,499 square feet (items included in Prescriptive Checklist are included on plan).

**Signatures**  
 "I certify the above information is correct and agree to comply with the requirements of the WELO."  
 Signature of Property Owner or Authorized Representative: \_\_\_\_\_ Date: 08/19/2025

**City of Hermosa Beach**  
Community Development Department | Planning Division  
1315 Valley Drive, Hermosa Beach, CA 90254  
p: 310-318-0242 | e: [planning@hermosabeach.gov](mailto:planning@hermosabeach.gov)  
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 Turf Area (square feet): 0 SF  
 Non-Turf Plan Area (square feet): 2207 SF  
 Special Landscape Area (square feet): N/A  
 Water Type (potable, recycled, well): RECYCLED FROM RAIN BARREL

**Compliance Method**  
 Performance Method for landscape projects between 500 and 2,499 square feet.  
 Prescriptive Method for landscape projects between 500 and 2,499 square feet.  
 Prescriptive Method for landscape projects greater than 2,499 square feet (items included in Prescriptive Checklist are included on plan).

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BUILDING DEPT STAMP

PLANNING DEPT STAMP

ENG. STAMP

DESIGNER

**small fab lab**

CONTRACTOR

**IODA CONSTRUCTION, INC.**

PROJECT NUMBER: 20250504  
 PROJECT DESIGNER: A. IODA  
 PROJECT ENGINEER: M. NAMVAR  
 DESIGNER SIGNATURE: \_\_\_\_\_

NO.	DATE	DESCRIPTION

PROJECT PHASE

**SCHEMATIC DESIGN SET**

CLIENT / PROJECT

**MAL LOMA, LLC**  
 326 S PACIFIC COAST  
 HIGHWAY #206, REDONDO  
 BEACH, CA 90277

**LOMA DRIVE CONDOS**

722 & 714 Loma Drive  
 Hermosa Beach, CA 90254

SHEET NAME

**CODE COMPLIANCE DIAGRAMS**

SHEET NUMBER

**G002**

PLOT DATE: 10/7/2025 2:11:41 PM



## BOUNDARY SURVEY WITH TOPOGRAPHY

FOR  
IODA CONSTRUCTION  
ANNABELLA IODA - GUL  
326 S. PACIFIC COAST HIGHWAY, SUITE 206  
REDONDO BEACH, CA 90277  
PHONE 310-750-7541

### JOB ADDRESS

714 & 722 LOMA DRIVE  
HERMOSA BEACH, CA 90254

### LEGAL DESCRIPTION

LOT 7 & SLY HALF OF LOT 8, BLOCK V, TRACT NO. 2002,  
M.B. 22-152-155, APN 4187-030-011; AREA=3,965 SF

LOT 9 & NLY HALF OF LOT 8, BLOCK V, TRACT NO. 2002,  
M.B. 22-152-155, APN 4187-030-012; AREA=3,966 SF

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY  
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF  
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY: FM CHECK BY: TS

DRAWN ON: MARCH 19, 2025

REVISIONS

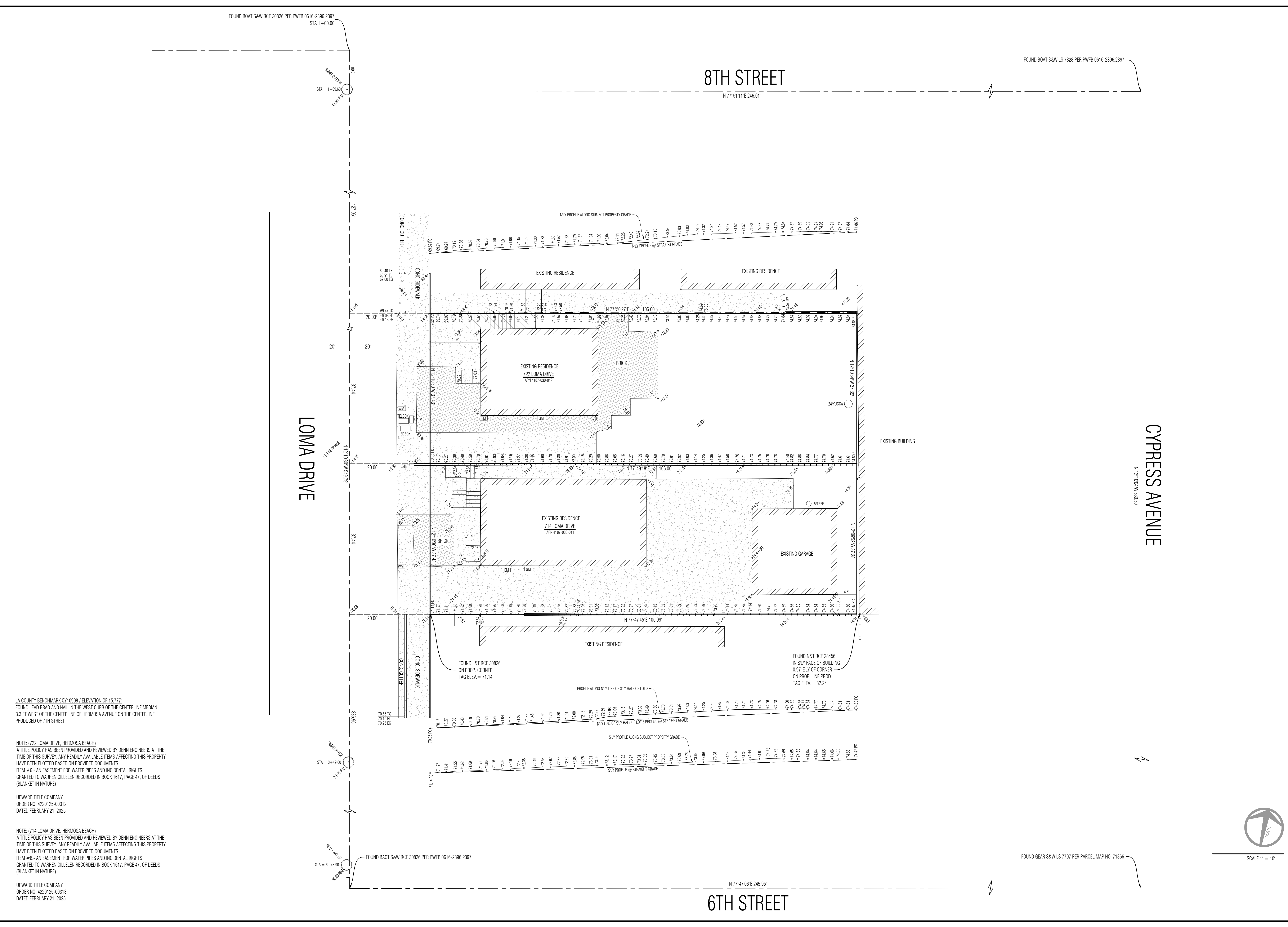
### LEGEND

- EXISTING BUILDING
- BRICK
- CONCRETE
- WOOD DECK
- +106.76 EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BCR BEGINNING OF CURB RETURN
- CATV CABLE TV PULL BOX
- CONC. GUTTER CONCRETE
- CHANN. CHIMNEY
- CFB CITY ENGINEER FIELD BOOK
- CA. CENTERLINE
- C/L / W.L.F. CHAIN LINK FENCE / WROUGHT IRON FENCE
- ELY. EASTERLY
- EG. EDGE OF GUTTER
- EM. ELECTRIC METER
- FF. FINISH FLOOR
- FH. FRESH FLOOR
- FL. FLOWLINE
- GF. GARAGE FINISH FLOOR
- GM. GAS METER
- GW. GUY WIRE
- I.P. IRON PIPE MONUMENT
- L&T. LEAD AND TACK TAG MONUMENT
- MH. MANHOLE (SANITARY SEWER) / STORM DRAIN
- NLY. NORTHERLY
- N&T / N&W. NAIL AND TAG / NAIL AND WASHER MONUMENT
- PB. PULL BOX (EDISON) / TRAFFIC / STREET LIGHT
- PE (CONT). TELEPHONE / CABLE TV
- PC. PROPERTY CORNER / PROP. CORNER
- PL. PROPERTY LINE / PROP. LINE
- PP / UP. POWER POLE / UTILITY POLE
- PFB. FIREARREST
- PWF. PUBLIC WORKS FIELD BOOK
- R.R. RAIL ROAD
- RFB. ROAD DEPARTMENT FIELD BOOK
- R.S. RECORD OF SURVEY
- SPV / S&W. SPIKE / SPRING AND WASHER MONUMENT
- SLY. SOUTHERLY
- SSOO. SANITARY SEWER CLEANOUT
- STV. / ST&T. STAKE / STAKE AND TAG MONUMENT
- SLY / LT. STREET LIGHT POLE / LIGHT POLE
- TC. TOP OF CURB
- TX / BK. TOP OF APRON / BOTTOM OF APRON
- WLY. WESTERLY
- WM. WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED.  
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

### COPYRIGHT

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT DENN ENGINEERS' RISK AND UNDER NO CIRCUMSTANCES SHALL DENN ENGINEERS BE RESPONSIBLE FOR ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



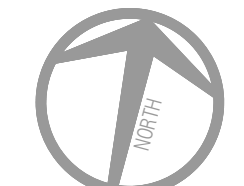
LA COUNTY BENCHMARK QY10908 / ELEVATION OF 15.777  
FOUND LEAD BRAD AND NAIL IN THE WEST CURB OF THE CENTERLINE MEDIAN  
3.3 FT WEST OF THE CENTERLINE OF HERMOSA AVENUE ON THE CENTERLINE  
PRODUCED OF 7TH STREET

NOTE: (722 LOMA DRIVE, HERMOSA BEACH)  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE  
TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY  
HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.  
ITEM #6 - AN EASEMENT FOR WATER PIPES AND INCIDENTAL RIGHTS  
GRANTED TO WARREN GILLEN RECORDED IN BOOK 1617, PAGE 47, OF DEEDS  
(BLANKET IN NATURE)

UPWARD TITLE COMPANY  
ORDER NO. 4220125-00312  
DATED FEBRUARY 21, 2025

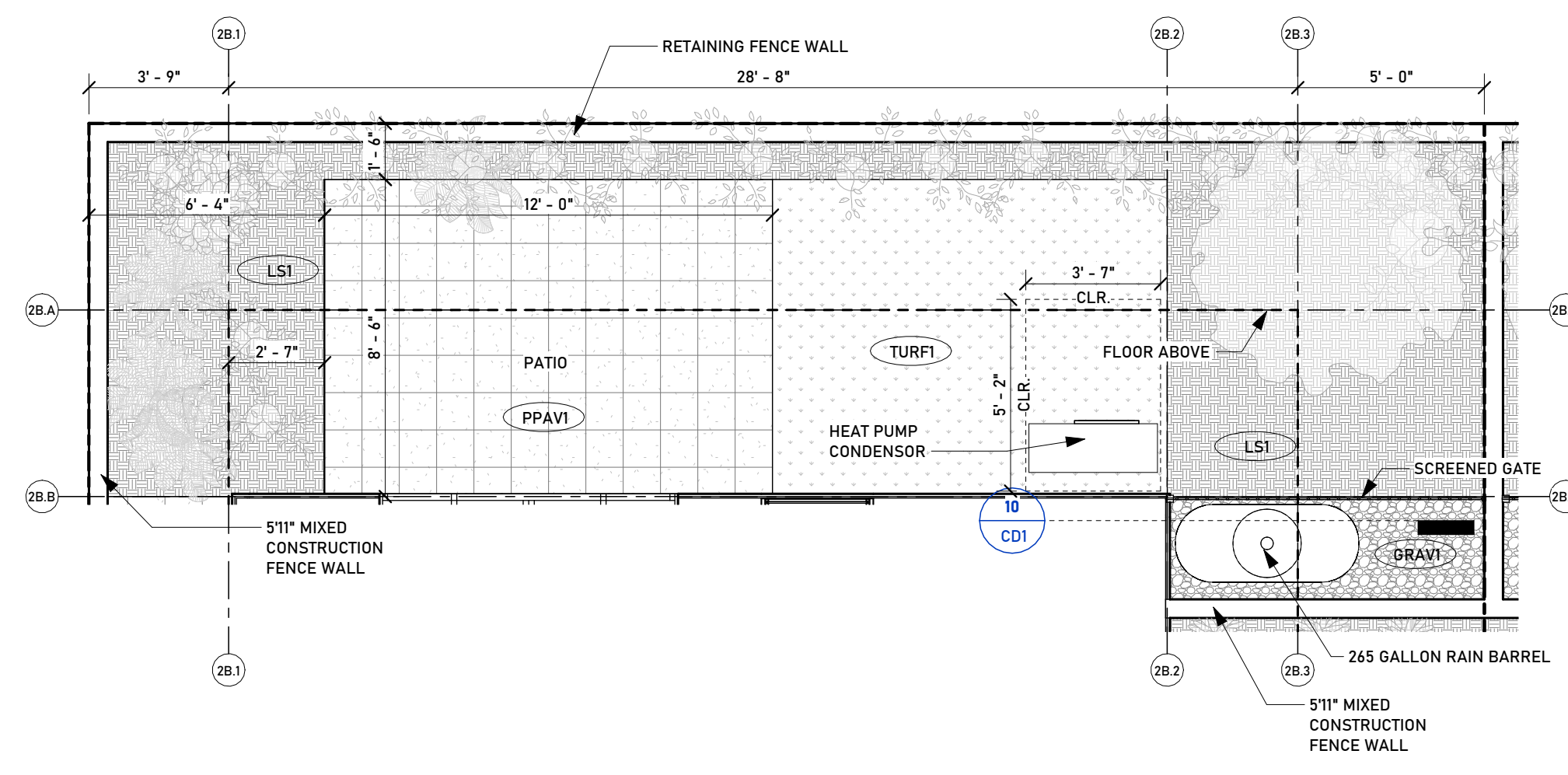
NOTE: (714 LOMA DRIVE, HERMOSA BEACH)  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE  
TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY  
HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.  
ITEM #6 - AN EASEMENT FOR WATER PIPES AND INCIDENTAL RIGHTS  
GRANTED TO WARREN GILLEN RECORDED IN BOOK 1617, PAGE 47, OF DEEDS  
(BLANKET IN NATURE)

UPWARD TITLE COMPANY  
ORDER NO. 4220125-00313  
DATED FEBRUARY 21, 2025

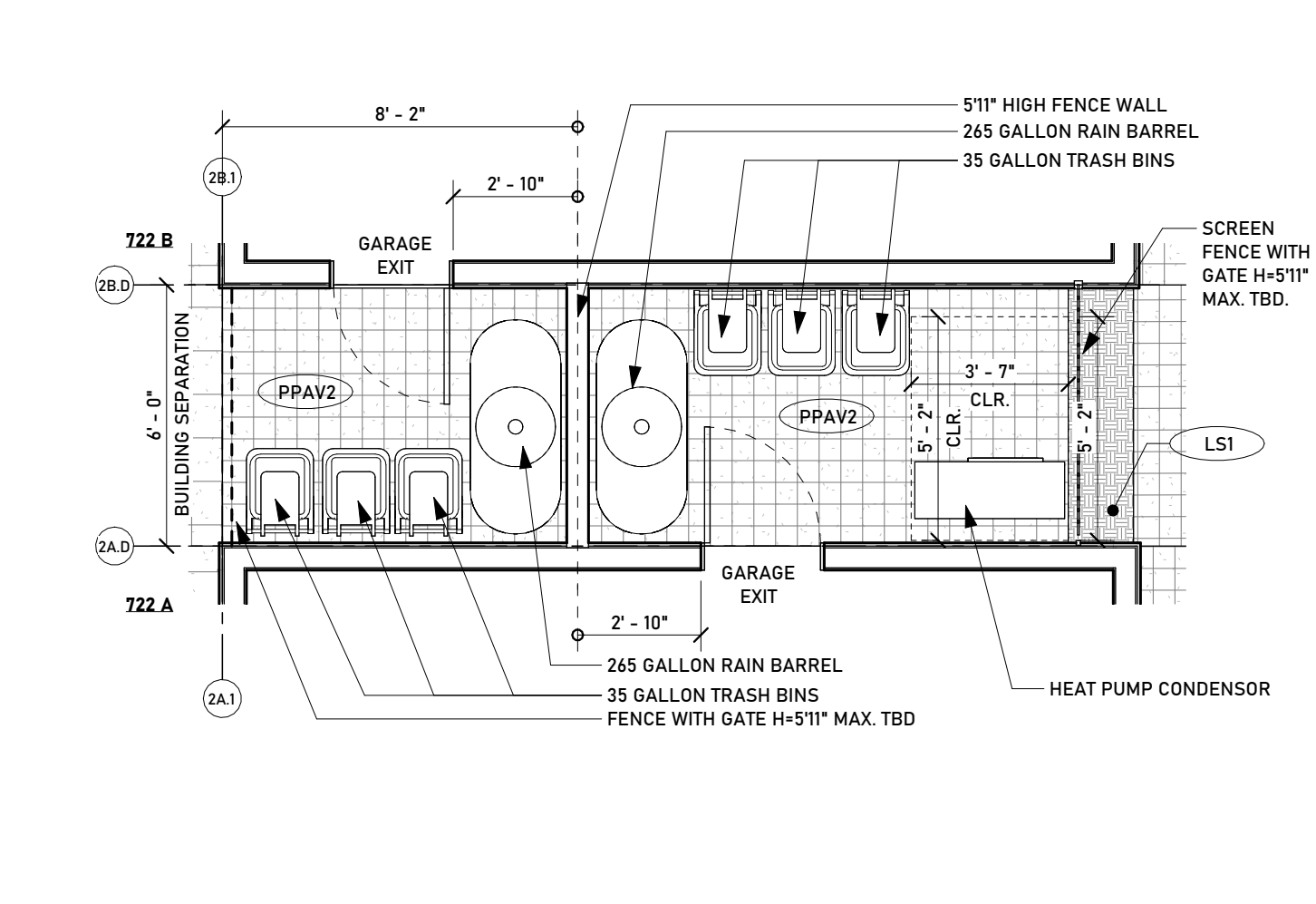


SCALE 1" = 10'

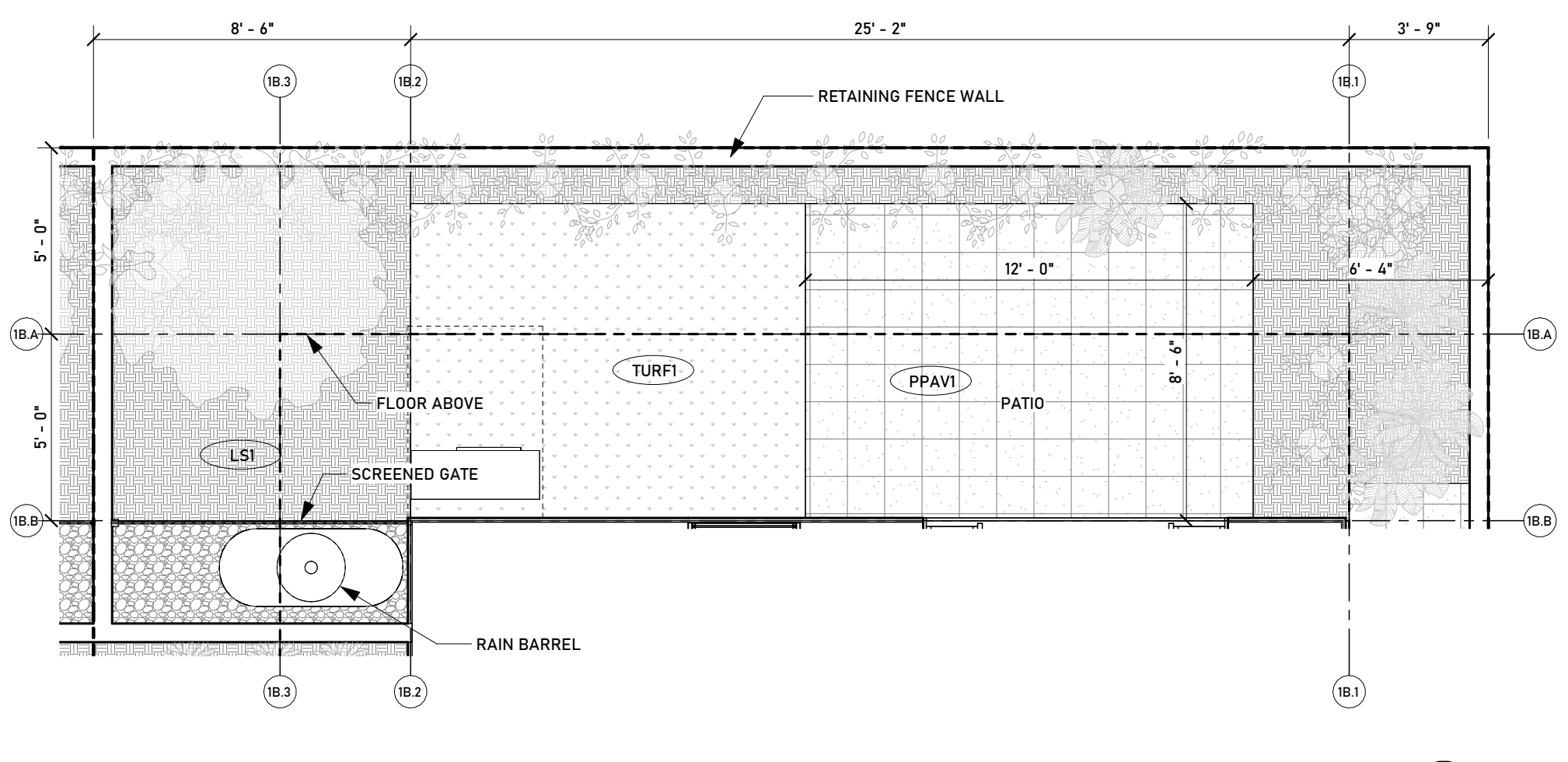
REVISIONS	
NO.	DESCRIPTION



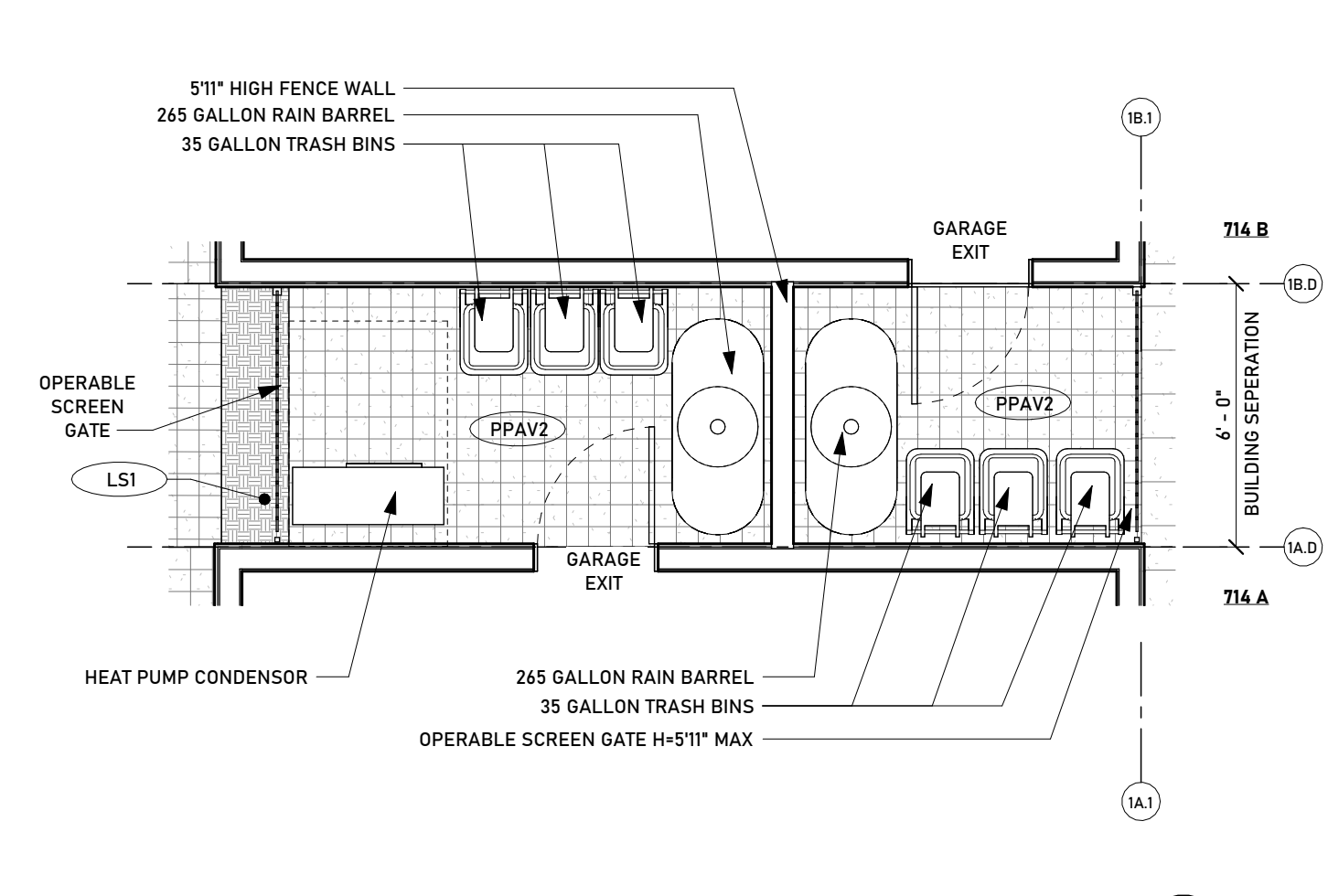
**722B REAR YARD ENLARGED PLAN**  
SCALE: 1/4" = 1'-0"



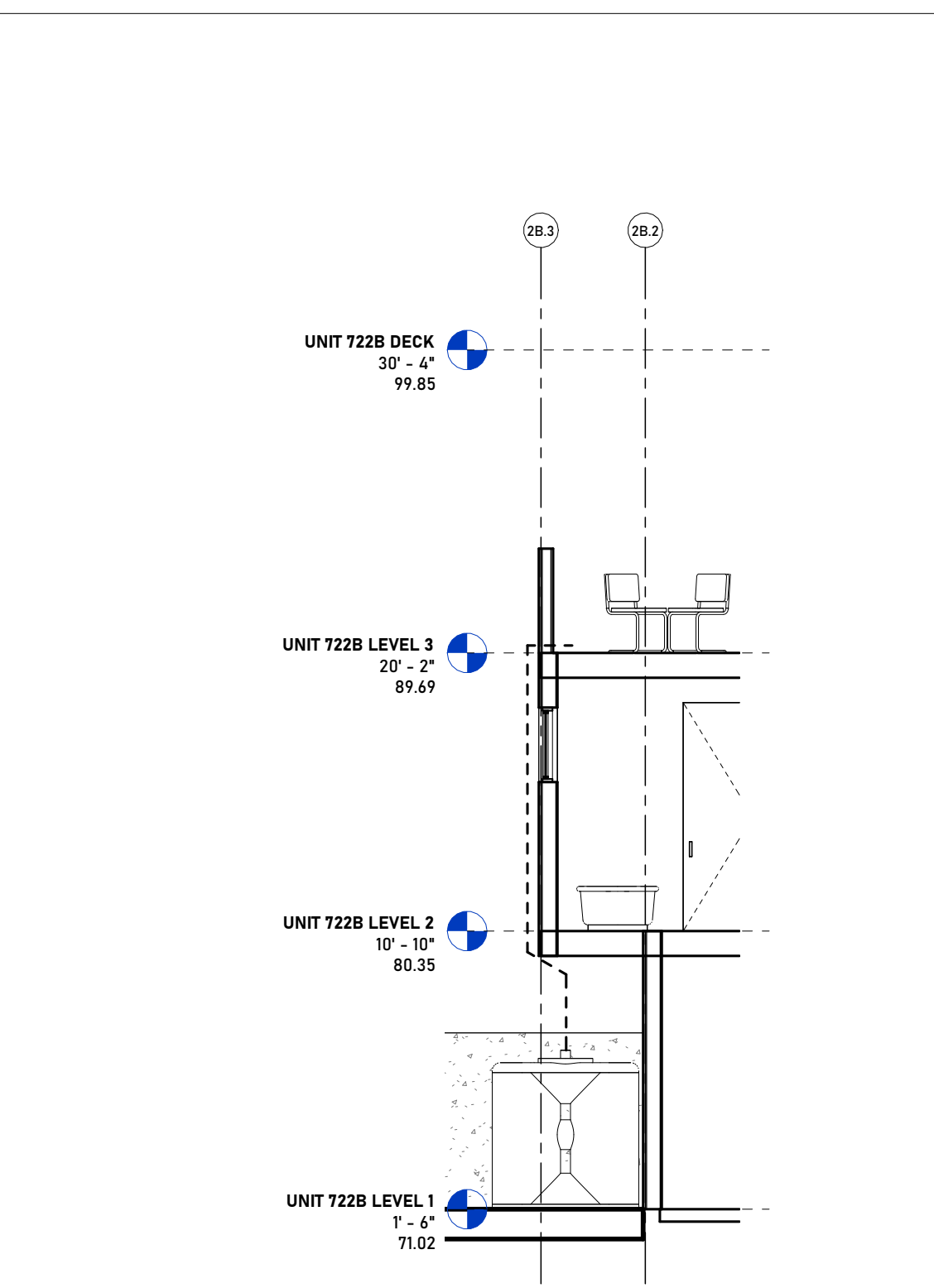
**722 - BUILDING SEPARATION YARD**  
SCALE: 1/4" = 1'-0"



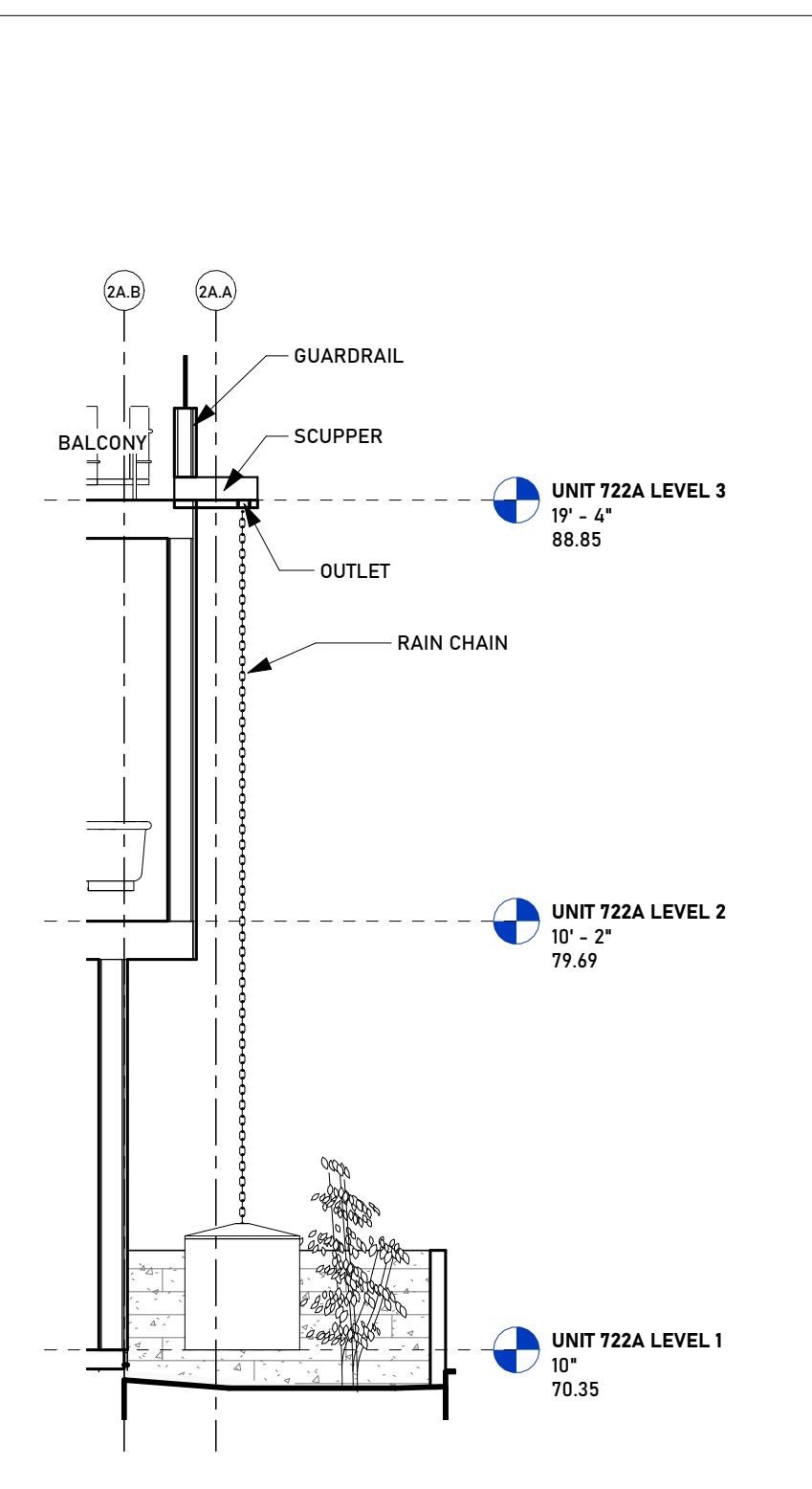
**714 B REAR YARD ENLARGED PLAN**  
SCALE: 1/4" = 1'-0"



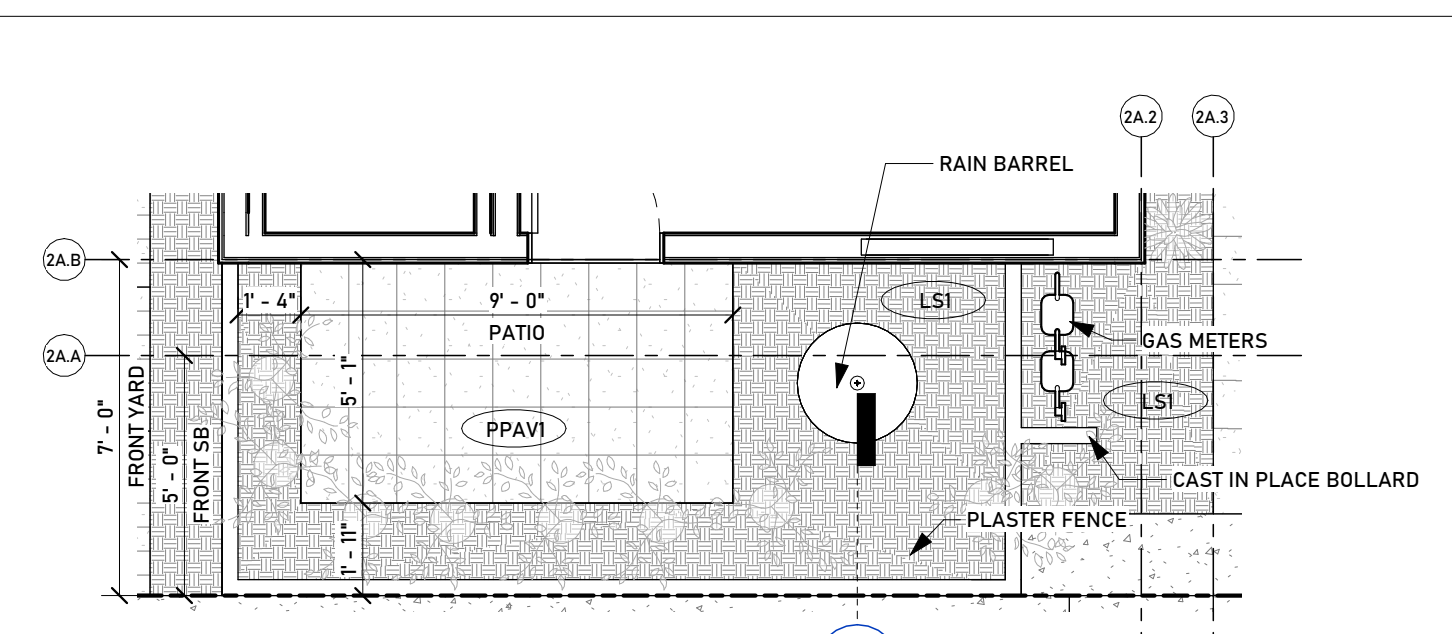
**714- BUILDING SEPARATION YARD**  
SCALE: 1/4" = 1'-0"



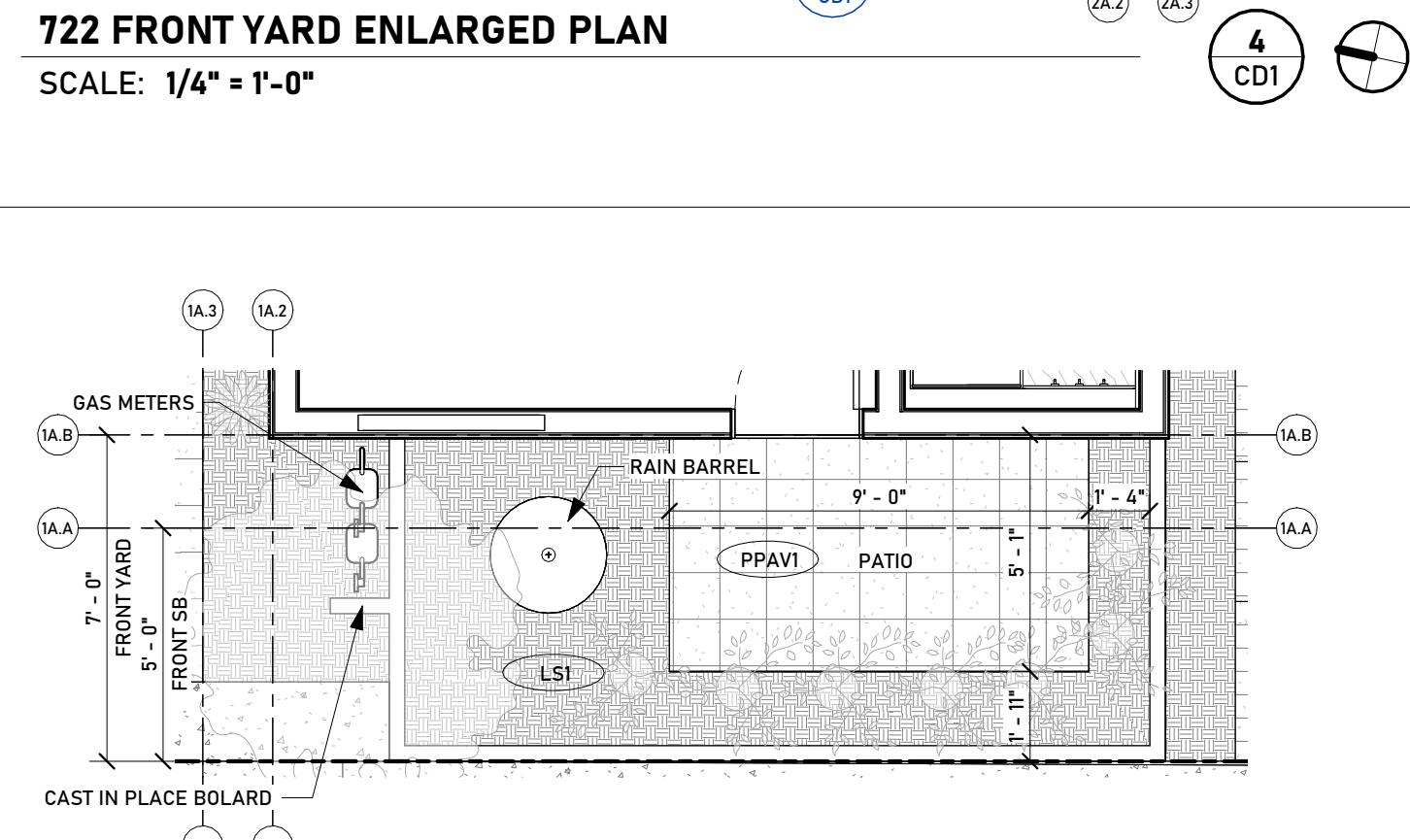
**RAIN BARREL SCTN. @ REAR**  
SCALE: 3/16" = 1'-0"



**RAIN CHAIN SECTION**  
SCALE: 1/4" = 1'-0"



**722 FRONT YARD ENLARGED PLAN**  
SCALE: 1/4" = 1'-0"



**714 FRONT YARD ENLARGED PLAN**  
SCALE: 1/4" = 1'-0"

**NOTES**

- ACCESS GATES TO NOT CONTAIN ANY LOCKING MECHANISM
- 42" MAXIMUM WALL HEIGHT AT FRONT SETBACK.
- 6'-0" MAXIMUM WALL HEIGHT ALONG SIDE AND REAR SETBACKS & YARDS.
- BOX TREE TO BE PLANTED MIN. 5' FROM SIDEWALK. SEE LANDSCAPE PLAN FOR PLANT LOCATIONS AND TYPE.
- NO PORTIONS OF THE BUILDING HAVE BEEN EXCLUDED FROM THE BUILDING AREA ANALYSIS.
- ALL AREAS, INCLUDED BUT NOT LIMITED TO SHAFTS, STORAGE ROOMS, BATHROOMS, EQUIPMENT ROOMS AND UNOCCUPIED SPACES HAVE BEEN INCLUDED IN THE BUILDING AREA
- VERIFY ARCHITECTURAL SITE PLAN AGAINST THE CIVIL GRADING AND DRAINAGE PLANE PRIOR TO CONSTRUCTION. COORDINATE ANY DISCREPANCIES WITH PROJECT DESIGNER.

**LOT COVERAGE - 722 LOMA**

LOT AREA	3965.66 SF	
BUILDING GROUND COVERAGE	1940 SF	48.92%
PERVIOUS PATIOS	146 SF	3.68%
LANDSCAPING & TURF	3465 SF + 4505 SF	11.33%
PERVIOUS DRIVEWAYS	1030 SF	25.97%
PERVIOUS WALKWAYS	313 SF	7.89%
SITE WALLS / OTHER	261 SF	2.39%

**LOT COVERAGE - 714 LOMA**

LOT AREA	3964.63 SF	
BUILDING GROUND COVERAGE	1940 SF	48.93%
PERVIOUS PATIOS	146 SF	3.68%
LANDSCAPING & TURF	3465 SF + 4505 SF	11.33%
PERVIOUS DRIVEWAYS	1030 SF	25.98%
PERVIOUS WALKWAYS	313 SF	7.89%
SITE WALLS / OTHER	85.63 SF	2.16%

**HARDSCAPE LEGEND**

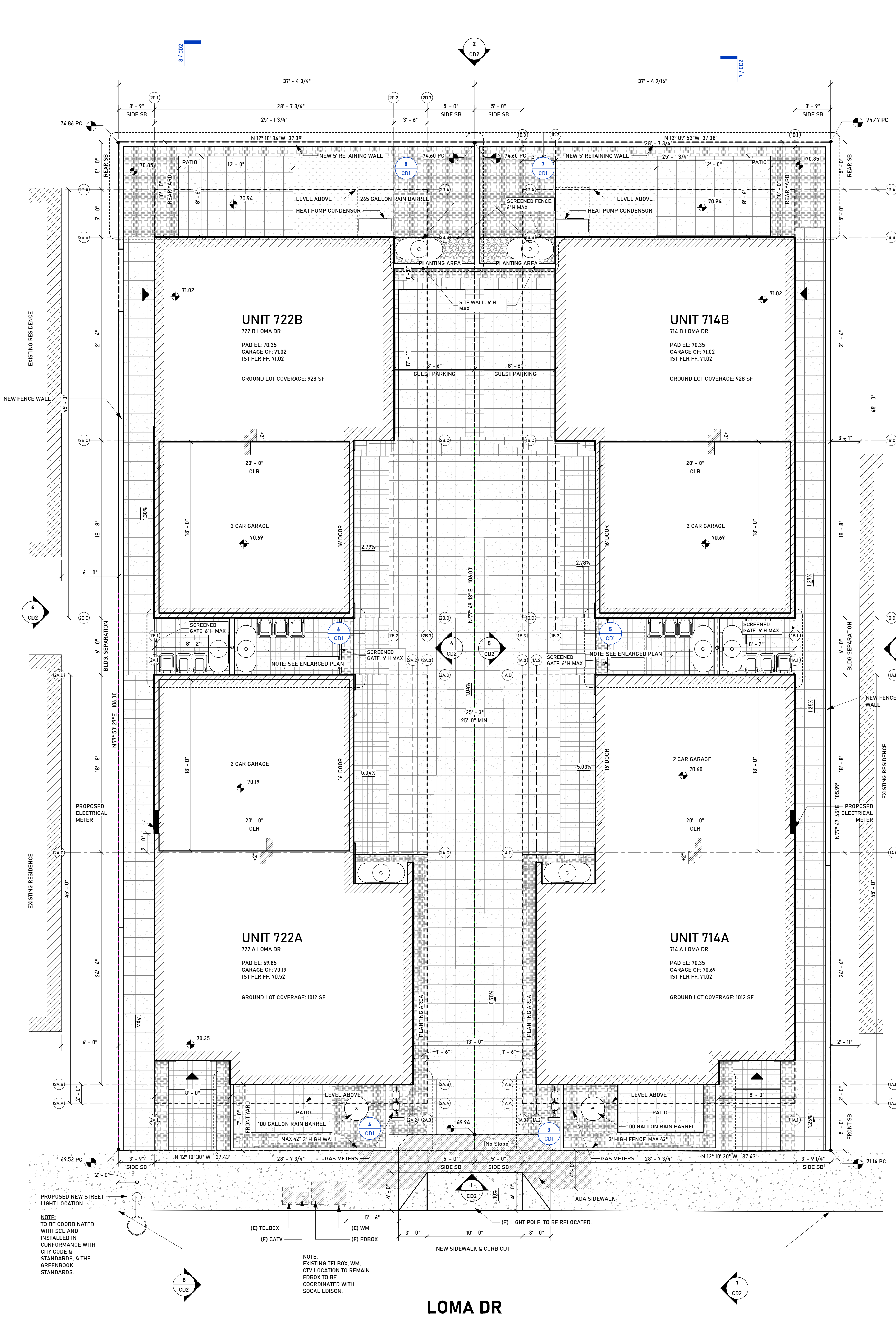
PATTERN	NAME	TOTAL AREA
[Pattern]	CONC2 - CONCRETE - CITY MK @ SIDEWALK	TBD
[Pattern]	PPAV - 12 x 12 PERVIOUS PAVERS, COLOR TBD, PATTERN TBD	2564 SF
[Pattern]	PPAV2 - 6 x 6 PERVIOUS PAVERS, COLOR TBD, PATTERN TBD	1850 SF
	<b>4414 SF TOTAL</b>	

**SOFTSCAPE LEGEND**

PATTERN	NAME	TOTAL AREA
[Pattern]	DARK MULCH W/ LIVE PLANTING	720 SF
[Pattern]	LIVE GRASS OR TURF	180 SF
	<b>900 SF TOTAL</b>	

**GRADING**

CUT	809 CU. YDS
FILL	0
TOTAL YDS	809 CU. YDS

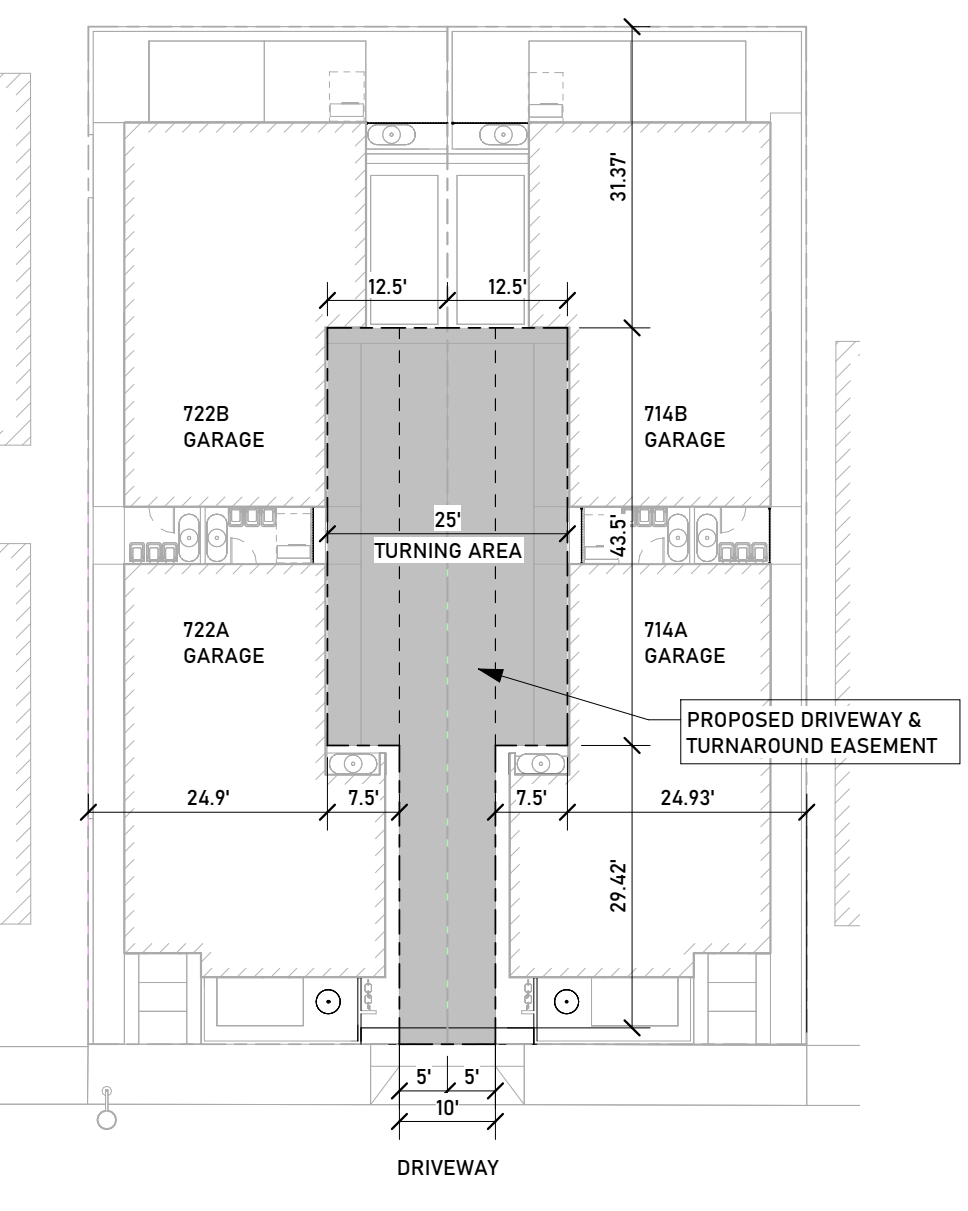


**LOMA DR**

**SITE PLAN**

SCALE: 3/16" = 1'-0"

NOTE: A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB PRIOR TO THE FIRST INSPECTION.



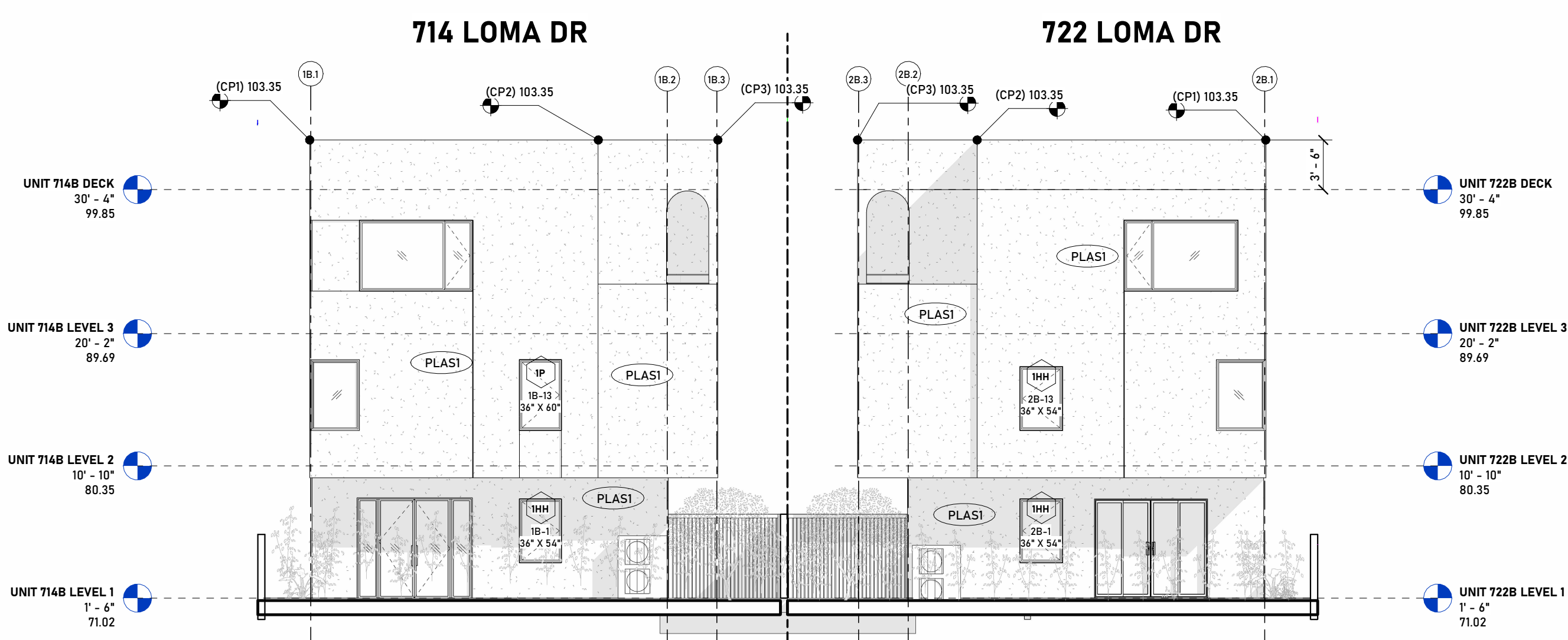
**PROPOSED EASEMENT PLAN**  
SCALE: 1" = 20'-0"

REVISIONS	
NO.	DESCRIPTION

# LOMA DRIVE CONDOS

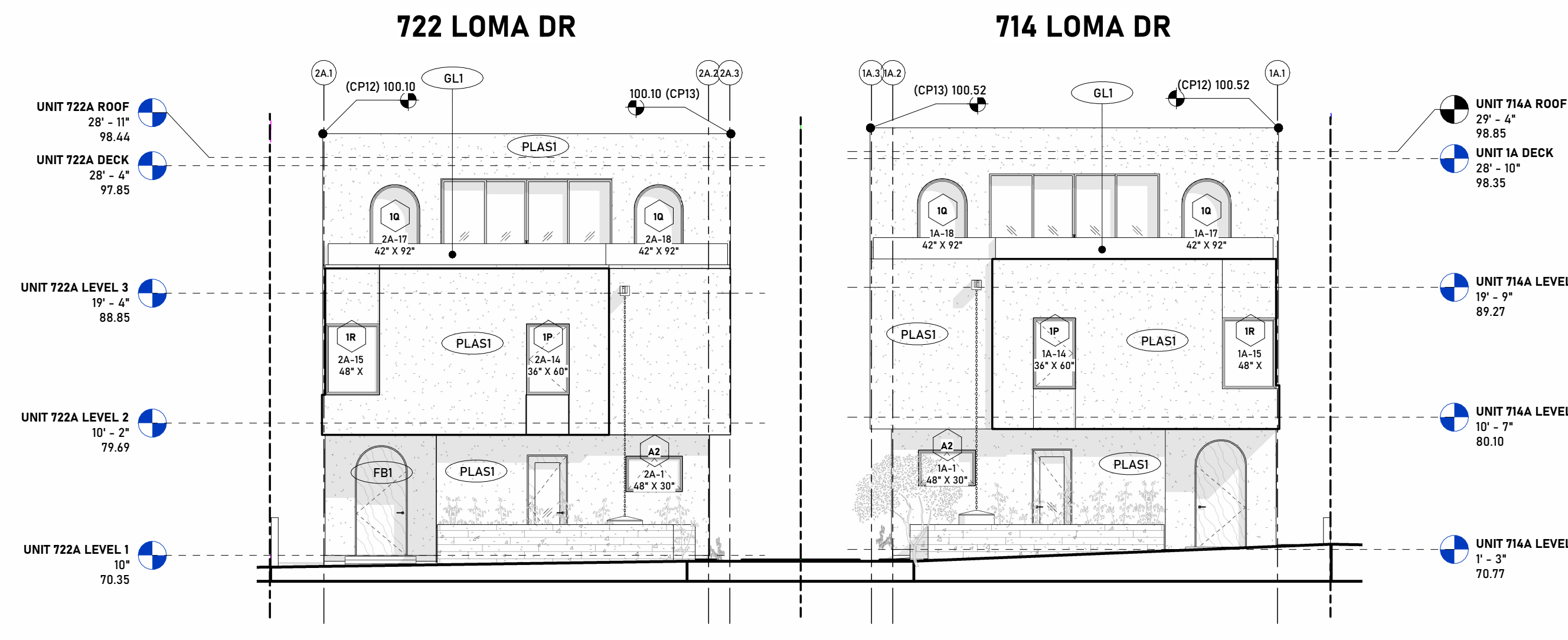
722 & 714 Loma Drive  
Hermosa Beach, CA 90254

## SITE ELEVATIONS & SECTIONS



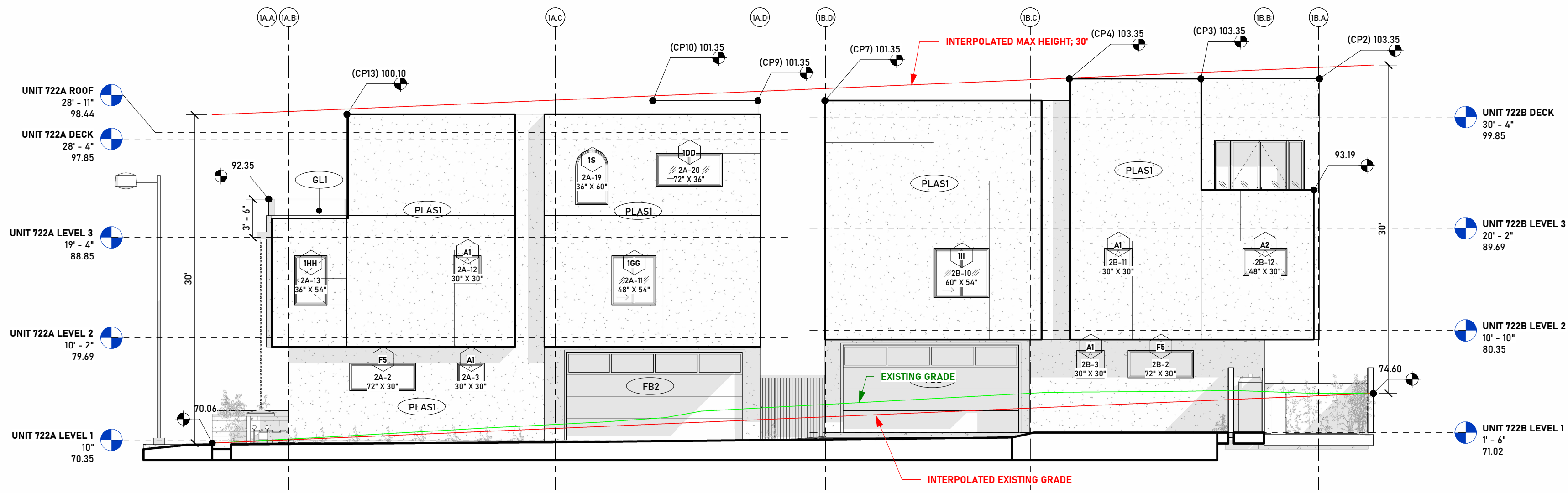
SITE ELEVATION - EAST / REAR  
SCALE: 1/8" = 1'-0"

2 CD2



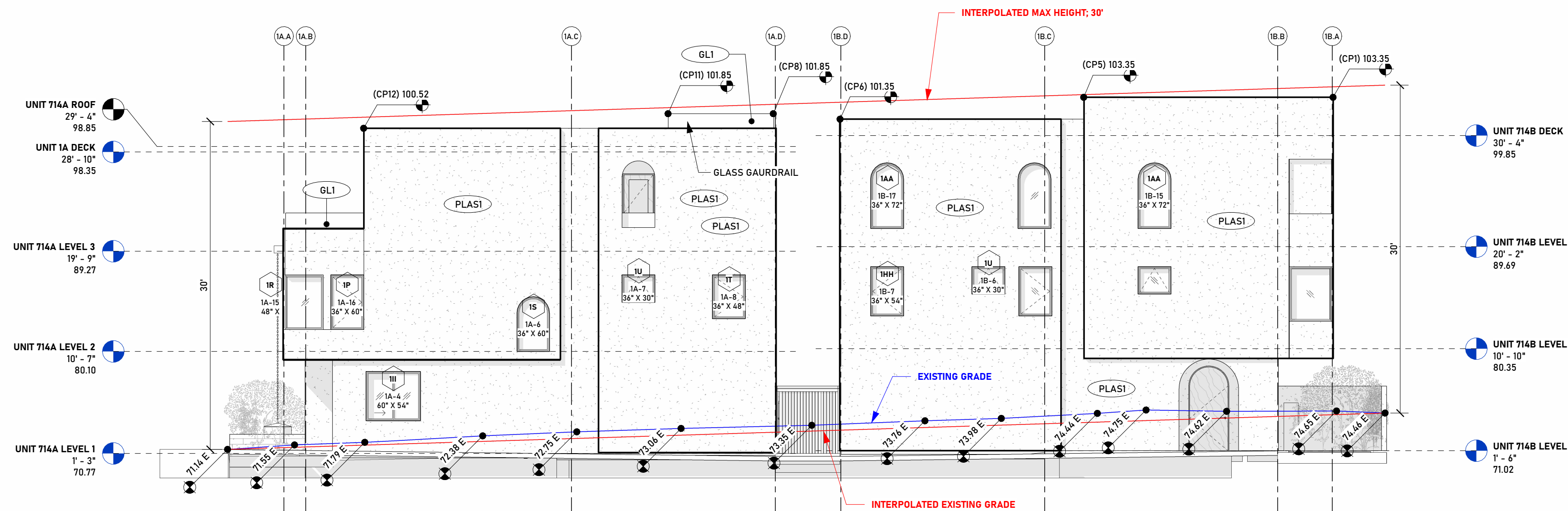
SITE ELEVATION - WEST / FRONT  
SCALE: 1/8" = 1'-0"

1 CD2



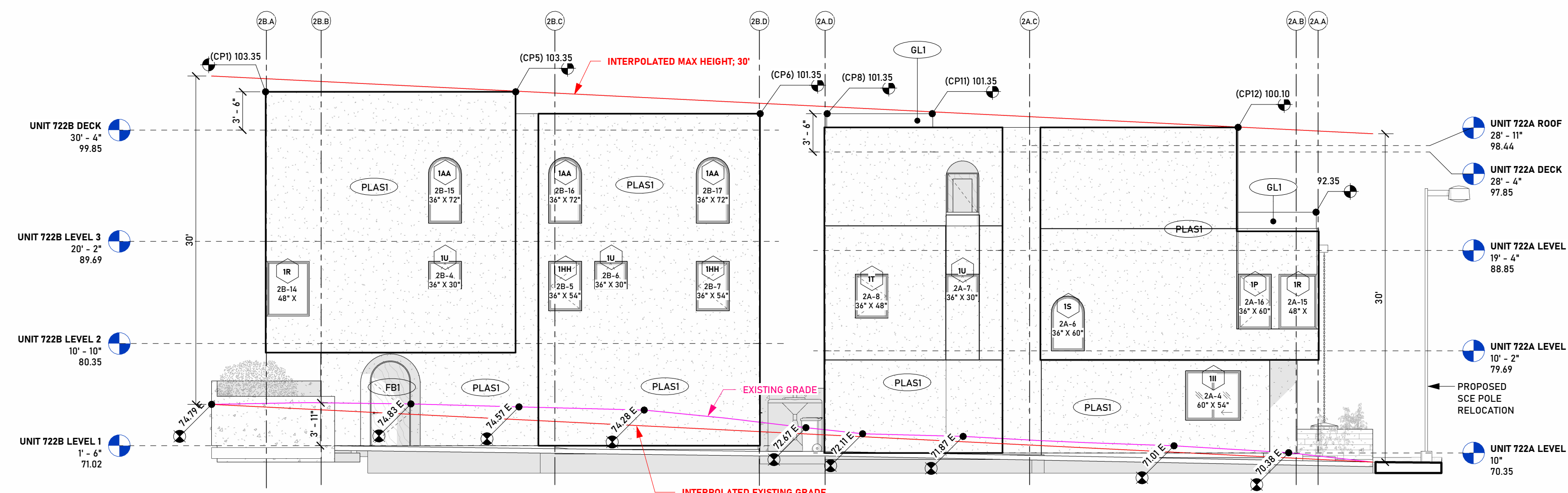
SITE ELEVATION - 722 SOUTH  
SCALE: 1/8" = 1'-0"

4 CD2



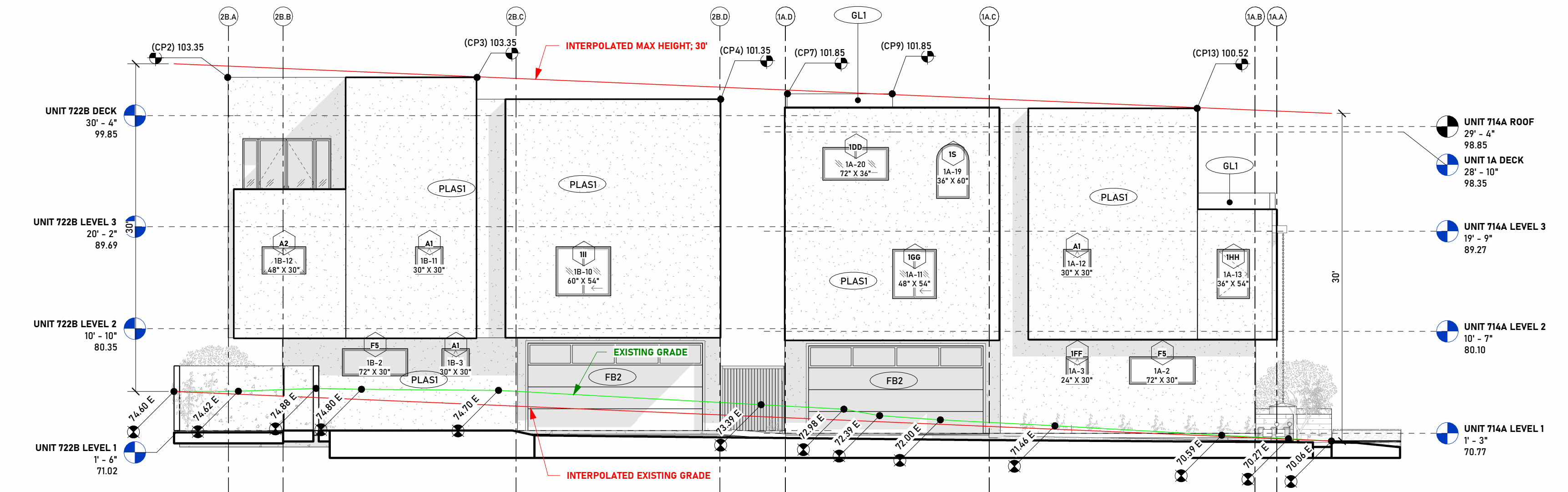
SITE ELEVATION - 714 SOUTH  
SCALE: 1/8" = 1'-0"

3 CD2



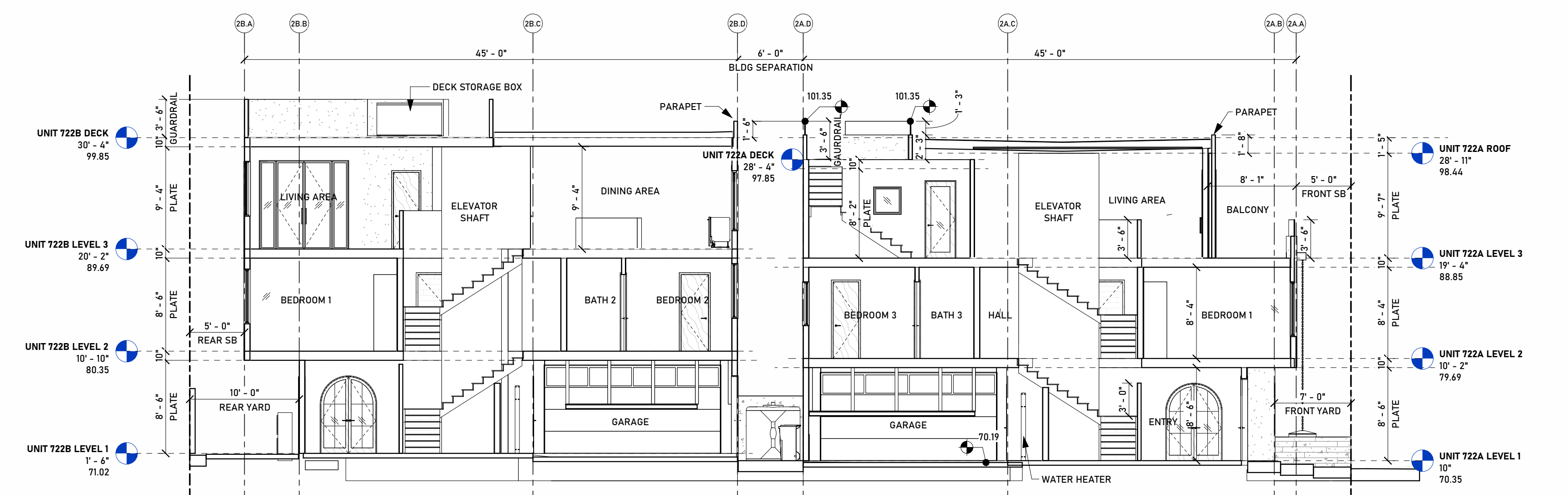
SITE ELEVATION - 722 NORTH  
SCALE: 1/8" = 1'-0"

6 CD2



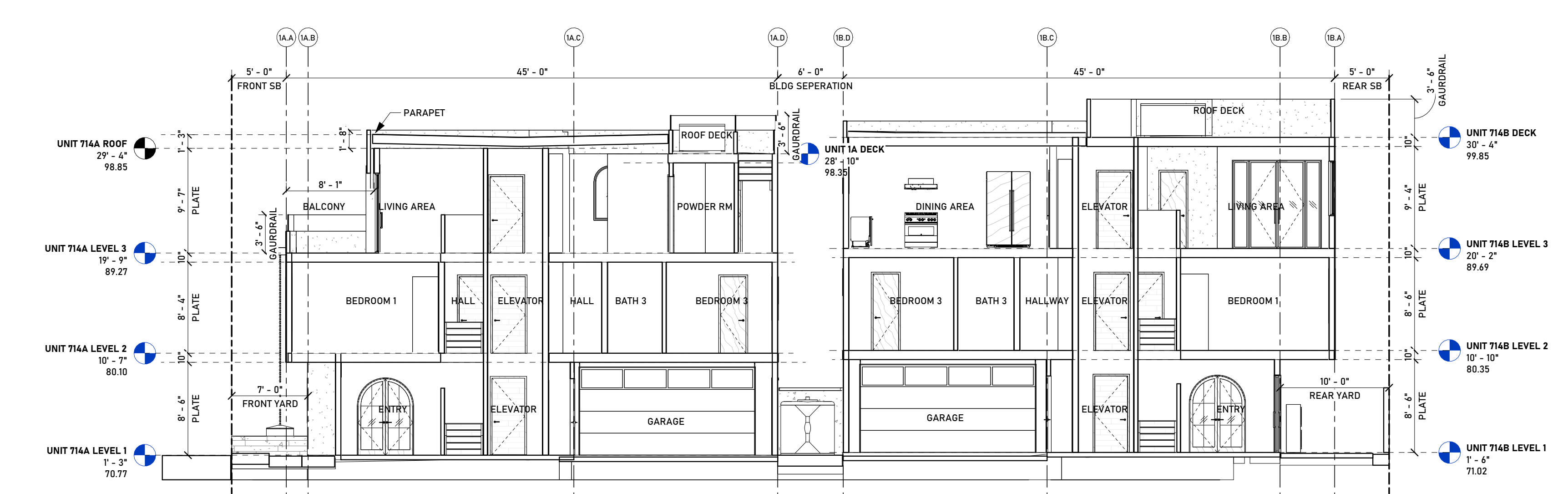
SITE ELEVATION - 714 NORTH  
SCALE: 1/8" = 1'-0"

5 CD2



SITE SECTION 2 - 722 LOMA  
SCALE: 1/8" = 1'-0"

8 CD2



SITE SECTION 1 - 714 LOMA  
SCALE: 1/8" = 1'-0"

7 CD2



**IODA**  
CONSTRUCTION, INC.

PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE: \_\_\_\_\_

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

**SCHEMATIC DESIGN SET**

CLIENT / PROJECT  
**MAL LOMA, LLC**  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

**LOMA DRIVE  
CONDOS**

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

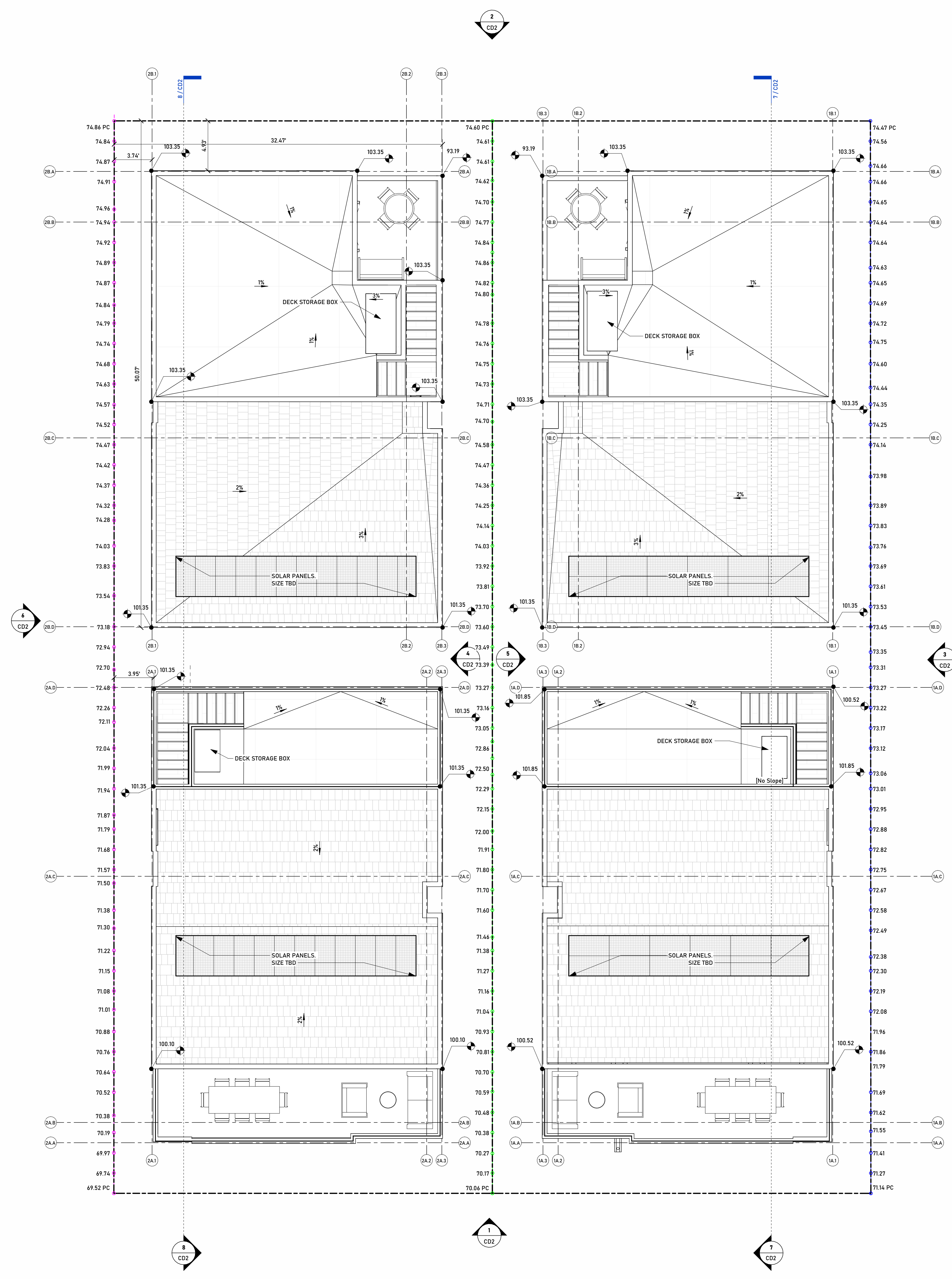
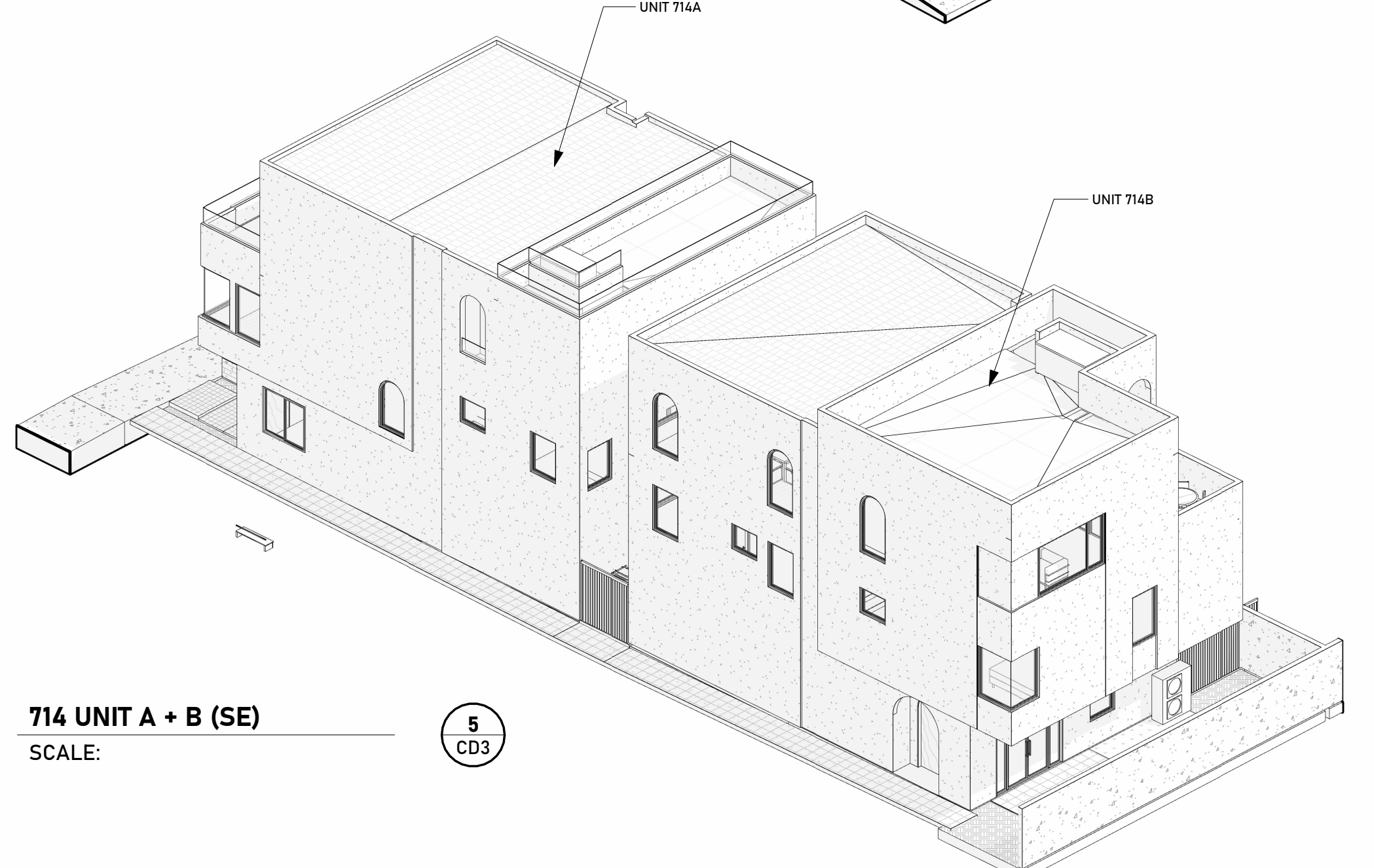
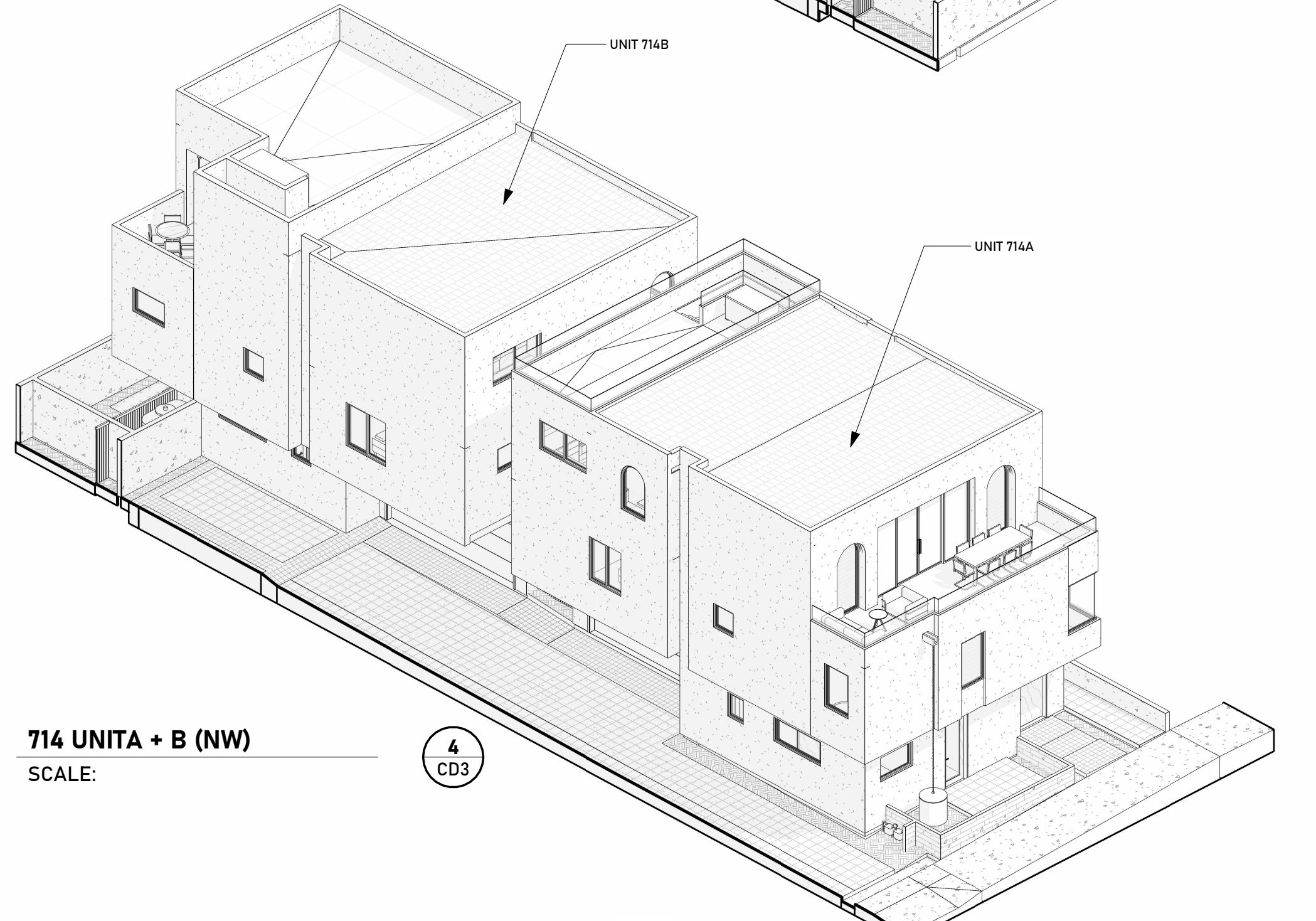
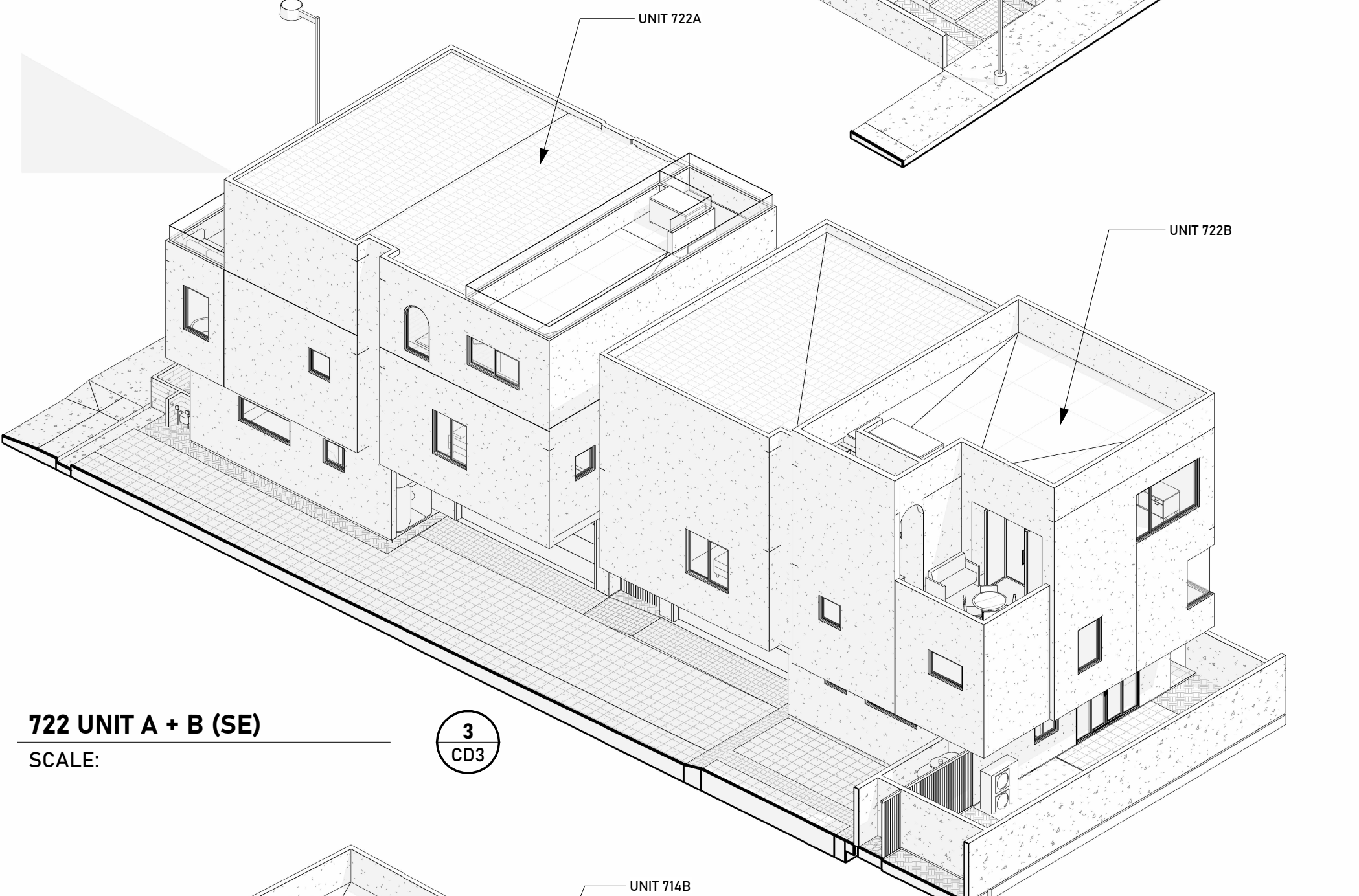
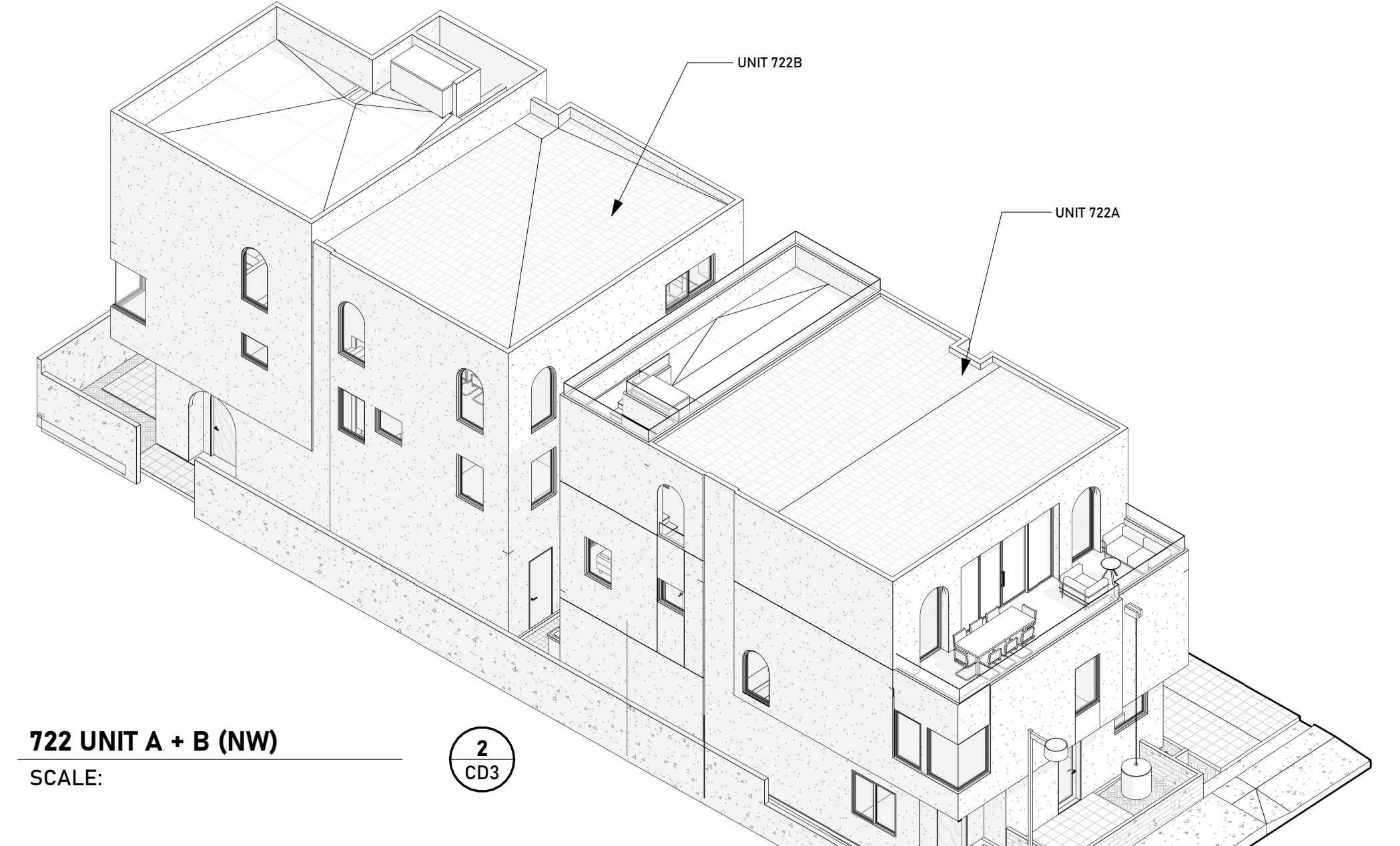
SHEET NAME

**SITE ROOF PLAN & 3D  
VIEWS**

SHEET NUMBER

**CD3**

NOTE:  
3D VIEWS FOR REFERENCE ONLY.



**SITE ROOF PLAN**  
SCALE:  $\frac{3}{16}'' = 1'-0''$

$\frac{1}{8} CD3$



**PROJECT INFORMATION:**

**GENERAL INFORMATION**

- GRADING PERMIT APPLICATION NO. GR \_\_\_\_\_
- EARTHWORK VOLUMES  
 CUT 809 (CY), FILL 0 (CY)  
 OVER EXCAVATION/RECOMPACTION \_\_\_\_\_ (CY)  
 TOTAL 809 (CY)  
 EXPORT 809 (CY)
- TOTAL LOT AREA 7,931 SQ. FT. 0.182 ACRES\*

**PUBLIC WORKS STANDARD NOTES**

**GENERAL CONSTRUCTION NOTES:**

- CONSTRUCTION WORK HOURS ARE LIMITED TO 8:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY. WORK PROHIBITED ON SATURDAYS, SUNDAYS AND NATIONAL HOLIDAYS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK"), AND CITY OF HERMOSA BEACH PUBLIC WORKS STANDARD PLANS.
- ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A, C-8 OR C-12 LICENSE FOR ALL SIDEWALK, CURB AND GUTTER; C-12 LICENSE FOR ALL STREET PAVEMENT WORK; AND CLASS C-34 LICENSE FOR UTILITY WORK SUCH AS SEWER LATERAL, SEWER CAP AND UNDERGROUND UTILITY WORK IN CONJUNCTION WITH A SINGLE FAMILY RESIDENTIAL STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. PUBLIC WORKS TEMPORARY RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ANY SCAFFOLDING, UTILITY TRENCHING, LUMBER DROPS, CRANES, DUMPSTERS, ETC. ON PUBLIC PROPERTY. THE PUBLIC WORKS PERMIT MUST BE ON THE JOB SITE AND AVAILABLE FOR REVIEW BY CITY OFFICIALS AT ALL TIMES. IF ANY WORK HAS BEGUN BEFORE OBTAINING A PERMIT, THE JOB WILL BE STOPPED UNTIL THE PERMIT IS OBTAINED.
- ALL CONTRACTORS WORKING ON PUBLIC WORKS PROJECTS MUST HAVE A CURRENT CITY OF HERMOSA BEACH BUSINESS LICENSE.
- THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING. SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID.
- ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- CONTACT PUBLIC WORKS FOR INSPECTION AT LEAST 24 HOURS IN ADVANCE. INSPECTIONS ARE AVAILABLE MONDAY THROUGH FRIDAY, 8:30 AM TO 12:00 A.M. AND 1:30 P.M. TO 4:30 P.M.; OFFICE ASSISTANCE IS AVAILABLE FROM 7:00 A.M. TO 8:30 A.M. AND 4:30 P.M. TO 6:00 P.M.
- ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE POUR OR ASPHALT BEING PLACED.
- ALL SURVEY POINTS AND MONUMENTS SHALL BE PROTECTED IN PLACE OR RE-ESTABLISHED IF THEY ARE REMOVED OR DESTROYED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL, DUST CONTROL, AND TEMPORARY DRAINAGE CONTROL AT ALL TIMES.
- ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

**GENERAL NOTES FOR STREET AND STORM DRAIN IMPROVEMENTS:**

- ALL STREET CLOSURES REQUIRE A TRAFFIC CONTROL PLAN TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL TRAFFIC CONTROL SHALL BE PER THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL. STREET CLOSURES APPROVED BY THE CITY ENGINEER WILL REQUIRE A MINIMUM OF 48 HOUR NOTICE TO BE POSTED AND DISTRIBUTED WITH PROPER DOOR-HANGERS TO ALL RESIDENCES ON SAME BLOCK. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCH CENTER FOR HERMOSA BEACH POLICE AND FIRE DEPARTMENTS AT (310) 524-2750 OF ANY CLOSURES OR RESTRICTIONS IN ACCESS.
- GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WHATEVER MEANS NECESSARY UP TO AND INCLUDING REMOVAL AND REPLACEMENT.
- ANY ASPHALT OR CONCRETE PAVEMENT WITHIN THE PROPERTY LIMITS THAT IS DAMAGED PRIOR TO CONSTRUCTION SHALL BE REMOVED AND REPLACED TO MEET CURRENT CITY STANDARDS.
- ANY PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND OR BETTER TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR. THE CITY SHALL AT ITS DISCRETION, AND IN THE INTEREST OF PUBLIC SAFETY, MAKE ANY REPAIRS DEEMED NECESSARY; THE COST OF WHICH WILL BE DEDUCTED FROM THE DEPOSIT HELD BY THE CITY.
- ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW-CUT OR WHEEL-CUT AND REMOVED TO CLEAN STRAIGHT LINES.
- AT ALL LOCATIONS WHERE NEW PAVEMENT JOINS EXISTING, THE EXISTING PAVEMENT SHALL BE COATED WITH AN ASPHALTIC EMULSION.

**GENERAL NOTES FOR SEWER AND UTILITY IMPROVEMENTS:**

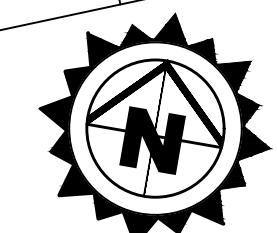
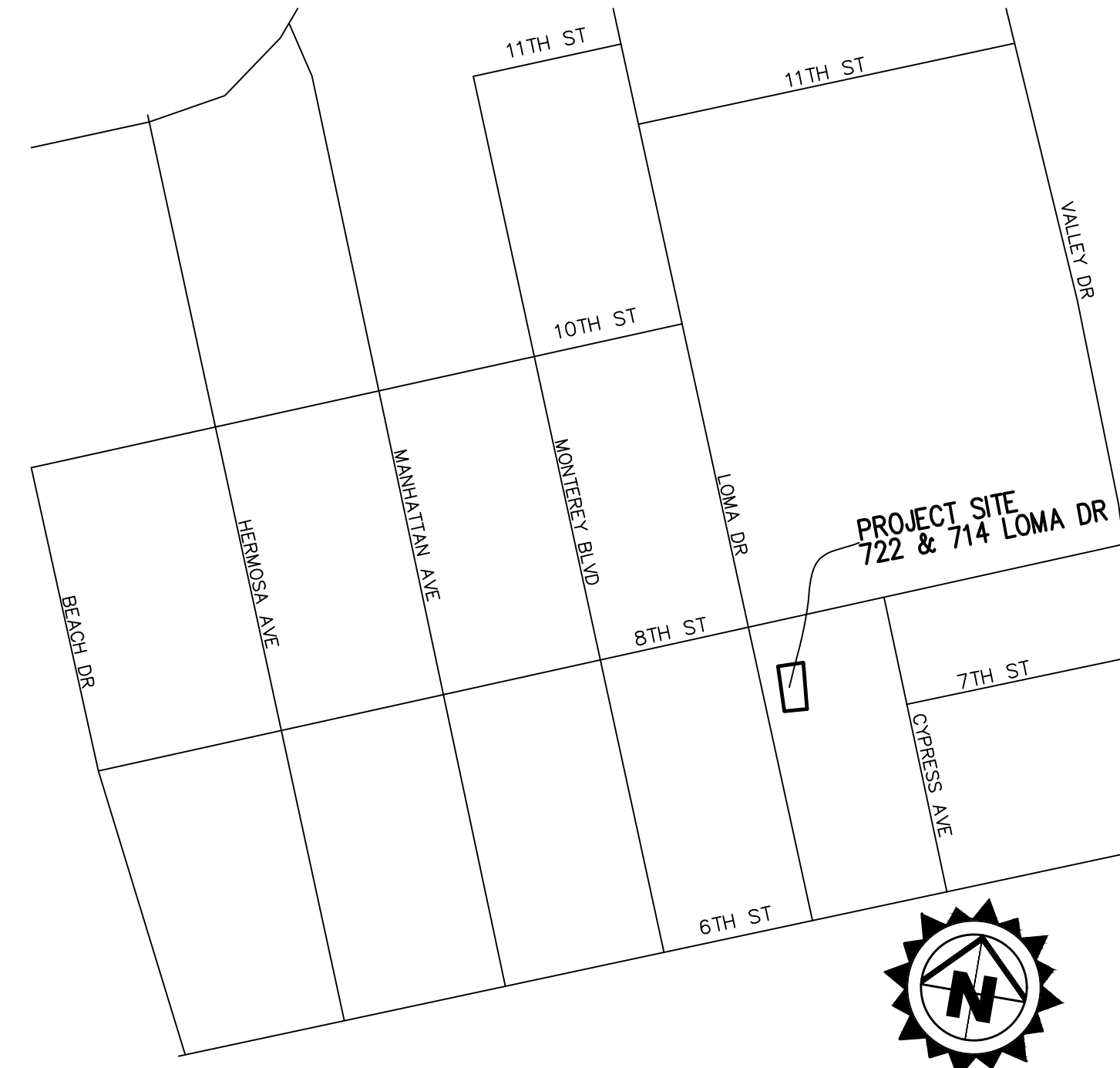
- SEPARATION OF SEWER AND WATER FACILITIES SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE STATE OF CALIFORNIA DEPT OF HEALTH SERVICES.
- SEWER LATERALS SHALL BE CONNECTED TO THE SEWER MAIN WITH WYES.
- THE SEWER LINE SHALL BE TESTED PRIOR TO MAKING PERMANENT SERVICE CONNECTIONS.
- BACKFILL OF TRENCHES SHALL BE DONE IN LIFTS OF NO MORE THAN 8-INCHES WITH WATER AND APPROPRIATE COMPACTION TOOLS USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF NATIVE SOIL. AFTER BACKFILLING THE TRENCH, A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND REMAIN FOR NO MORE THAN TWO WEEKS. THE FINAL PATCH SHALL BE A MINIMUM OF 5" THICK OR 1" THICKER THAN THE EXISTING PAVEMENT. THE CONTRACTOR SHALL FOLLOW THE LATEST HERMOSA BEACH STANDARD PLANS FOR AC AND P.C.C. PAVEMENT.
- THE FINAL PATCH IN ASPHALT STREETS SHALL BE DONE IN TWO LIFTS, A BASE OF 3" MINIMUM 3/4" AGGREGATE AND A TOP LIFT OF 2" OF 3/8" AGGREGATE. ALL EDGES OF THE CUT ASPHALT TO BE TACKED THOROUGHLY AND THE PATCH COMPACTED BY MECHANICAL MEANS TO A HEIGHT SLIGHTLY HIGHER THAN THE EXISTING ASPHALT AND ALL EDGES TO BE TACKLE.
- THE FINAL PATCH ON CONCRETE STREETS TO BE CLASS 3500 P.S.I (7 SACK), EXISTING CONCRETE TO BE DRILLED TWO AND ONE HALF INCHES (2 1/2") BELOW THE SURFACE TO A DEPTH OF 6" MINIMUM AND DOWELLED WITH #5 REBAR ON 18" SPACING. FINISH TO MATCH EXISTING OR MEDIUM BROOM.
- ALL UTILITY BOXES ARE TO BE ADJUSTED TO THE NEW GRADE. DAMAGED BOXES SHALL BE REPLACED. KEEP ALL UTILITY BOXES OUT OF DRAINAGE FLOW LINES, CURB RETURNS, DRIVEWAY APPROACH AND WHEEL CHAIR RAMPS, UNLESS APPROVED BY THE CITY ENGINEER.

**JOB SAFETY REQUIREMENTS:**

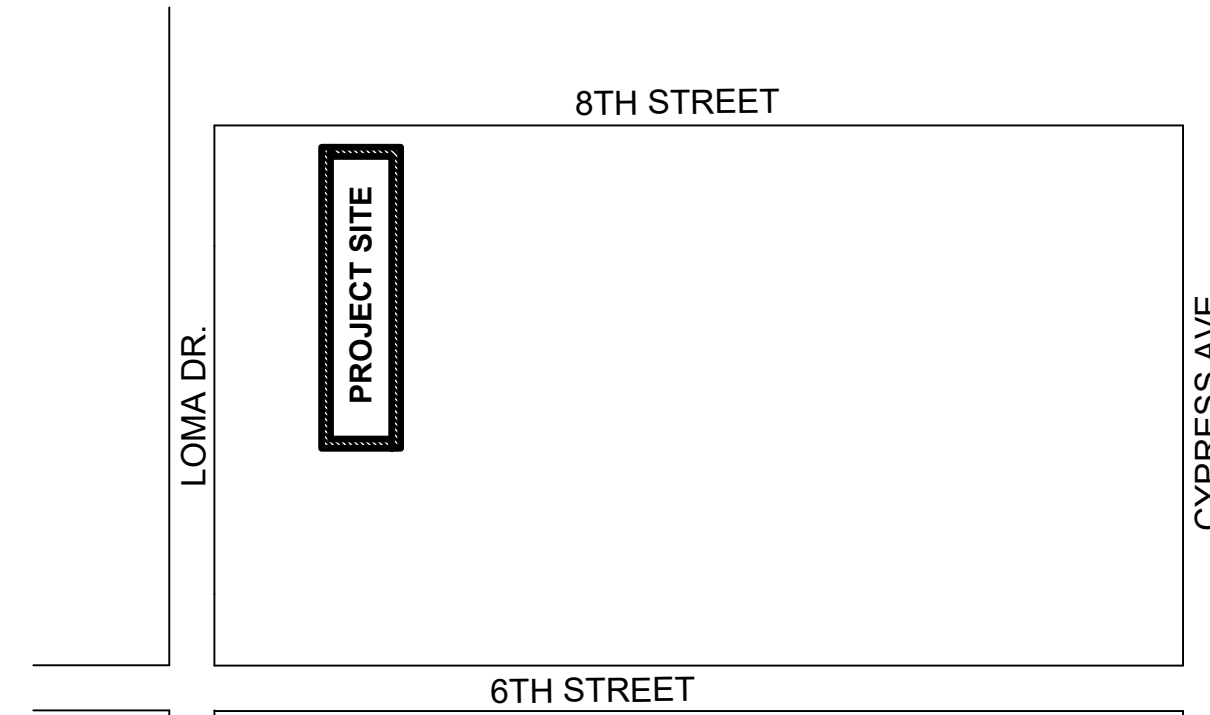
- PROPER BARRICADES SHALL BE PLACED AROUND ANY CONSTRUCTION SITE WITHIN THE PUBLIC RIGHT-OF-WAY. THESE BARRICADES SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL.
- ALL CONSTRUCTION FENCING SHALL BE BEHIND THE SIDEWALK AND ALL CONSTRUCTION MATERIAL WITHOUT PERMITS ARE TO BE BEHIND THE FENCE. SIDEWALKS ARE TO BE ACCESSIBLE TO PEDESTRIANS AT ALL TIMES.
- NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LEFT ON THE PUBLIC RIGHT-OF-WAY WITHOUT PROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS AFTER DARK.
- ANY PUBLIC SIDEWALK DAMAGED TO THE POINT OF CAUSING A TRIP HAZARD MUST BE REPAIRED IMMEDIATELY. THE PANEL OF CONCRETE SHALL BE REMOVED AND PATCHED WITH A TEMPORARY ASPHALT PATCH AND MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT SIDEWALK IS CONSTRUCTED.
- ALL VEHICLES THAT INTRUDE INTO A NORMAL TRAFFIC LANE MUST HAVE PROPER SIGNAGE AND BARRICADES AS REQUIRED BY THE (WATCH) MANUAL.
- ALL WORK VEHICLES ARE SUBJECT TO ALL APPLICABLE PARKING RESTRICTIONS.
- FLAGMEN ARE REQUIRED FOR ANY VEHICLES THAT BLOCK THE TRAVEL LANE AND REQUIRE TRAFFIC TO USE THE OPPOSING LANE TO PASS.

**WATER QUALITY REQUIREMENTS:**

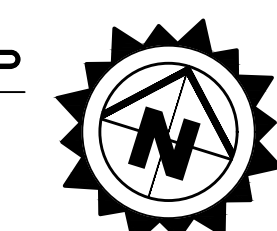
- PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY CONSTRUCTION MATERIAL, DEBRIS OR RUNOFF FROM ENTERING ANY PUBLIC RIGHT-OF-WAY OR COUNTY STORM DRAIN. ALL SAW CUT RESIDUE MUST BE RETAINED WITH BERMS OR SANDBAGS AND VACUUMED TO PREVENT IT FROM ENTERING INTO ANY STORM DRAIN SYSTEM.
- SANDBAGS ARE REQUIRED FOR EROSION CONTROL DURING THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, AND MAY BE REQUIRED AT OTHER TIMES. SANDBAGS ARE REQUIRED AT NEARBY CATCH BASINS DURING CONSTRUCTION. SANDBAGS SHALL BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
- MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
- SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
- COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- DURING CONSTRUCTION:
  - PROTECT CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
  - USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
  - COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
  - AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
  - NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND/OR RAGES), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION CALL (800) 552-5218.
  - CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.



VICINITY MAP  
NOT TO SCALE



REGIONAL MAP  
NOT TO SCALE



**OWNER**  
MAL LOMA LLC  
326 S. PACIFIC COAST HIGHWAY, #206  
REDONDO BEACH, CA 90277  
ATTN: ANABELLA IODA

**ARCHITECT**  
IODA CONSTRUCTION, INC.  
326 S. PACIFIC COAST HIGHWAY, #206  
REDONDO BEACH, CA 90277  
ATTN: ALEX IODA

**CIVIL ENGINEER**  
AZAD CONSULTING ENGINEERS  
2340 FOX HILLS DR. #305  
LOS ANGELES, CA. 90064  
(818) 497-2923  
CONTACT: JILA AZAD

**GEOTECHNICAL**  
NORCAL ENGINEERING  
SOILS AND GEOTECHNICAL CONSULTANTS  
10641 HUMBOLDT STREET  
LOS ALAMITOS CA. 90720  
(562)799-9469  
REPORT NO.: 21960-20  
REPORT DATE: AUGUST 12, 2020  
CONTACT: KEITH D. TUCKER

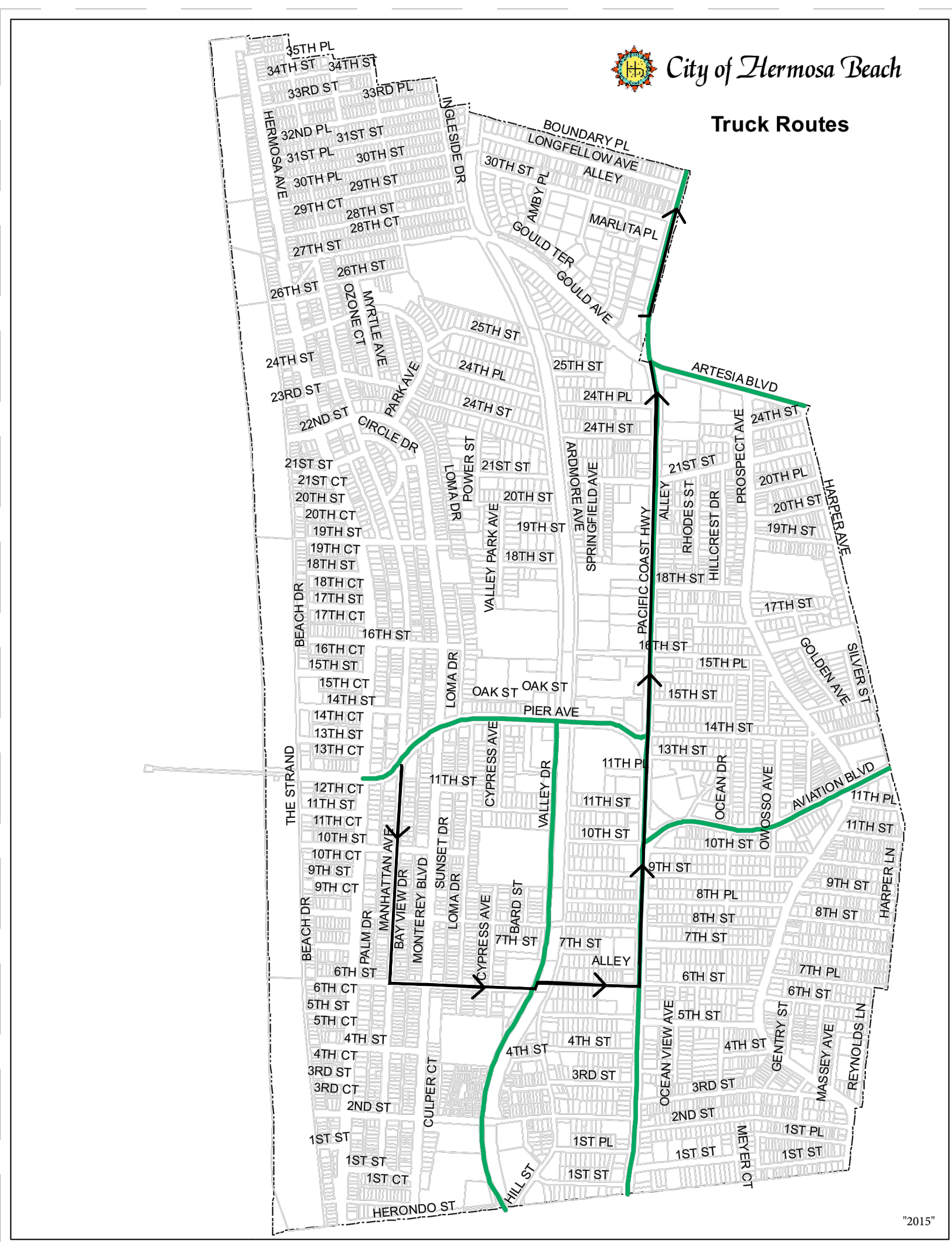
INDIVIDUALS TO BE CONTACTED IN CASE OF EMERGENCY DURING NON-BUSINESS HOURS:  
SEAN ICAZA, G.C. - (310)480-0385  
JAMES CHEN, HOMEOWNER - (415) 465-3535

**APPLICABLE STANDARD PLATES:**

- APWA STD PLAN 222-1
- APWA STD PLAN 150-3
- CITY OF HERMOSA BEACH STD PLAN 100, CURBS
- CITY OF HERMOSA BEACH STD PLAN 101, CURB & GUTTER
- CITY OF HERMOSA BEACH STD PLAN 102, DRIVEWAY
- CITY OF HERMOSA BEACH STD PLAN 106 CASE 2, SIDEWALK
- CITY OF HERMOSA BEACH STD PLAN 117, UTILITY TRENCH DETAIL
- CITY OF HERMOSA BEACH STD PLAN 118, PW RESTORATIONS

**HAUL ROUTE**

THE CONTRACTOR TO USE THE TRUCK ROUTE SHOWN ON THE MAP, USING MANHATTAN AVE SOUTH TO 6TH ST OR 8TH ST AND TOWARDS PCH NORTH TO THE CITY OF MANHATTAN BEACH.



**SHEET INDEX**

- C-1 NOTES & SPECIFICATIONS
- C-2 GRADING & DRAINAGE PLAN
- C-3 GRADING SECTIONS
- C-4 DRAINAGE PLAN
- C-5 LID DETAILS
- C-6 EROSION CONTROL PLAN
- C-7 PUBLIC IMPROVEMENT PLAN

**PROPERTY INFORMATION:**

APN: 4181-015-008  
LOT 7, BLOCK 120  
M.B. 9-190  
LATITUDE: 33°52'30" & LONGITUDE: 118° 24'14"  
PROPERTY TYPE: SFR  
LOT SIZE: 7,931 SF  
BUILDINGS SQUARE FOOTAGE (4 TOTAL): 3,716 SF  
SITE ADDRESS: 722 & 714 LOMA DR, HERMOSA BEACH

**LID INFORMATION**

SOIL INFILTRATION RATE: 144.4 IN/HR  
SOIL TYPE: 003  
BMP TYPE: 265 GAL BUSHMAN RAIN BARREL  
TOTAL DRAINAGE AREA: 7,931 S.F= 0.182 ACRES  
STORM WATER QUALITY DESIGN: Vm= 2,037.1 GALLON  
BMP DESIGN RAIN BARREL WATER QUALITY VOLUME PROVIDED : 2,120 GAL  
PERCENT OF IMPERVIOUSNESS OF DRAINAGE AREA: 52%  
PROPERTY OWNER INFORMATION: IODA CONSTRUCTION  
PRE-DEVELOPMENT PERVIOUS AREA: 2,623 SQFT  
PRE-DEVELOPMENT IMPERVIOUS AREA: 5,308 SQFT  
POST-DEVELOPMENT PERVIOUS AREA: 3,796 SQFT  
POST-DEVELOPMENT IMPERVIOUS AREA: 4,136 SQFT

**LEGEND**

- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- PROPERTY LINE
- EXISTING FENCE
- LANDSCAPE AREA

**LEGAL DESCRIPTION:**

LOT 9 & NLY HALF OF LOT 8  
LOT 7 & SLY HALF OF LOT 8  
TRACT NO. 2002  
M.B. 22-152-155  
APN 4187-030-011/012

- B.W. BACK OF WALK
- DS. DOWNSPOUT
- F.F. FINISHED FLOOR
- F.G. FINISHED GRADE
- F.L. FLOW LINE
- F.S. FINISHED SURFACE
- G.F. GARAGE FLOOR
- INV. INVERT
- P.A. PLANTING AREA
- P.E. PAD ELEVATION
- P.O.C. POINT OF CONNECTION
- R.W. RETAINING WALL
- T.F. TOP OF FOOTING
- T.G. TOP OF GRATE
- T.S. TOP OF STEPS
- T.W. TOP OF WALL

**NOTES:**

- SEWER MAIN LATERAL SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION OF FIRST FLOOR.
- PUBLIC RIGHT OF WAY AND RELATED IMPROVEMENTS SHALL BE PROTECTED DURING CONSTRUCTION.
- THE PROJECT SITE SHALL BE KEPT CONTINUOUSLY FENCED IN ACCORDANCE WITH THE BUILDING CODE UNTIL THE PROJECT IS FINAL OR APPROVAL TO REMOVE THE FENCE HAS BEEN OBTAINED FROM THE CITY BUILDING.
- THE PLANS ARE TO BE APPROVED PER BUILDING CODE 2022 CBC, CPC, CMC, CEC, CGBC AND T-24.

**APPROVAL STAMP(S)**

**BENCH MARK:**  
  
FOUND LEAD BRAD AND NAIL IN THE WEST CURB OF THE CENTER LINE MEDIAN, 3.3 FT WEST OF THE CENTERLINE OF HERMOSA AVE ON THE CENTERLINE PRODUCED OF 7TH STREET  
LA COUNTY BM QY10908/ ELEV. = 15.777'  
  
DATE ADJ. N/A QUAD. N/A



REVISIONS		
No.	DESCRIPTION	DATE
△	1ST SUBMITTAL	06-16-25
△		
△		
△		
△		

**ACE GROUP**

AZAD CONSULTING ENGINEERS  
CONTACT: JILA AZAD  
2340 FOX HILLS DR. #305  
LOS ANGELES, CA 90044  
PHONE: (818) 497-2923

PLANS PREPARED BY:

REGISTERED PROFESSIONAL ENGINEER  
JILA H. AZAD  
No. 77585  
Exp. 6/30/27  
DATE: 6/30/27

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

ENGINEER NAME, RCE LICENSE No. 77585 DATE: 6/30/27

**PRIVATE IMPROVEMENT PLANS**

NEW SINGLE FAMILY RESIDENCE

**722 & 714 LOMA AVE  
CIVIL PLANS**

FILE NUMBER  
B25-CIVIL

BUILDING #:  
B25-

**C-1**

SHT. 1 OF 7

**LEGEND**

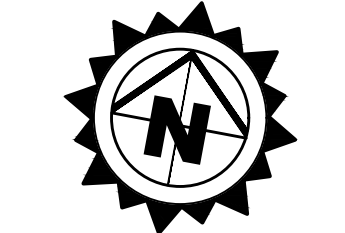
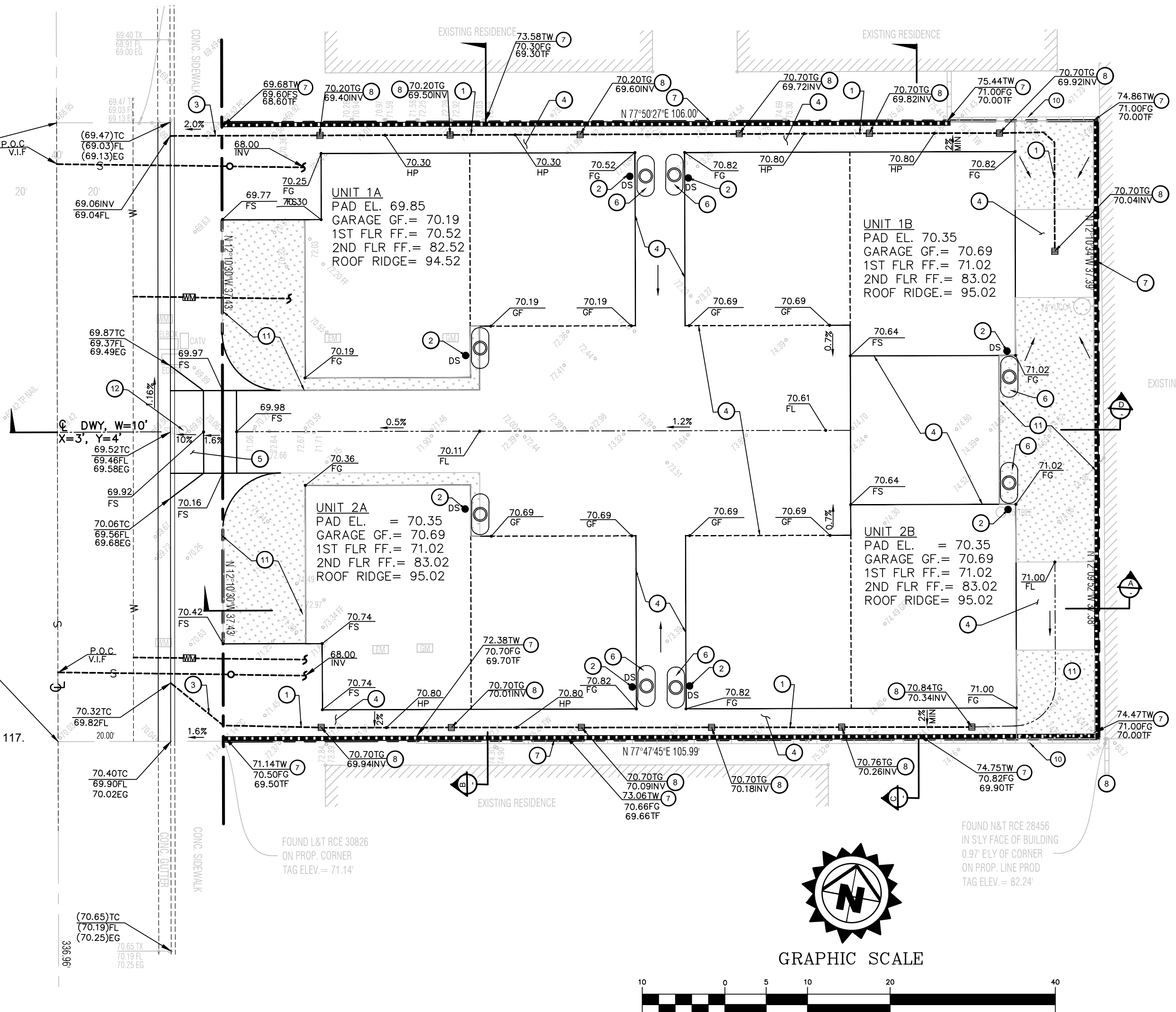
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- EXISTING WATER
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- INDICATES IMPERVIOUS AREAS
- INDICATES LANDSCAPE AREA

**CONSTRUCTION NOTES:**

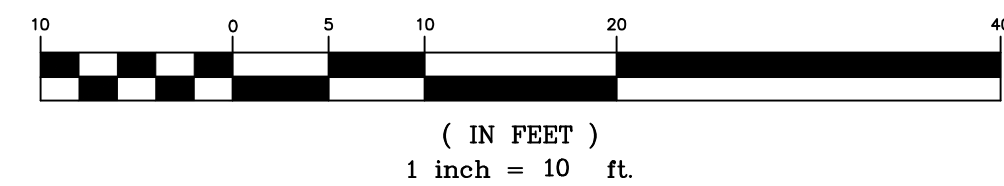
1. INSTALL 4" P.V.C. SDR-35, A.S.T.M. D3034 STORM DRAIN AT 0.5% MIN. SLOPE. TRENCH PER CITY STD 117.
2. INSTALL 4" P.V.C. SDR-35, ROOF DRAIN.
3. INSTALL 3"x8" RECTANGULAR PARKWAY DRAIN PER APWA STD PLAN 151-2.
4. CONSTRUCT PERMEABLE PAVEMENT PER DETAIL 1 HEREON.
5. CONSTRUCT NEW 6" PCC DRIVEWAY, W=10', X=3' PER CITY OF HERMOSA BEACH STD PLAN 102.
6. INSTALL 265 GALLON BUSHMAN SLIMLINE RAIN BARREL (TOTAL 8) OR APPROVED EQUAL, REFER TO DETAIL ON C-5.
7. RETAINING WALL PER SEPARATE PERMIT.
8. INSTALL 6" AREA DRAIN WITH 50% OPENING GRATE PER NDS PRODUCTS OR APPROVED EQUAL. CONNECT TO 4" PVC PIPE.
9. CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BMPs. THE PUBLIC RIGHT-OF-WAY SHALL NOT BE USED AS STORAGE AREA AND ARE SURROUNDING SITE SHALL BE CLEARED OF DEBRIS.
10. EXIST WALL OR FENCE AT NEIGHBOR TO REMAIN.
11. LANDSCAPE AREA.
12. EXISTING STREET LIGHT TO BE RELOCATED, PROPOSED LOCATION TO BE DETERMINED BY CITY OF HERMOSA BEACH

CONSTRUCT NEW SIDEWALK, CURB & GUTTER, DRIVEWAY APPROACH, AND FULL-DEPTH A.C. REQUIREMENTS FOR THE ENTIRE PROPERTY FRONTAGE.

LOMA DRIVE



GRAPHIC SCALE

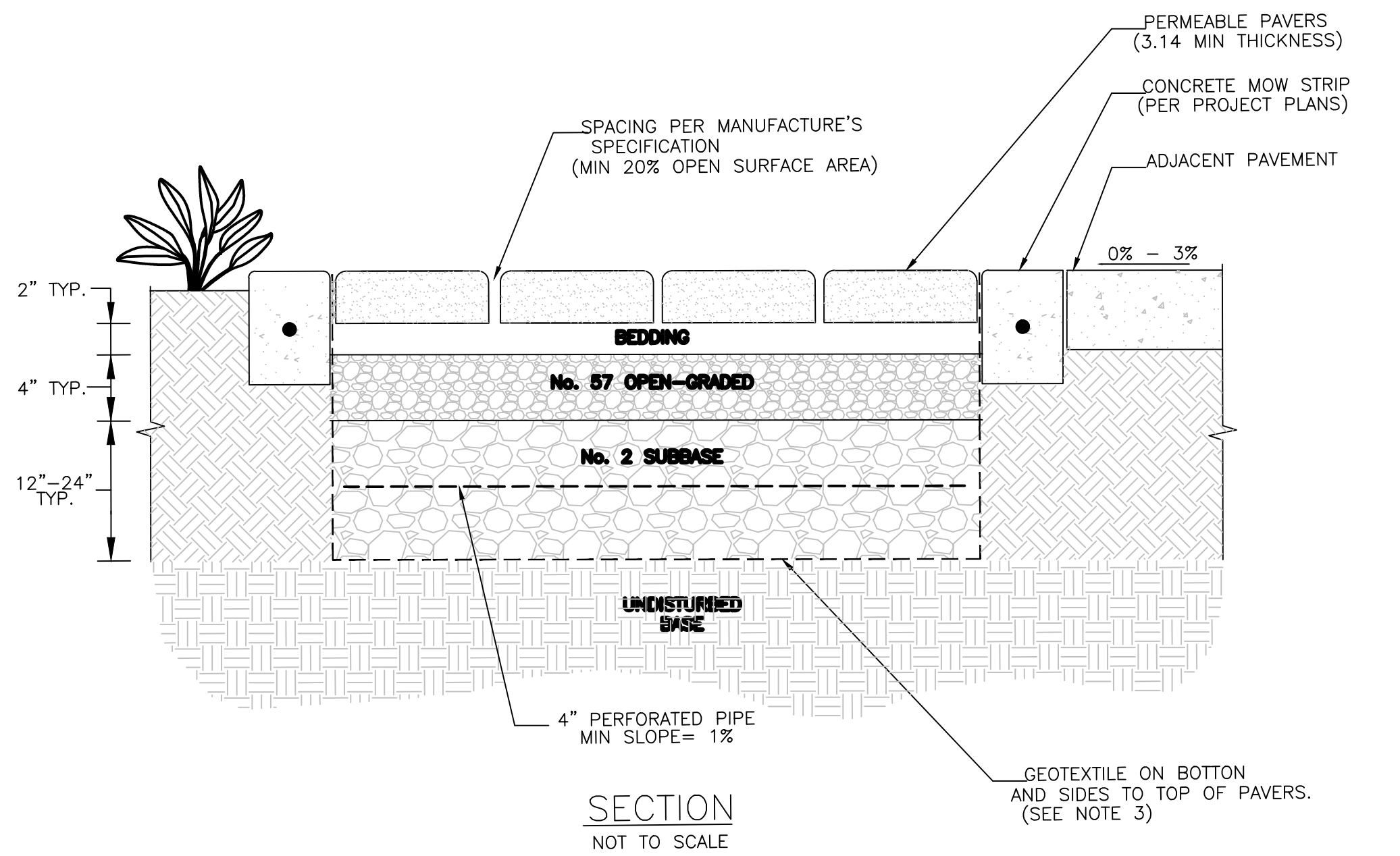


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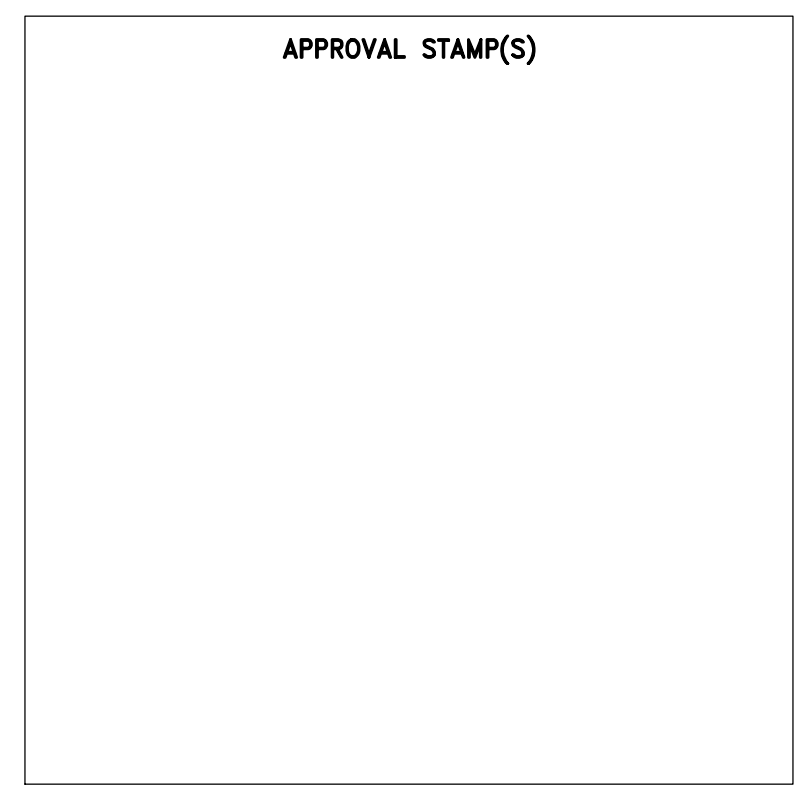


**NOTES:**

1. SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 0.5 INCHES PER HOUR).
2. INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY.
3. IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER INTO STORM DRAIN INLET OR ONSITE BMP. GEOTEXTILE SHALL BE REPLACED WITH IMPERMEABLE LINER AND UNDERDRAIN PREFERRED PIPE.
4. ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
5. SLOPE IS NOT GREATER THAN 3 PERCENT.
6. FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.
7. PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURER'S SPECIFICATIONS. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.
8. SEE PERMEABLE PAVERS FACT SHEET FOR MORE INFORMATION.

**DETAIL NO. 1 PERMEABLE PAVEMENT**

SCALE: NTS



BENCH MARK:  
 FOUND LEAD BRAD AND NAIL IN THE WEST CURB OF THE CENTER LINE MEDIAN, 3.3 FT WEST OF THE CENTERLINE OF HERMOSA AVE ON THE CENTERLINE PRODUCED OF 7TH STREET LA COUNTY BM QY10908/ ELEV. = 15.777'  
 DATE ADJ. N/A QUAD. N/A



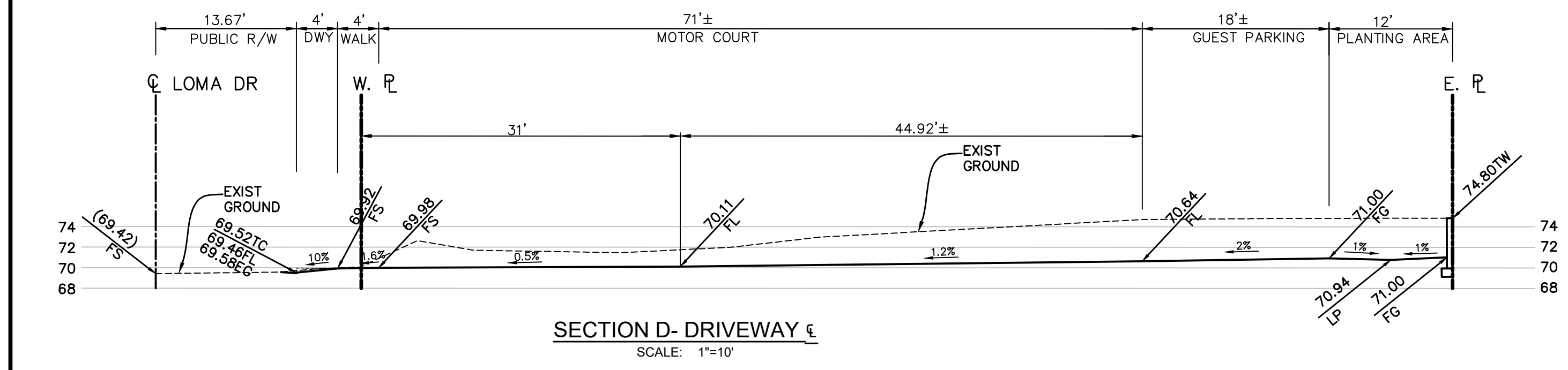
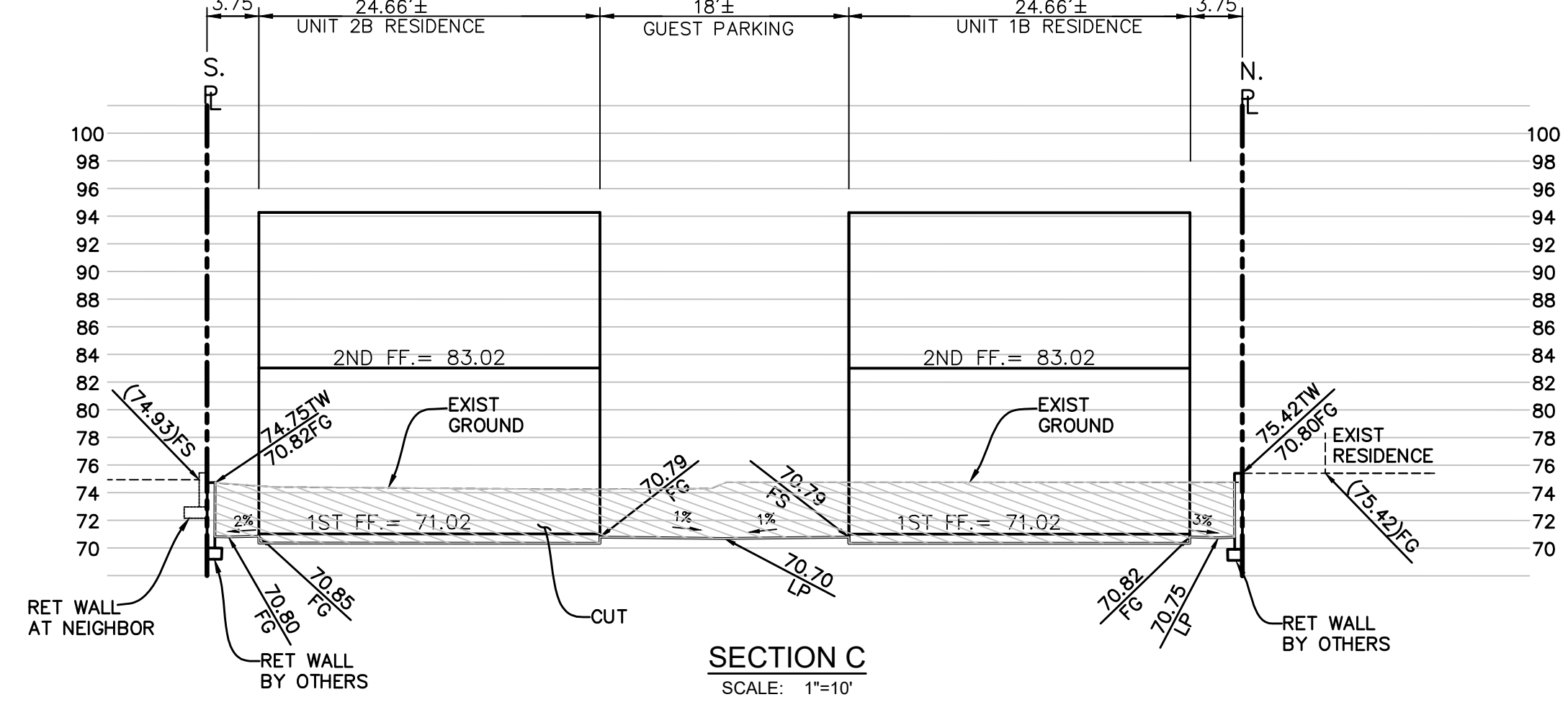
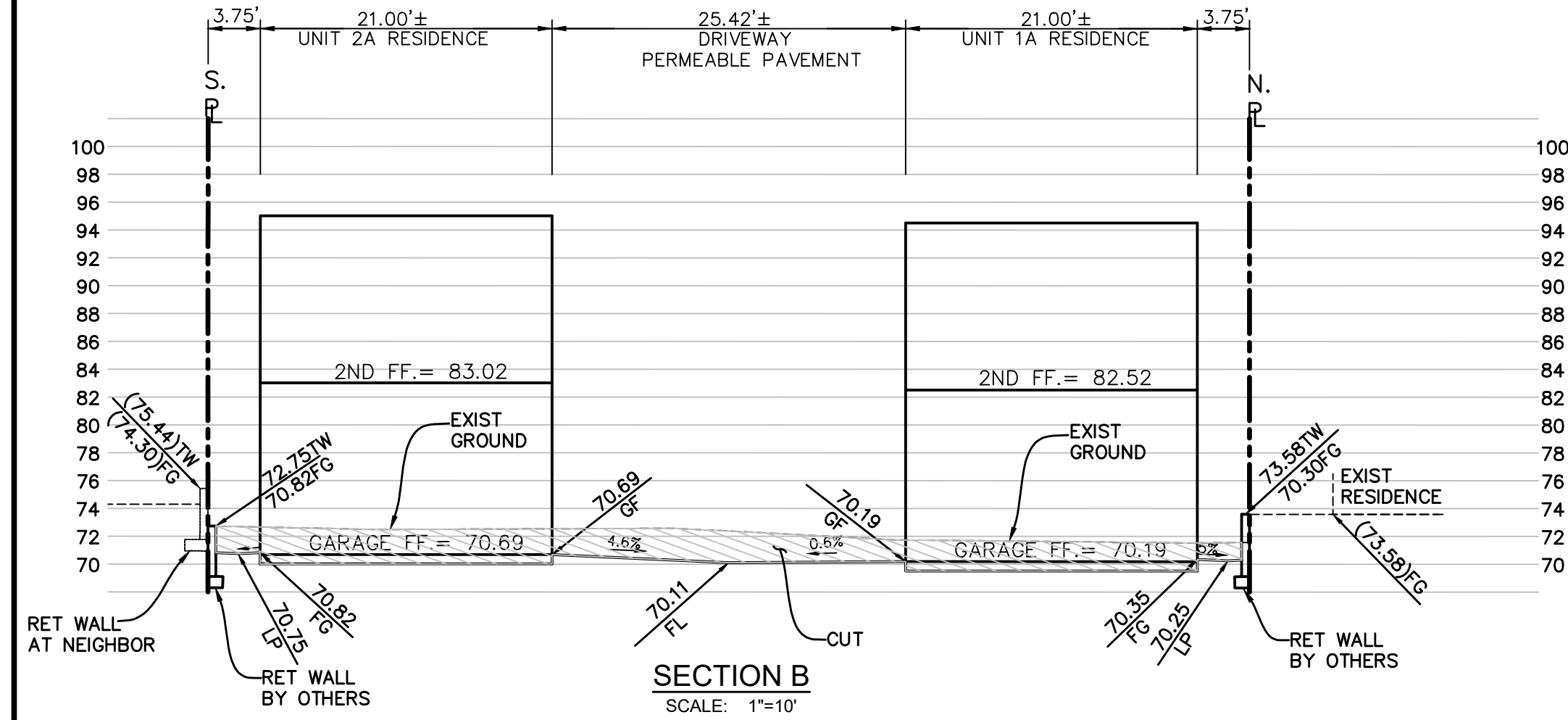
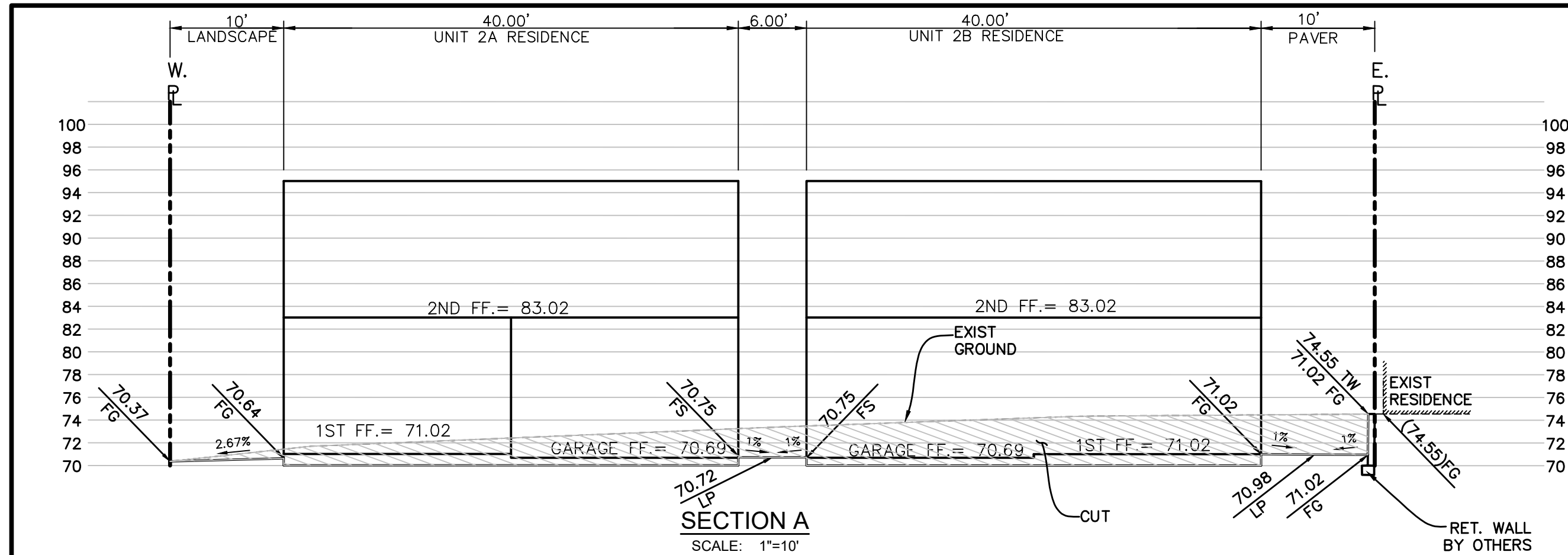
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**ACE GROUP**  
 AZAD CONSULTING ENGINEERS  
 CONTACT: JILA AZAD  
 2340 FOX HILLS DR. #305  
 LOS ANGELES, CA 90044  
 PHONE: (818) 497-2923

PLANS PREPARED BY:  
  
 ENGINEER NAME, RCE LICENSE No. 77585 DATE: 6/30/27

CITY OF HERMOSA BEACH  
 PUBLIC WORKS DEPARTMENT  
 RECOMMENDED FOR PERMIT ISSUANCE:  
 DATE

PRIVATE IMPROVEMENT PLANS  
 GRADING & DRAINAGE PLAN  
 722 & 714 LOMA AVE  
 CIVIL PLANS  
 FILE NUMBER B25-CIVIL  
 BUILDING #: B25-  
**C-2**  
 SHT. 2 OF 7



APPROVAL STAMP(S)

BENCH MARK:  
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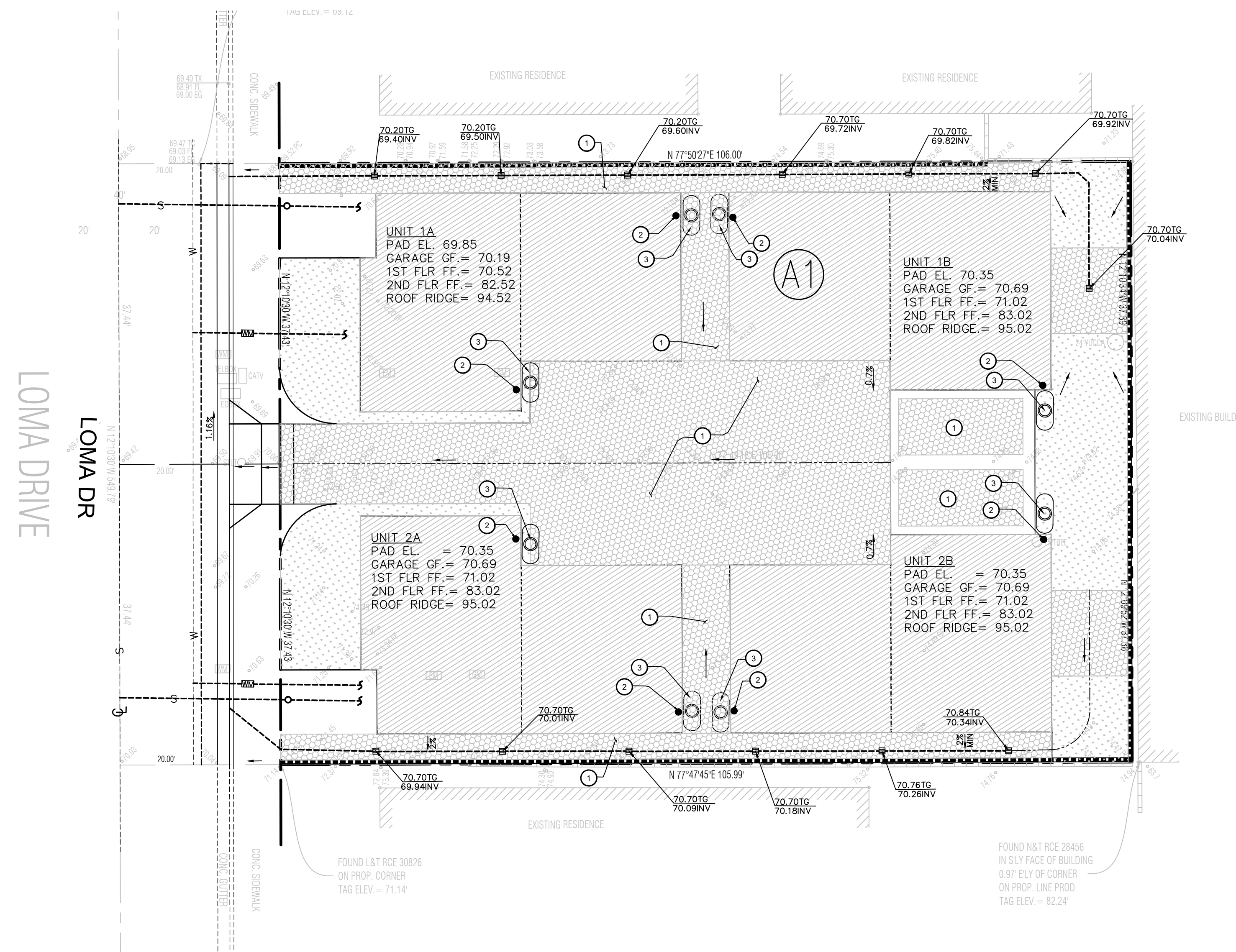
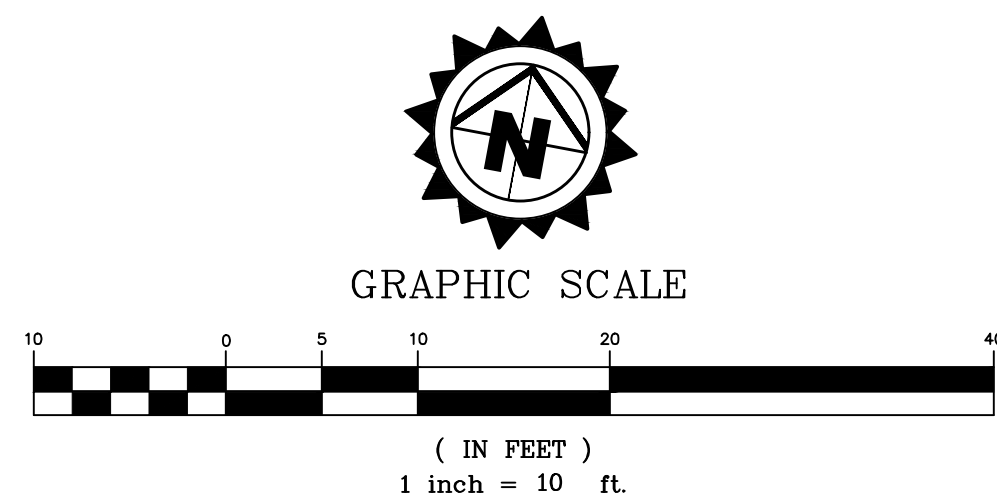
PLANS PREPARED BY:  
  
 ENGINEER NAME, RCE LICENSE No. 77585 DATE: 6/30/27

CITY OF HERMOSA BEACH  
 PUBLIC WORKS DEPARTMENT  
 RECOMMENDED FOR PERMIT ISSUANCE:

PRIVATE IMPROVEMENT PLANS  
 GRADING SECTIONS  
 722 & 714 LOMA AVE  
 CIVIL PLANS

FILE NUMBER  
 B25-CIVIL  
 BUILDING #:  
 B25-  
**C-3**  
 SHT. 3 OF 7

APPROVAL STAMP(S)



**PROPERTY INFORMATION:**

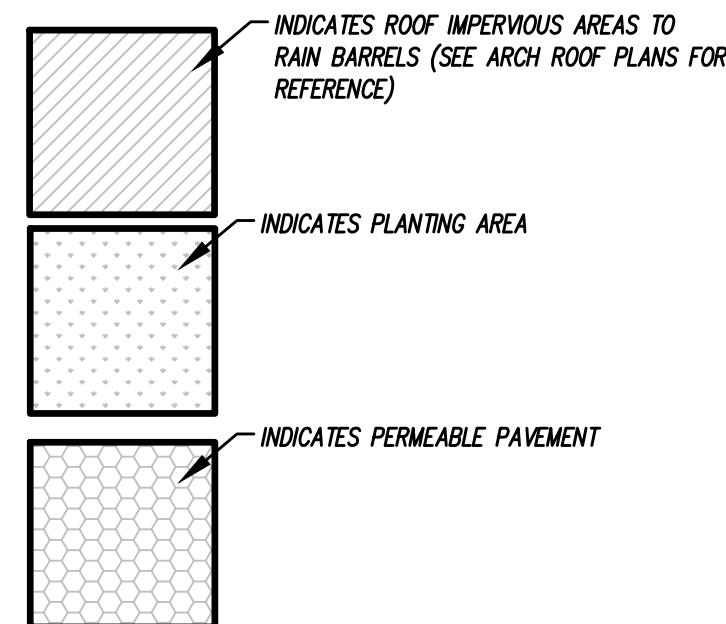
APN: 4181-015-008  
 LOT 7, BLOCK 120  
 M.B. 9-190  
 LATITUDE: 33°52'30" & LONGITUDE: 118°24'14"  
 PROPERTY TYPE: SFR  
 LOT SIZE: 7,931 SF  
 BUILDINGS SQUARE FOOTAGE (4 TOTAL): 3,716 SF  
 SITE ADDRESS: 722 & 714 LOMA DR, HERMOSA BEACH

**LID INFORMATION**

SOIL INFILTRATION RATE: 144.4 IN/HR  
 SOIL TYPE: 003  
 BMP TYPE: BUSHMAN RAIN BARREL  
 TOTAL DRAINAGE AREA: 7,931 S.F= 0.182 ACRES  
 STORM WATER QUALITY DESIGN: Vm= 2,037.1 GALLON  
 BMP DESIGN RAIN BARREL WATER QUALITY VOLUME PROVIDED :2,120 GALLON  
 PERCENT OF IMPERVIOUSNESS OF DRAINAGE AREA: 52%  
 PROPERTY OWNER INFORMATION: IODA CONSTRUCTION  
 PRE-DEVELOPMENT PERVIOUS AREA: 2,623 SQFT  
 PRE-DEVELOPMENT IMPERVIOUS AREA: 5,308 SQFT  
 POST-DEVELOPMENT PERVIOUS AREA: 3,796 SQFT  
 POST-DEVELOPMENT IMPERVIOUS AREA: 4,135 SQFT

**LEGEND**

**(A1)** LID AREA DESIGNATION  
 LID AREA BOUNDARY



HYDROLOGY DATA  
 SOIL TYPE= 003  
 50-YR RAINFALL DEPTH= 5.00"  
 RAINFALL DEPTH= 0.8"

TOTAL LOT AREA (AC)	ROOF IMPERV. AREA (AC)	PERVIOUS. AREA (AC)	BMP Vm REQUIRED (GALLONS)	# OF RAIN BARREL PROVIDED 265 (GALLONS)
0.182	0.085	0.087	2,037.1	8 EA

**CONSTRUCTION NOTES:**

- 1 PERMEABLE PAVEMENT PER DETAIL ON SHEET C-2.
- 2 ROOF DRAIN.
- 3 265 GALLON BUSHMAN SLIMLINE RAIN BARREL PER DETAIL SHEET C-5.

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 PHONE: (818) 497-2923

PLANS PREPARED BY:  
  
 ENGINEER NAME, RCE LICENSE No. 77585 DATE: 6/30/27

CITY OF HERMOSA BEACH  
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PRIVATE IMPROVEMENT PLANS  
 DRAINAGE PLAN  
 722 & 714 LOMA AVE  
 CIVIL PLANS  
 FILE NUMBER B25-CIVIL  
 BUILDING #: B25-  
**C-4**  
 SHT. 4 OF 7



# 265 Gallon Slimline Rainwater Harvesting Tank

## TOP VIEW

### STRAINER BASKET

Material ..... Polypropylene  
 Color ..... Black  
 Dimensions ..... 16" x 4"  
 Mesh ..... 20x20 S.S.

### COVER

Material ..... Polypropylene  
 Color ..... Black  
 Diameter ..... 16"  
 Inlet ..... 4" Knockouts (x2)  
 ..... 3" Precut (x1)

## SIDE VIEW

### TANK

Material ..... Polyethylene  
 Baffles ..... 2

### OVERFLOW

Material ..... Polypropylene  
 Diameter ..... 3" SDR 35

### FITTINGS

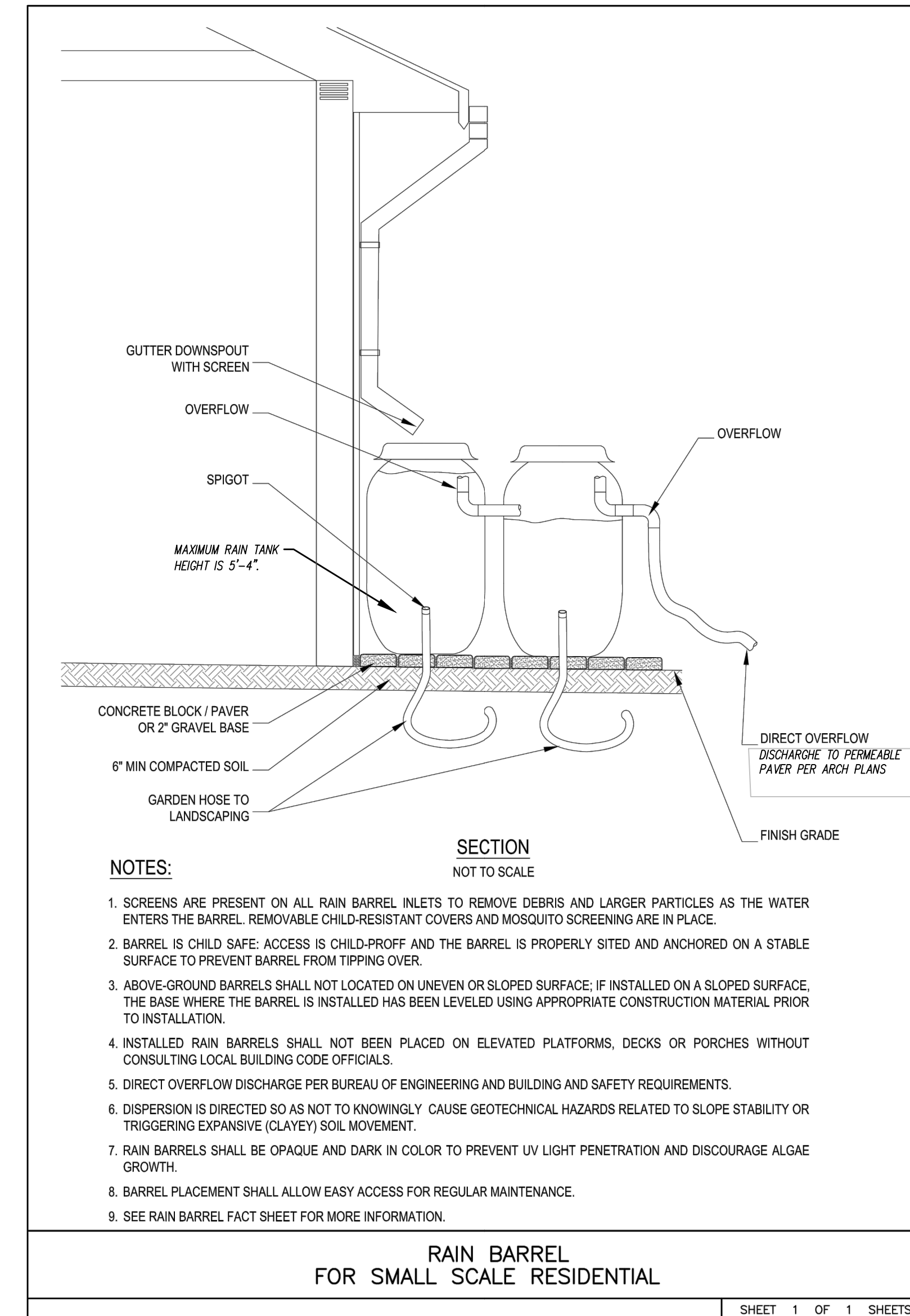
Type ..... Bulkhead  
 Height ..... ① ② 4"  
 Location ..... End Radius  
 Diameter ..... 1" NPT

## PART NUMBERS

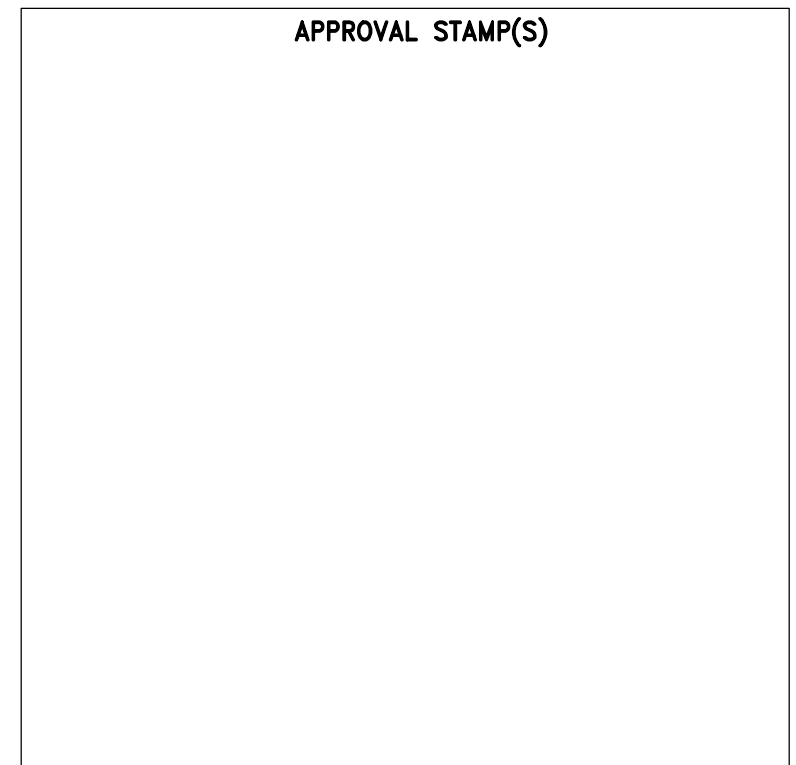
Black	Mocha
45491	45492
Dark Green	Dark Brown
45864	45757



Norwesco, Inc. | 4365 Steiner Street | St. Bonifacius, MN 55375-0439 | 800-328-3420



DETAIL NO. 1 RAIN BARREL  
 N.T.S. DIAGRAM



265 GALLON BUSHMAN SLIMLINE RAIN BARREL  
 SCALE: N.T.S.

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ENGINEER NAME, RCE LICENSE No. 77585

DATE: 6/30/27

CITY OF HERMOSA BEACH  
 PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

PRIVATE IMPROVEMENT PLANS

LID DETAILS  
 722 & 714 LOMA AVE  
 CIVIL PLANS

FILE NUMBER  
 B25-CIVIL

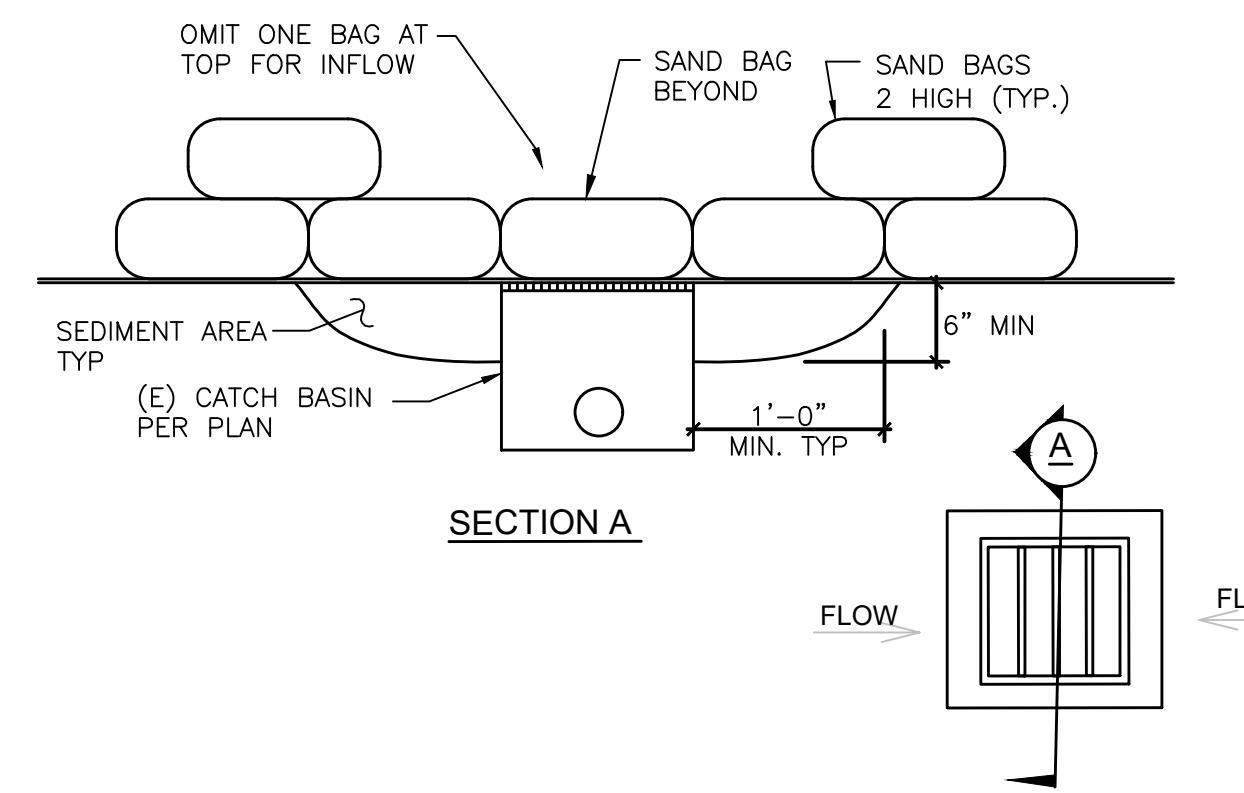
BUILDING #:  
 B25-

C-5

SHT. 5 OF 7

**STORMWATER POLLUTION PREVENTION PLAN NOTES (SWPPP):WET WEATHER EROSION CONTROL PLAN (WWECP) GENERAL NOTES**

- IN CASE OF EMERGENCY, CALL STORM BIRD AT (310) 874-1262
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITES AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOGS SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMP'S TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.

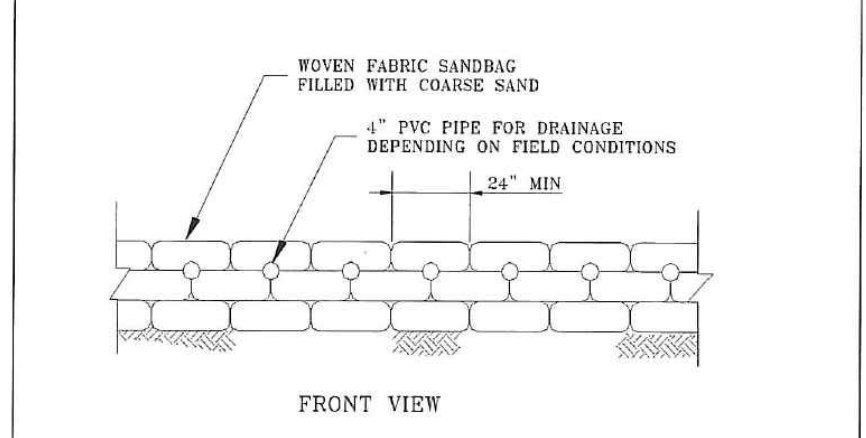
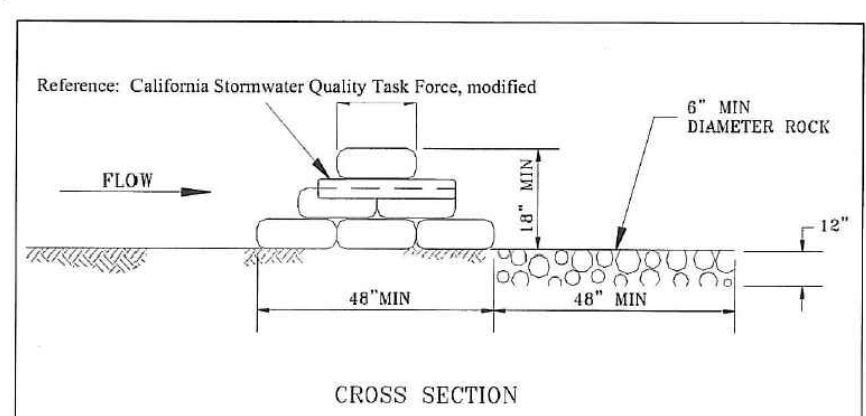
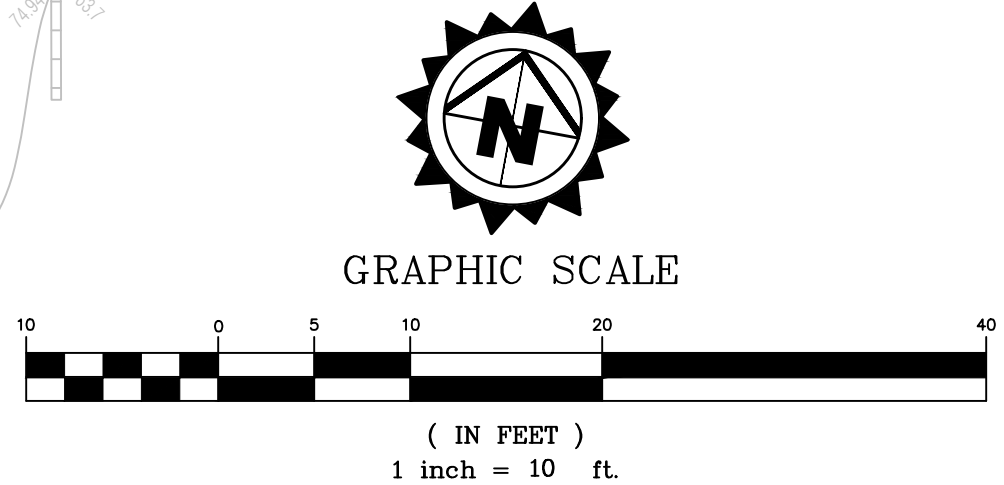
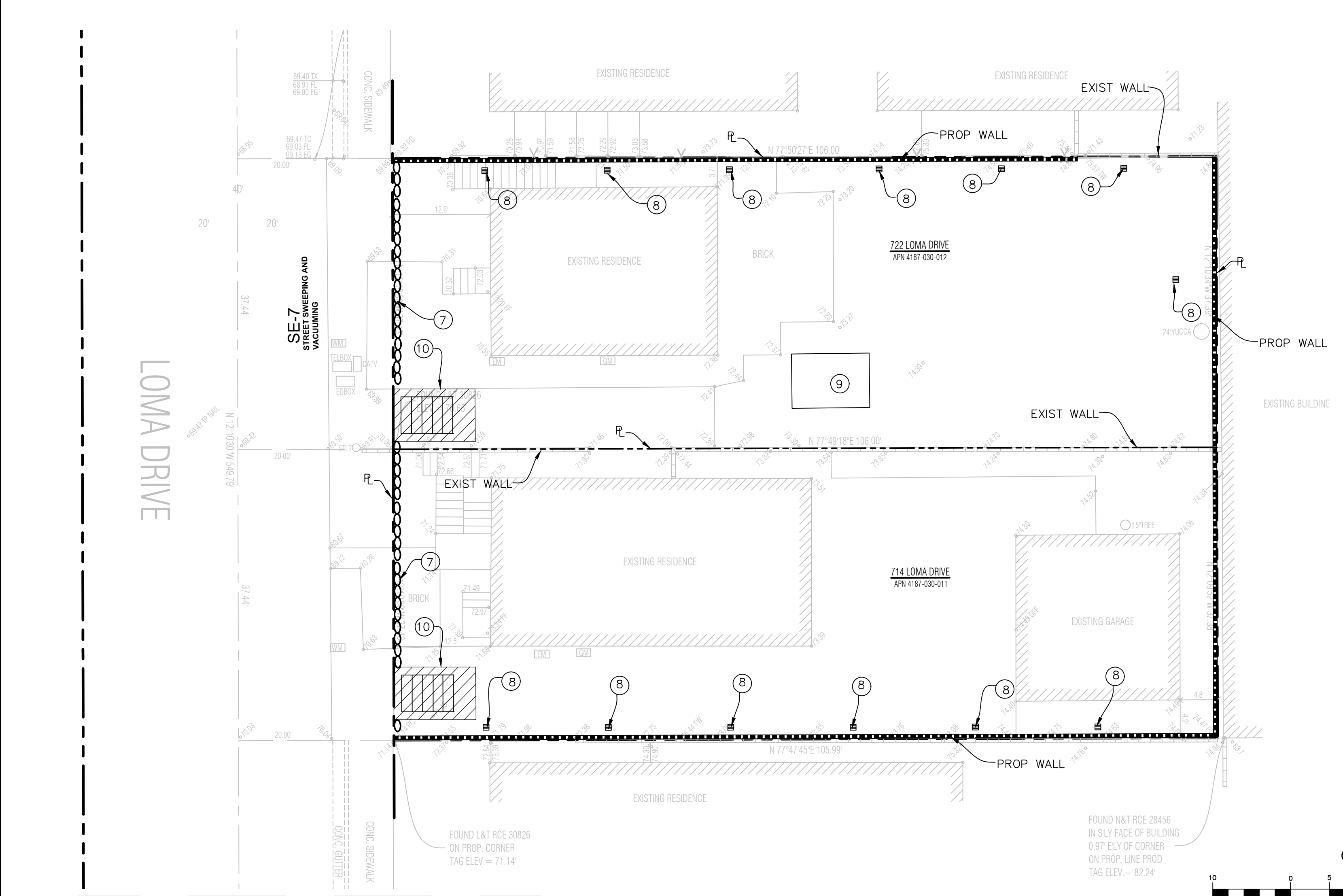


SECTION A  
INLET PROTECTION  
NOT TO SCALE

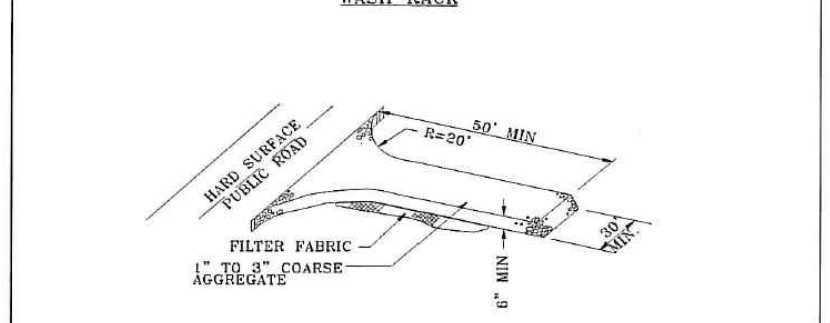
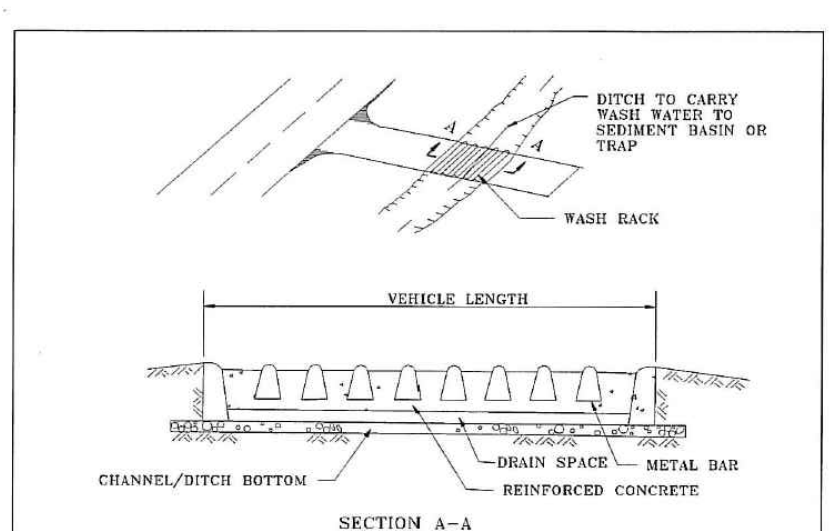
- LEGEND:**
- SAND BAGS, TWO BAGS HIGH
  - INLET PROTECTION.
  - STORAGE MATERIAL SITE.
  - STABILIZED CONSTRUCTION ENTRANCE

**EROSION CONTROL NOTES:**

- SAND BAGS WILL BE PLACED PER BMP SE-8 FOR SEDIMENT CONTROL IN DRIVING AREAS.
- STORAGE MATERIAL SITE TO BE UTILIZED PER BMP'S: WE-1, NS-1, NS-3, NS-12 WM-2, WM-4.
- STABILIZED CONSTRUCTION ENTRANCE PER BMP TC-1.
- INLET PROTECTION PER BMP SE-10.



<b>SANDBAG BARRIER</b>		BMP MANUAL ESC 32
DEPARTMENT OF PUBLIC WORKS		
BUREAU OF SANITATION		
DRAWN BY: [Signature]	CHECKED BY: [Signature]	APPROVED BY: [Signature]



<b>STABILIZED CONSTRUCTION ENTRANCE</b>		BMP MANUAL ESC 31
DEPARTMENT OF PUBLIC WORKS		
BUREAU OF SANITATION		
DRAWN BY: [Signature]	CHECKED BY: [Signature]	APPROVED BY: [Signature]

21. THE FOLLOWING BMP FROM THE "CALIFORNIA STORM WATER BMP HANDBOOK" - MARCH 2003, MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE.

<p><b>Table 3-1 Erosion Control BMPs</b></p> <p>Include BMP # BMP Name</p> <p>X EC-1 Scheduling</p> <p>EC-2 Preservation of Existing Vegetation</p> <p>EC-3 Hydroseeding</p> <p>EC-4 Soil Binders</p> <p>EC-5 Straw Mulch</p> <p>EC-6 Geotextiles &amp; Mats</p> <p>EC-9 Earth Dikes &amp; Drainage Swales</p> <p>EC-10 Velocity Dissipation Devices</p> <p>EC-11 Slope Drains</p> <p>EC-12 Streambank Stabilization</p> <p>EC-13 Polycrylamide</p>	<p><b>Table 3-2 Temp. Sediment Control BMPs</b></p> <p>Include BMP # BMP Name</p> <p>SE-3 Silt Fence</p> <p>SE-2 Sediment Basin</p> <p>SE-5 Sediment Trap</p> <p>SE-4 Check Dam</p> <p>SE-5 Fiber Rolls</p> <p>SE-8 Gravel Bag Berm</p> <p>X SE-7 Street Sweeping &amp; Vacuuming</p> <p>X SE-4 Sandbag Barrier</p> <p>SE-9 Straw Bale Barrier</p> <p>SE-10 Storm Drain Inlet Protection</p>	<p><b>Table 3-3 Wind Erosion Control BMPs</b></p> <p>Include BMP # BMP Name</p> <p>X WE-1 Wind Erosion Control</p>	<p><b>Table 3-4 Temp. Tracking Control BMPs</b></p> <p>BMP # BMP Name</p> <p>X TC-1 Stabilized Const. Entrance/Exit</p> <p>TC-2 Stabilized Const. Roadway</p> <p>TC-3 Entrance/Outlet Tire Wash</p>	<p><b>Table 3-1 Source Control BMPs</b></p> <p>Non Stormwater Management</p> <p>Include BMP # BMP Name</p> <p>SC-10 Non-Stormwater Discharges</p> <p>SC-11 Spill Prevention, Control &amp; Cleanup</p> <p>Vehicle and Equipment Management</p> <p>SC-20 Vehicle &amp; Equipment Fueling</p> <p>SC-21 Vehicle &amp; Equipment Cleaning</p> <p>SC-22 Vehicle &amp; Equipment Repair</p> <p>Material and Waste Management</p> <p>SC-30 Outdoor Loading/Unloading</p> <p>SC-31 Outdoor Liquid Container Storage</p> <p>SC-32 Outdoor Equipment Operations</p> <p>SC-33 Outdoor Storage of Raw Material</p> <p>SC-34 Waste Handling Disposal</p> <p>SC-35 Safer Alternate Products</p> <p>Building and Grounds Management</p> <p>SC-40 Contaminated or Erodeable Areas</p> <p>SC-41 Building &amp; Grounds Maintenance</p> <p>SC-42 Building Repair and Construction</p> <p>SC-43 Parking/Storage Area Maintenance</p> <p>SC-44 Drainage System Maintenance</p>	<p><b>Table 4-1 Source Control BMPs for Design</b></p> <p>Design</p> <p>Include BMP # BMP Name</p> <p>SD-10 Site Design and Landscape Planning</p> <p>SD-11 Roof Runoff Controls</p> <p>SD-12 Efficient Irrigation</p> <p>SD-13 Storm Drain System Signs</p> <p>Materials</p> <p>SD-20 Pervious Pavements</p> <p>SD-21 Alternate Building Materials</p> <p>Areas</p> <p>SD-30 Fueling Areas</p> <p>SD-31 Maintenance Bays and Docks</p> <p>SD-32 Trash Enclosures</p> <p>SD-33 Vehicle Washing Areas</p> <p>SD-34 Outdoor Material Storage Areas</p> <p>SD-35 Outdoor Work Areas</p> <p>SD-36 Outdoor Processing Areas</p>	<p><b>Waste Management &amp; Materials Pollution Control BMPs</b></p> <p>Include BMP # BMP Name</p> <p>X WM-1 Material Delivery and Storage</p> <p>X WM-2 Material Use</p> <p>WM-3 Stockpile Management</p> <p>WM-4 Spill Prevention and Control</p> <p>WM-5 Solid Waste Management</p> <p>WM-6 Hazardous Waste Management</p> <p>WM-7 Contaminated Soil Management</p> <p>WM-8 Concrete Waste Management</p> <p>WM-9 Sanitary/Septic Waste Management</p> <p>WM-10 Liquid Waste Management</p>	<p><b>Non-Stormwater Management BMPs</b></p> <p>Include BMP # BMP Name</p> <p>X NS-1 Water Conservation Practices</p> <p>NS-2 Dewatering Operations</p> <p>X NS-3 Paving and Grinding Operations</p> <p>NS-4 Temporary Stream Crossing</p> <p>NS-5 Clear Water Diversion</p> <p>NS-6 Illicit Connection/Discharge</p> <p>NS-7 Portable Water/Irrigation</p> <p>NS-8 Vehicle and Equipment Cleaning</p> <p>NS-9 Vehicle and Equipment Fueling</p> <p>NS-10 Vehicle and Equipment Maintenance</p> <p>X NS-11 Pile Driving Operations</p> <p>NS-12 Concrete Curing</p> <p>NS-13 Concrete Finishing</p> <p>NS-14 Material and Equipment Use</p> <p>NS-15 Demolition Adjacent to Water</p> <p>NS-16 Temporary Batch Plants</p>
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\* THE ABOVE NOTES AND BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BMP HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).

*Jila Azad*  
JILA AZAD  
6/16/25  
DATE

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM AND THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE LOCAL SWPPP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE LOCAL SWPPP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW.

PERMITEE \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL STAMP(S)

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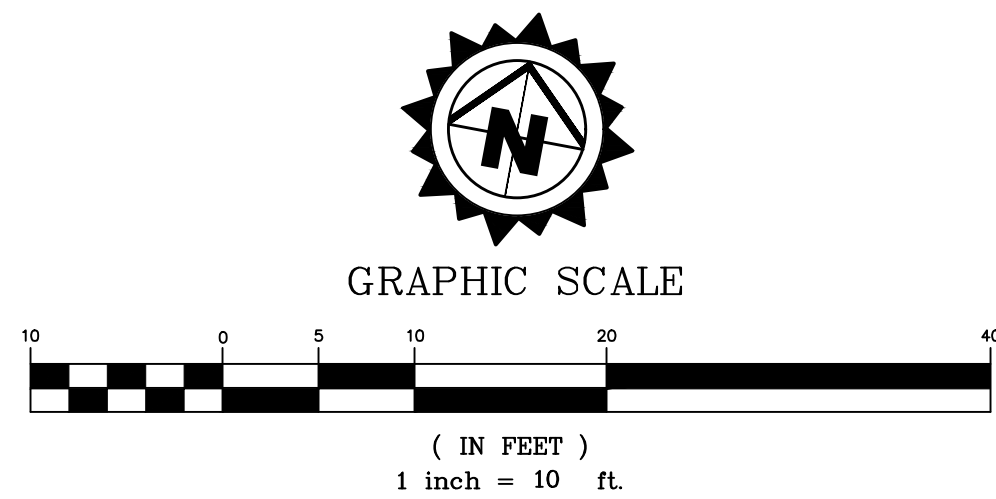
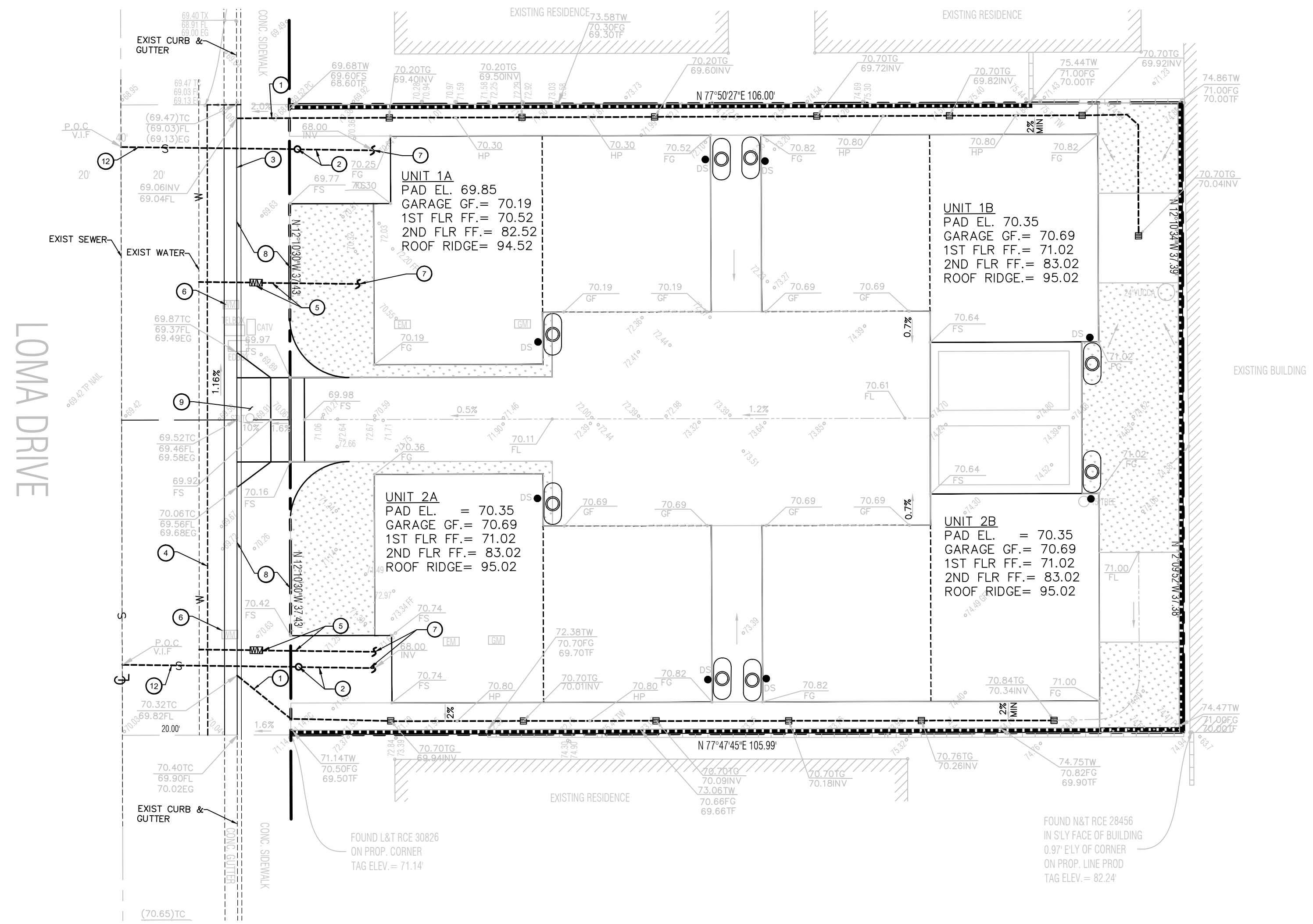
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CONTACT: JILA AZAD  
2340 FOX HILLS DR. #305  
LOS ANGELES, CA 90044  
PHONE: (818) 497-2923

PLANS PREPARED BY:  
*Jila H. Azad*  
REGISTERED PROFESSIONAL ENGINEER  
No. 77585  
Exp. 6/30/27  
STATE OF CALIFORNIA  
ENGINEER NAME, RCE LICENSE No. 77585 DATE: 6/30/27

CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT  
RECOMMENDED FOR PERMIT ISSUANCE:  
DATE

PRIVATE IMPROVEMENT PLANS  
EROSION CONTROL PLAN  
722 & 714 LOMA AVE  
CIVIL PLANS  
FILE NUMBER B25-CIVIL  
BUILDING #: B25-  
C-6  
SHT. 6 OF 7



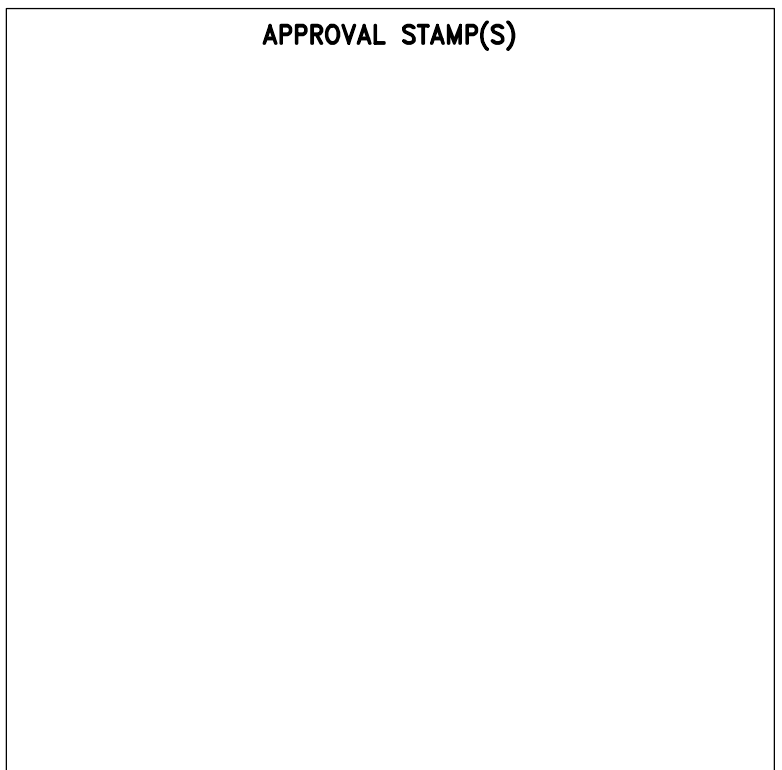


**CONSTRUCTION NOTES:**

- 1 CONSTRUCT 3"x8" PARKWAY DRAIN PER APWA STD PLAN 151-2.
- 2 6" PVC SDR-35 SEWER LATERAL, CLEANOUT, BACKFLOW PREVENTION VALVE PER APWA STD PLAN NO 222-1. CONNECTION INTO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW "WYE". CAP EXISTING SEWER LATERAL AT MAIN, REFER TO NOTE 1 HEREOF.
- 3 CONSTRUCT NEW 6" PCC CURB & 18" GUTTER PER CITY OF HERMOSA BEACH STD PLAN 101, TYPE A PL TO PL OR THE NEXT CONSTRUCTION JOINT WHICHEVER IS GREATER.
- 4 SAWCUT 2' R & R FULL DEPTH PAVEMENT AND JOIN AND MATCH EXISTING PAVEMENT.
- 5 INSTALL WATER SERVICE AND METER PER CALWATER, EXACT LOCATION PER PLUMBING PLANS.
- 6 ADJUST TO GRADE EXIST WATER METER AND SERVICE TO WATER MAIN PER CALWATER STDS, LOCATION TO BE VERIFIED.
- 7 COORDINATE WITH PLUMBING PLANS AT BUILDING CONNECTION FOR CONTINUATION AND ALIGNMENT.
- 8 REMOVE AND REPLACE PCC SIDEWALK PL TO PL OR NEXT CONSTRUCTION JOINT PER CITY STD PLAN 106 CASE 2.
- 9 CONSTRUCT RESIDENTIAL 6" PCC DRIVEWAY PER CITY STD 102, W=10', Y=4', X=3'.
- 10 PW RESTORATIONS MUST BE DONE PER CITY OF HERMOSA BEACH STD 118.
- 11 PW RESTORATIONS MUST BE DONE PER CITY OF HERMOSA BEACH STD 117 ROADWAY UTILITY TRENCH DETAIL.
- 12 CONTRACTOR SHALL PERFORM A CCTV INSPECTION OF THE EXISTING HOUSE LATERAL SEWER TO ASSESS SUITABILITY FOR REUSE AND ALIGNMENT PRIOR NEW SEWER LATERAL CONNECTION TO THE BUILDING P.O.C.

**NOTE:**

- AS PER MUNICIPAL CODE CHAPTER 12.08 EXCEPT AS PROVIDED IN SECTION 12.08.020, ANY OWNER, LESSEE OR AGENT OR ANY OTHER PERSON OR PERSONS CONSTRUCTING OR ARRANGING FOR THE CONSTRUCTION OF: (a) ANY COMMERCIAL OR INDUSTRIAL BUILDING OR RESIDENTIAL DWELLING STRUCTURE, OR ADDITION THERETO, EXCEEDING (400) SQUARE FEET IN FLOOR AREA, OR (b) ANY ACCESSORY BUILDING GREATER THAN FIFTY PERCENT (50%) OF THE SQUARE FOOTAGE OF THE EXISTING MAIN BUILDING, SHALL PROVIDE FOR THE CONSTRUCTION OF PORTLAND CEMENT CONCRETE CURBS, GUTTERS AND SIDEWALKS, STREET PAVEMENT BETWEEN THE GUTTER AND CENTERLINE OF THE STREET FRONTING THE PROPERTY, AND PAVEMENT BETWEEN THE EDGE OF PAVEMENT AND CENTERLINE OF ANY ALLEY ADJOINING THE PROPERTY IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY ENGINEER.



BENCH MARK:  
  
FOUND LEAD BRAD AND NAIL IN THE WEST CURB OF THE CENTER LINE MEDIAN, 3.3 FT WEST OF THE CENTERLINE OF HERMOSA AVE ON THE CENTERLINE PRODUCED OF 7TH STREET LA COUNTY BM QY10908/ ELEV. = 15.777'  
  
DATE ADJ. N/A QUAD. N/A



REVISIONS		
No.	DESCRIPTION	DATE
△	1ST SUBMITTAL	06-16-25
△		
△		
△		
△		

**ACE GROUP**  
  
AZAD CONSULTING ENGINEERS  
CONTACT: JILA AZAD  
2340 FOX HILLS DR. #305  
LOS ANGELES, CA 90044  
PHONE: (818) 497-2923

PLANS PREPARED BY:  
  
ENGINEER NAME, RCE LICENSE No. 77585 DATE: 6/30/27

CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT  
RECOMMENDED FOR PERMIT ISSUANCE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRIVATE IMPROVEMENT PLANS  
PUBLIC IMPROVROEMENT PLAN  
722 & 714 LOMA AVE  
CIVIL PLANS

FILE NUMBER  
B25-CIVIL  
BUILDING #:  
B25-  
C-7  
SHT. 7 OF 7

NOTES

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PLANNING DEPT STAMP

ENG. STAMP

DESIGNER



CONTRACTOR

IODA CONSTRUCTION, INC.

PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT  
MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

714 A LOMA DRIVE CONDOS

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

SHEET NAME

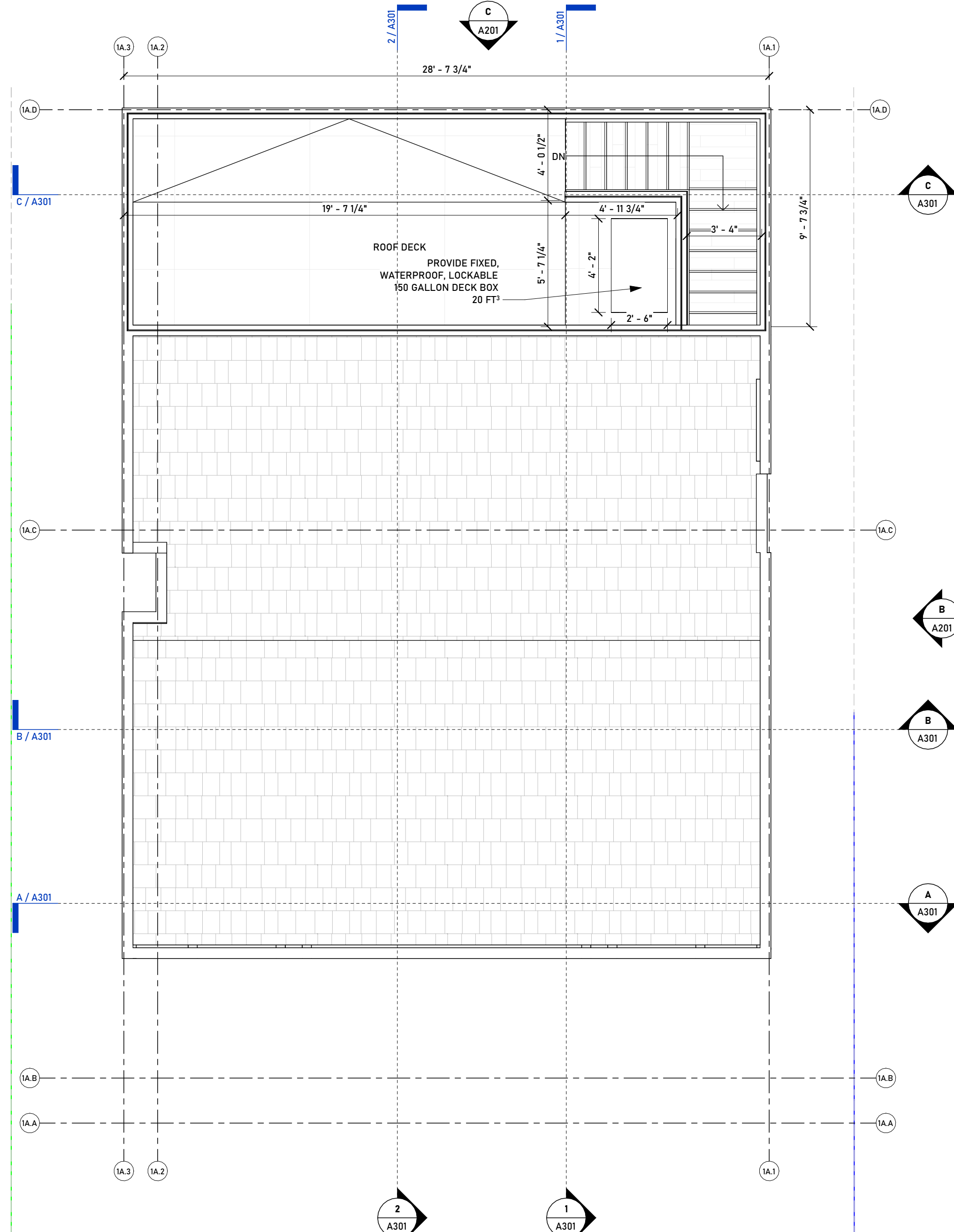
714 A FLOORPLANS

SHEET NUMBER

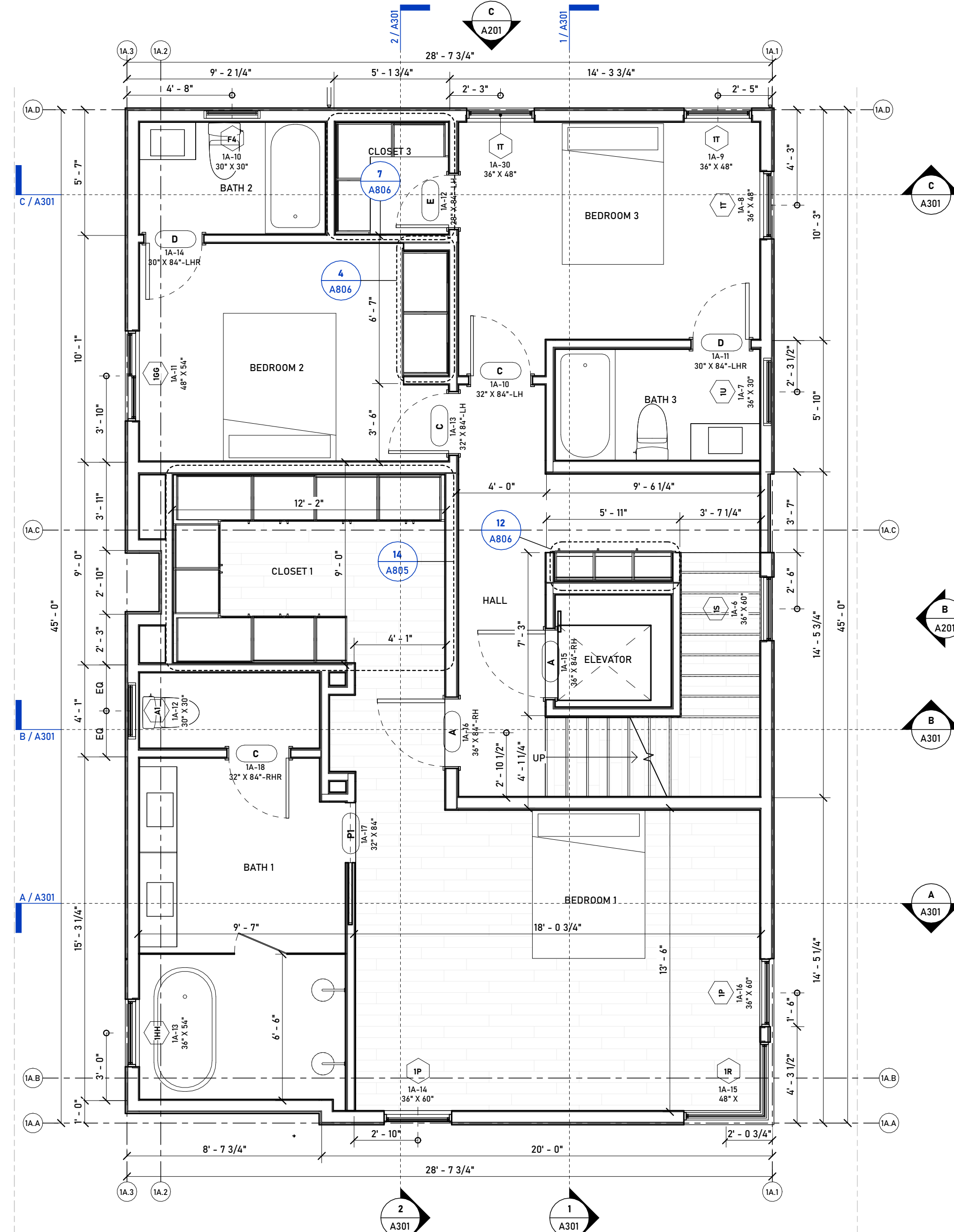
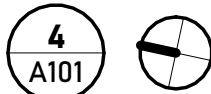
A101

PLOT DATE:

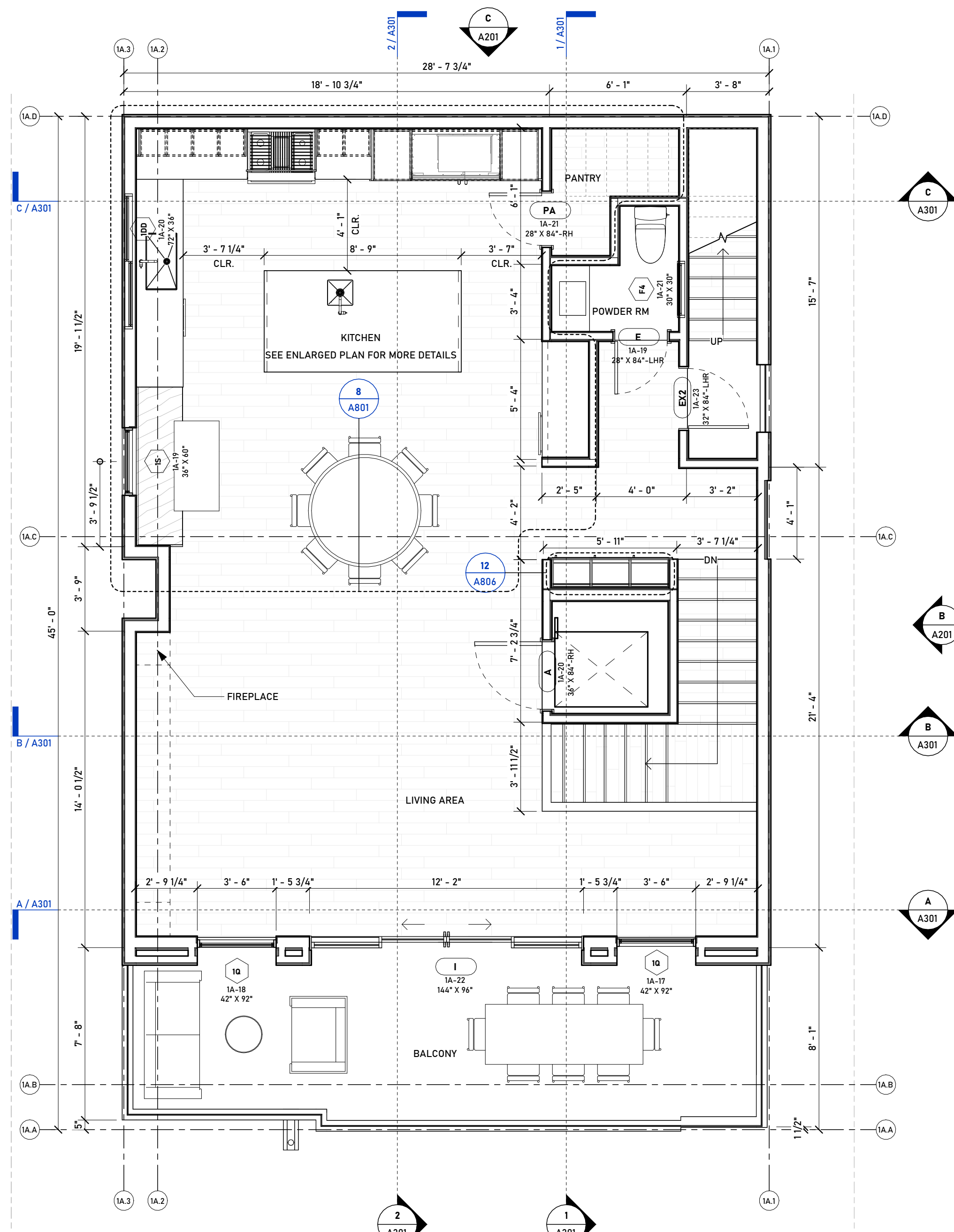
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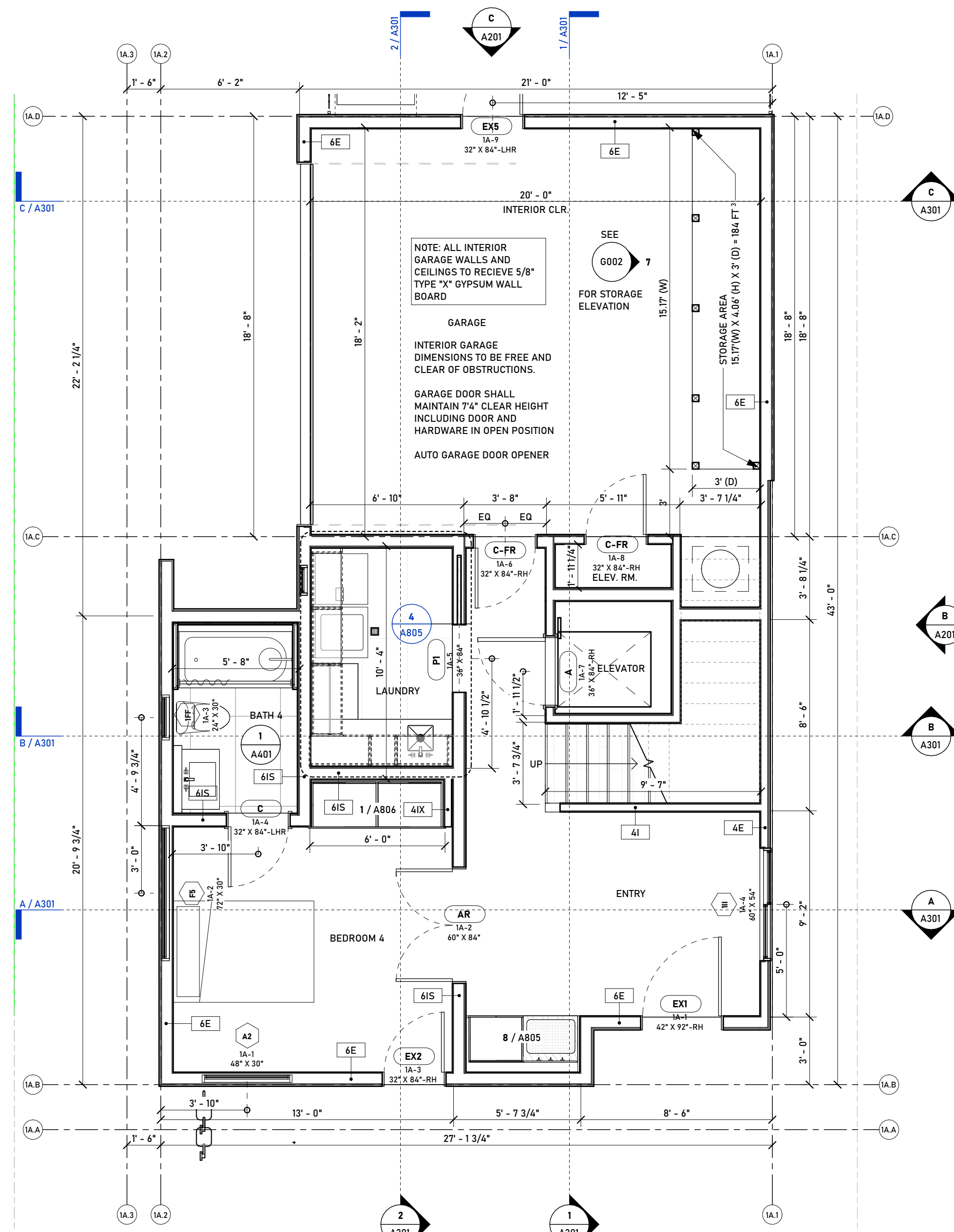
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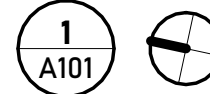
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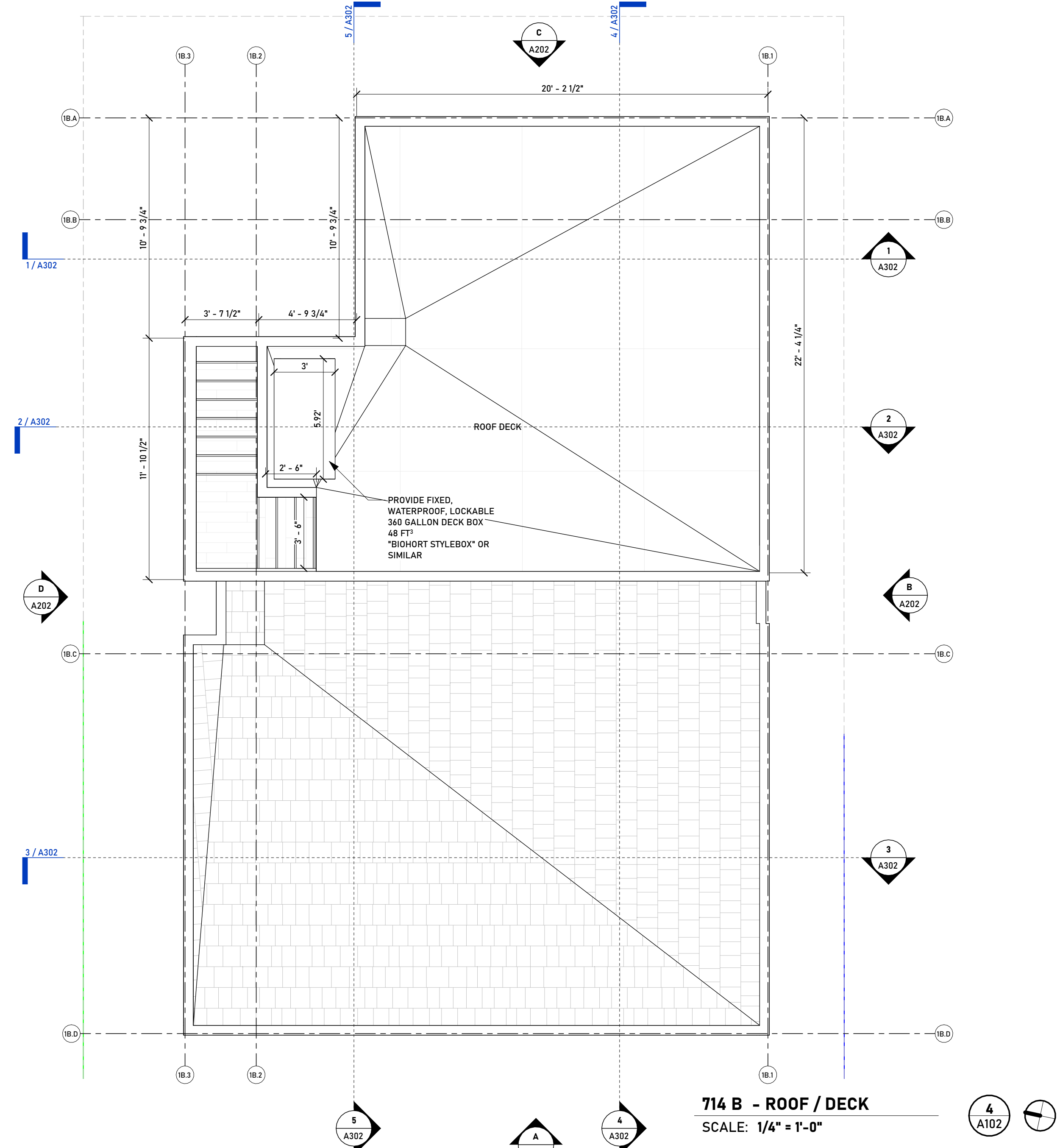
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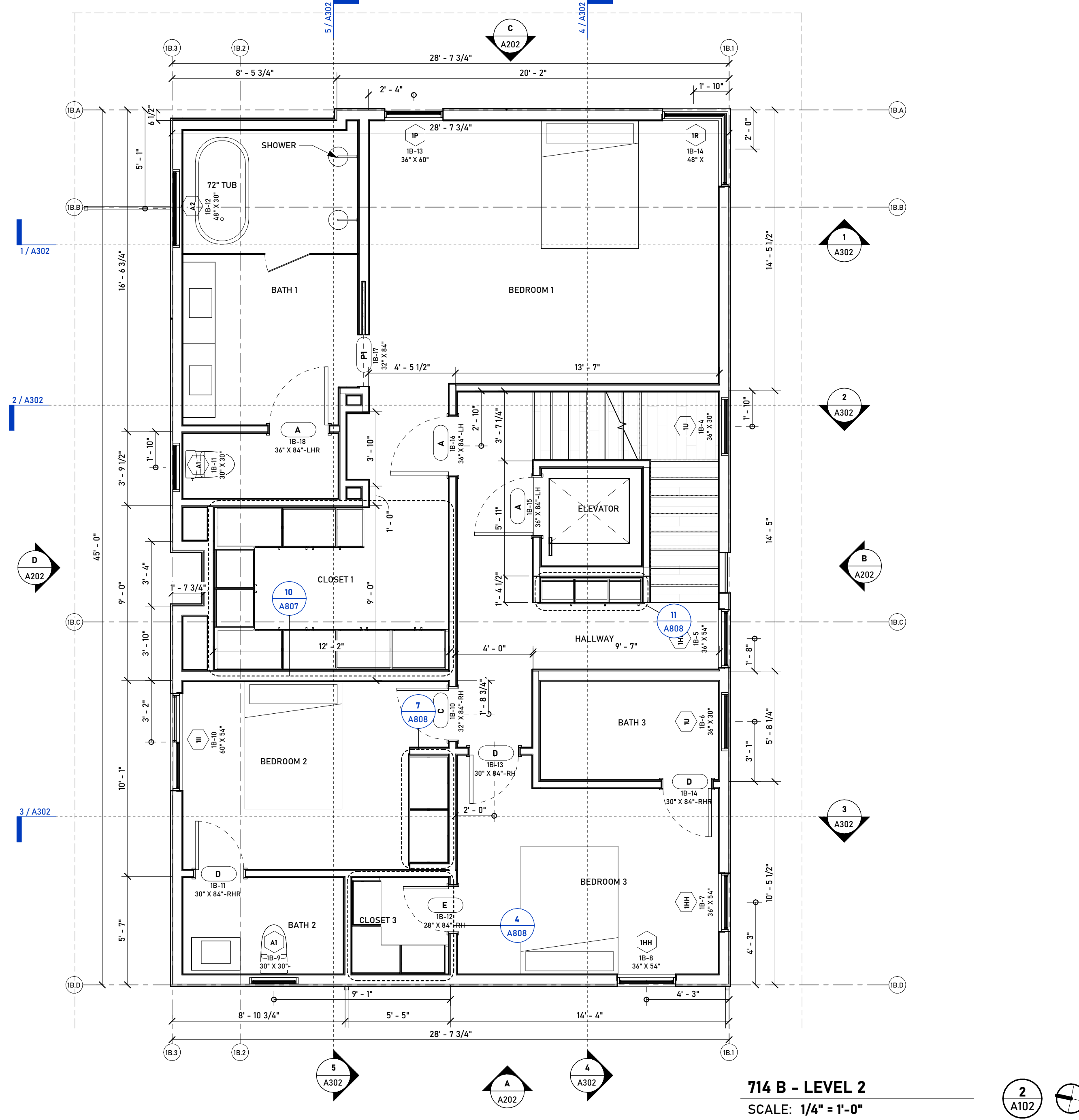
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SCALE: 1/4" = 1'-0"



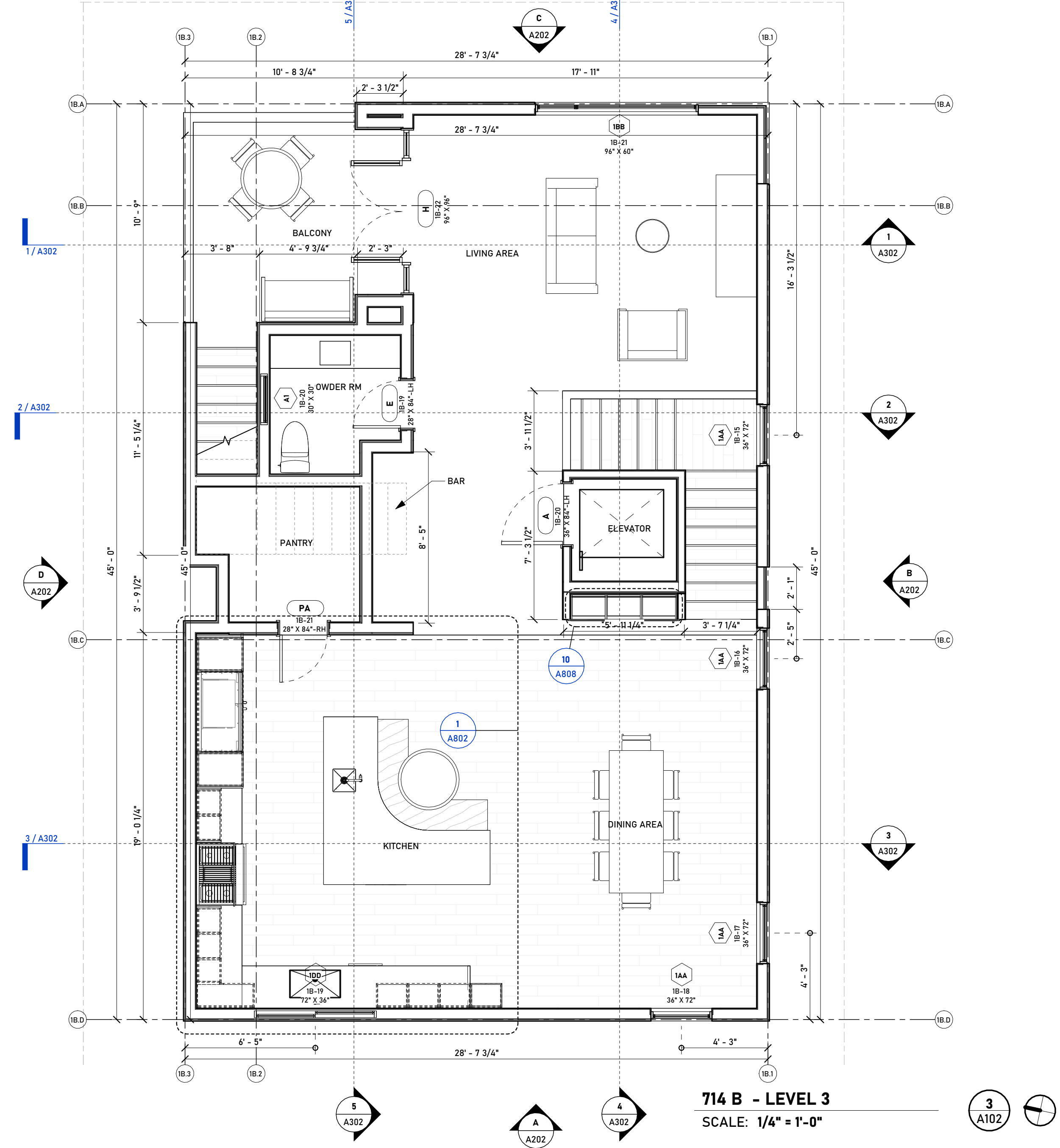




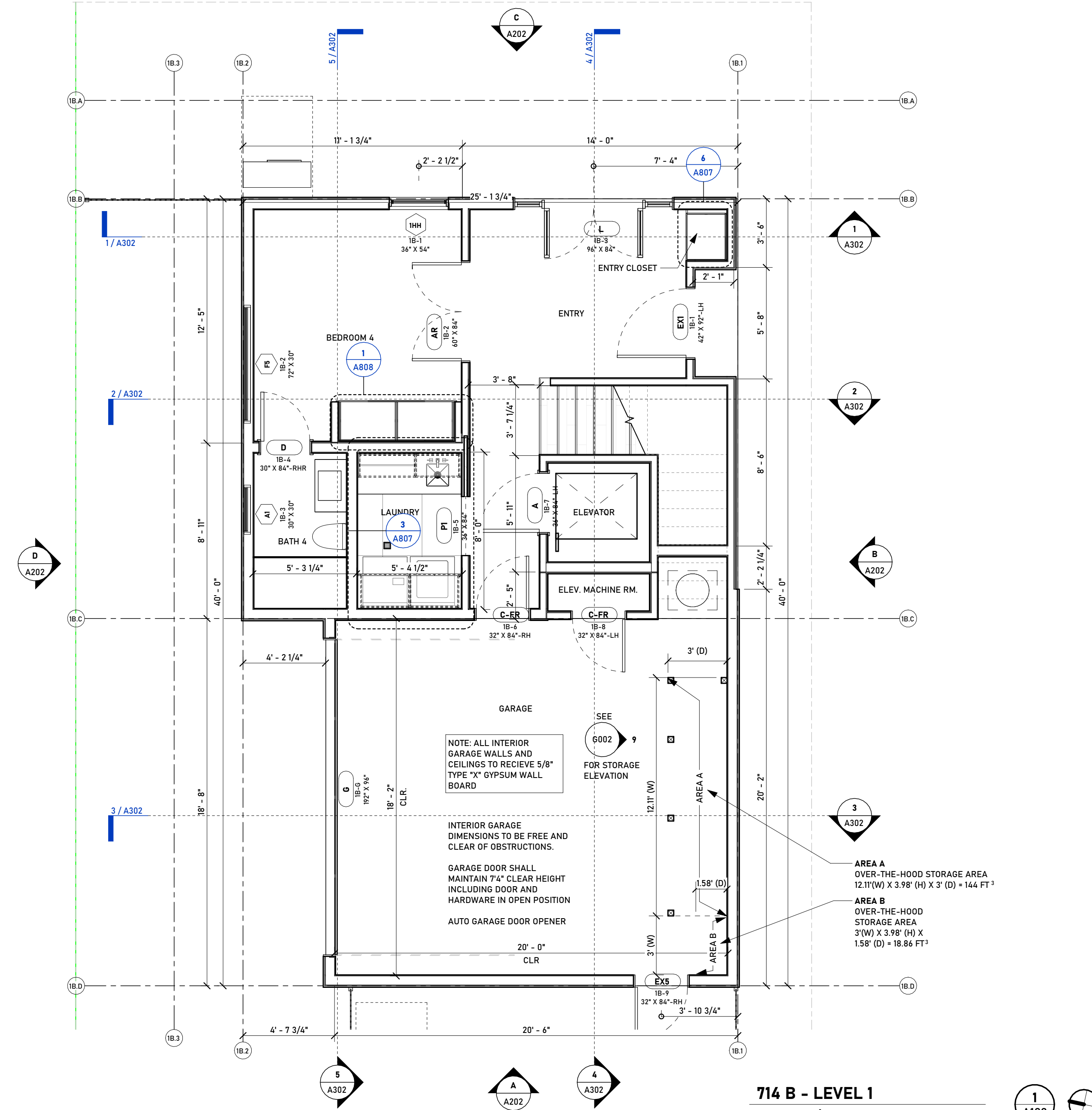
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SCALE: 1/4" = 1'-0"



**714 B - LEVEL 2**  
SCALE: 1/4" = 1'-0"



**714 B - LEVEL 3**  
SCALE: 1/4" = 1'-0"



**714 B - LEVEL 1**  
SCALE: 1/4" = 1'-0"

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BUILDING DEPT STAMP

PLANNING DEPT STAMP

ENG. STAMP

DESIGNER



CONTRACTOR



PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

REVISIONS	
NO.	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT  
MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

**714 B  
LOMA DRIVE  
CONDOS**

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

SHEET NAME

**714 B FLOORPLANS**

SHEET NUMBER

**A102**

PLOT DATE: 10/7/2025 2:13:04 PM

**NOTES**

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PLANNING DEPT STAMP

ENG. STAMP

DESIGNER



CONTRACTOR

**IODA**  
CONSTRUCTION, INC.

PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT

MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

**722 A**  
**LOMA DRIVE**  
**CONDOS**

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

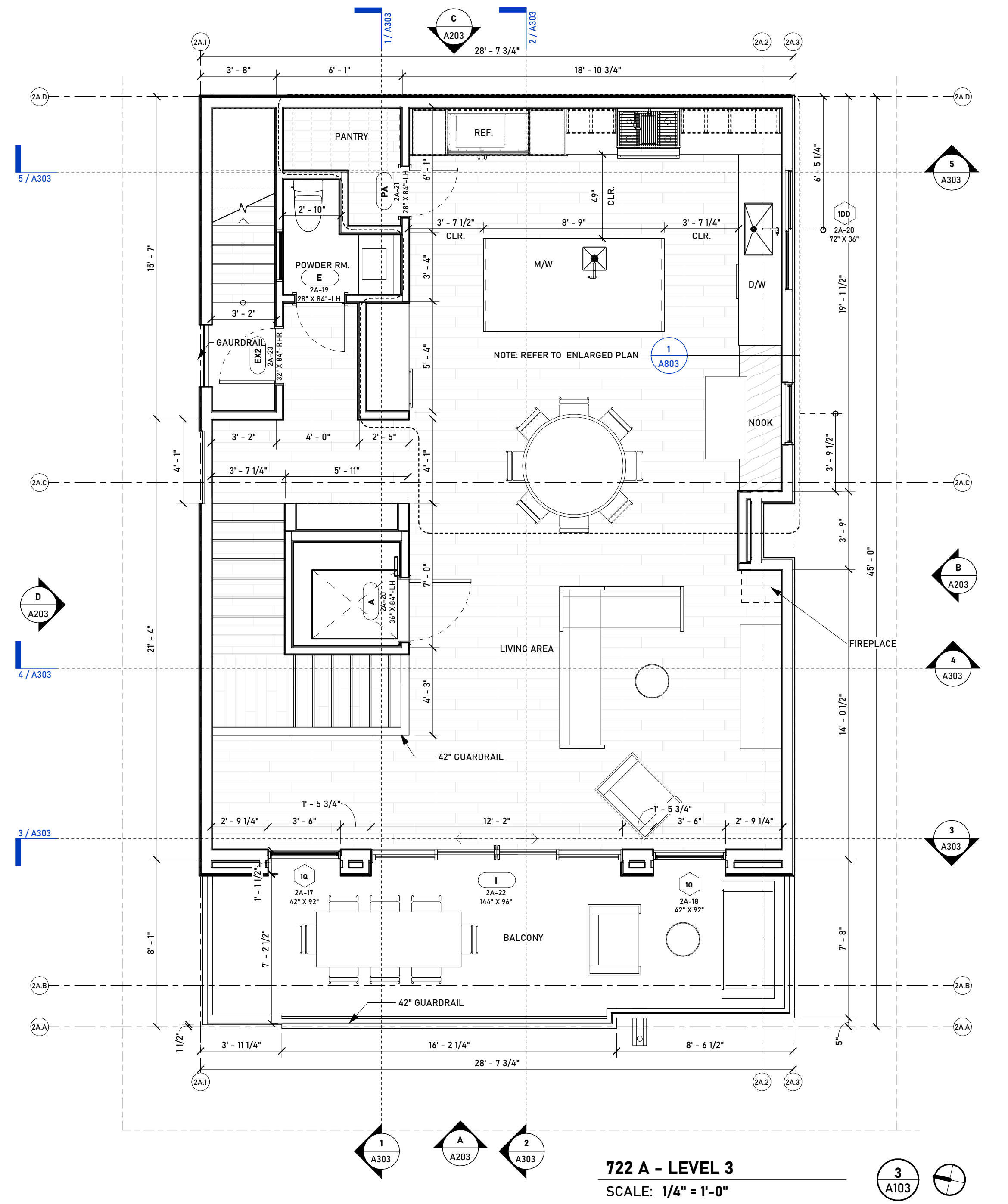
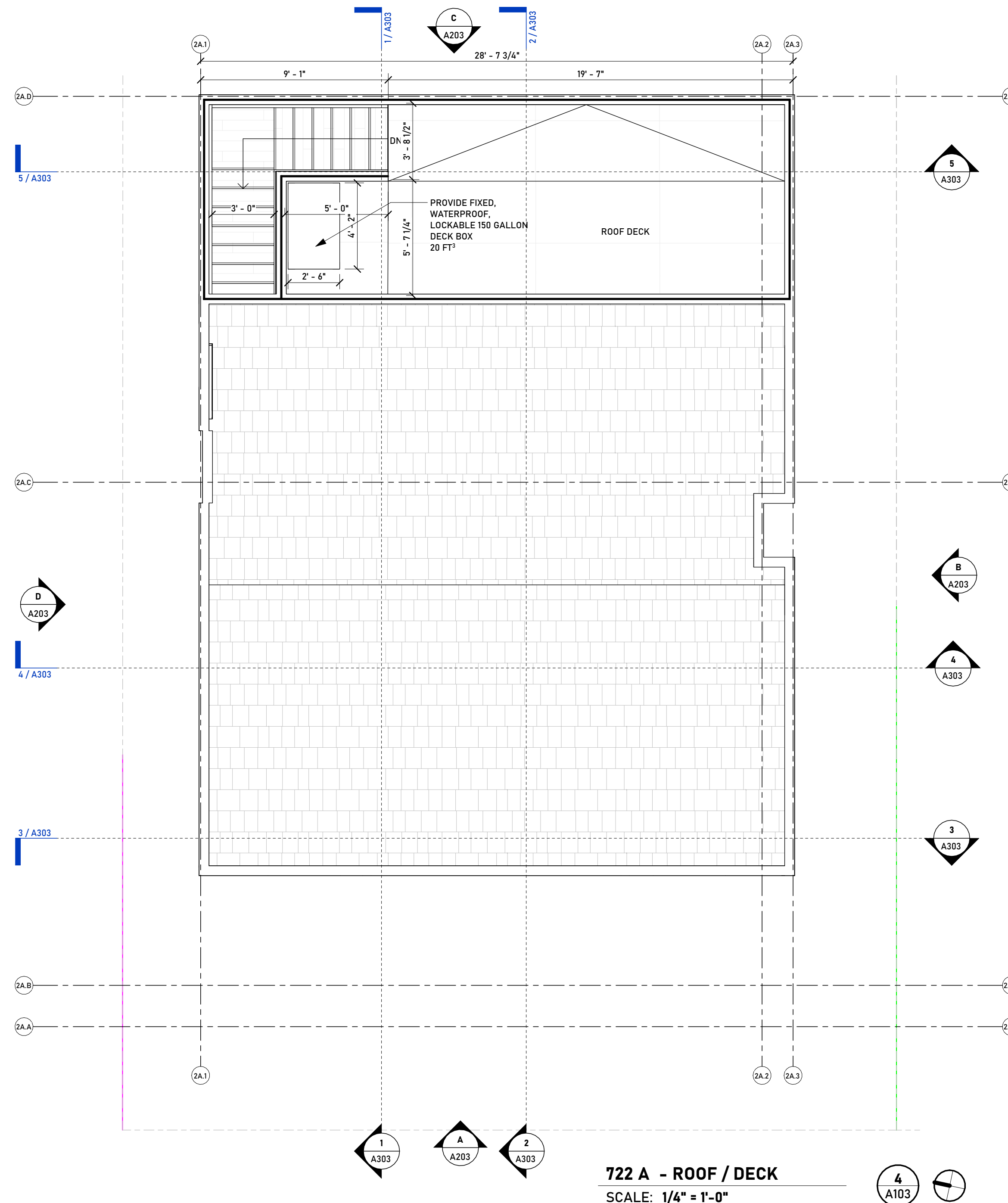
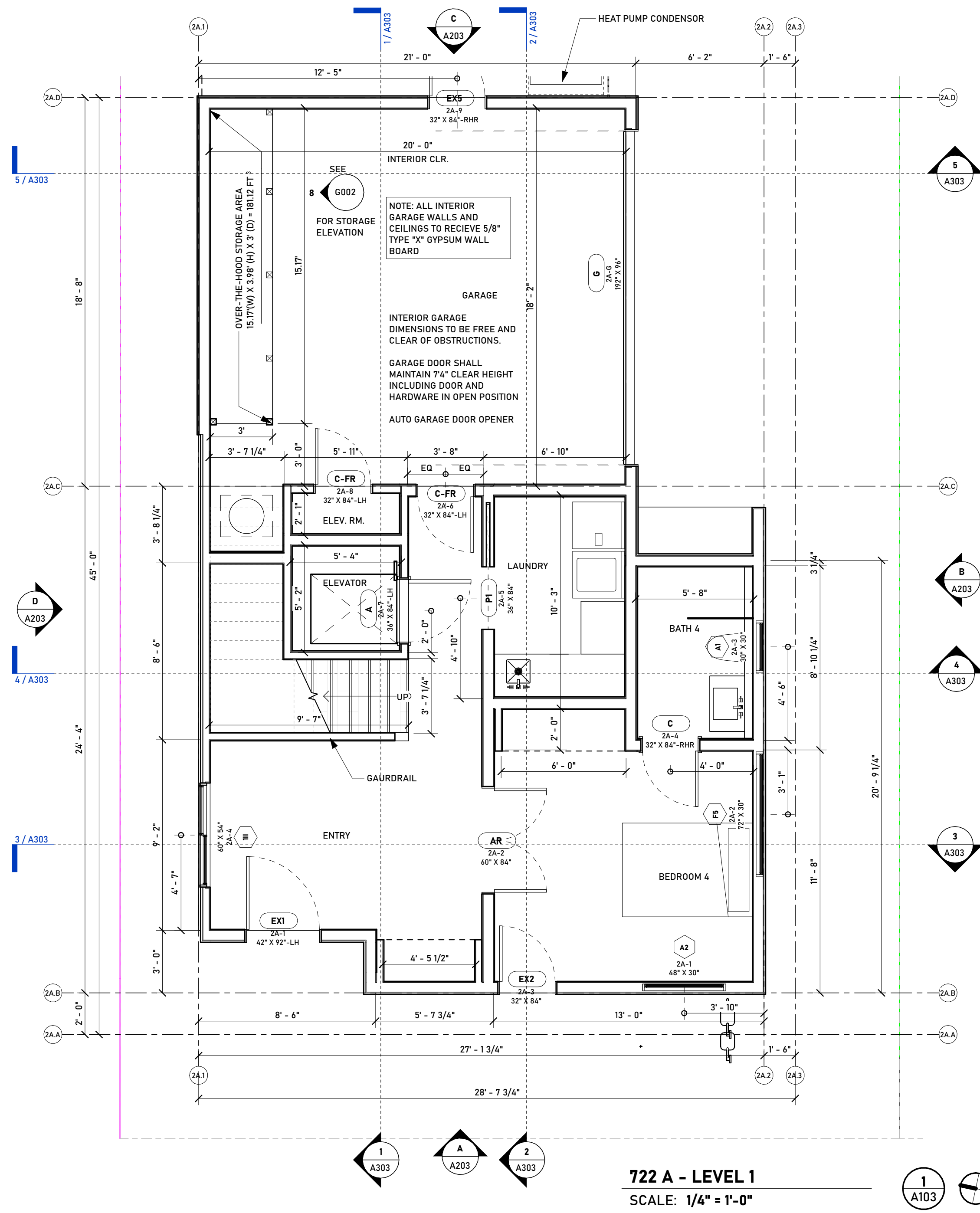
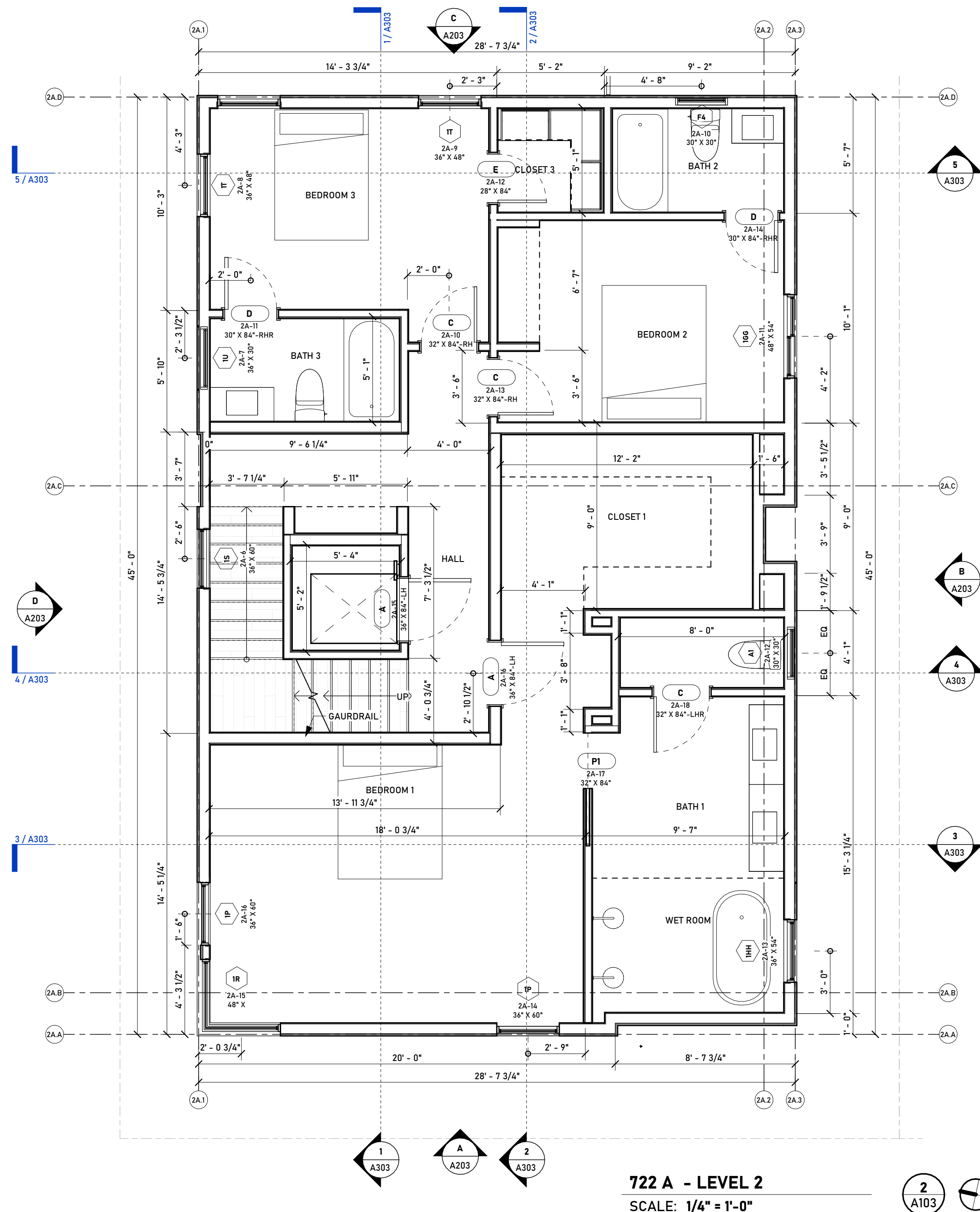
SHEET NAME

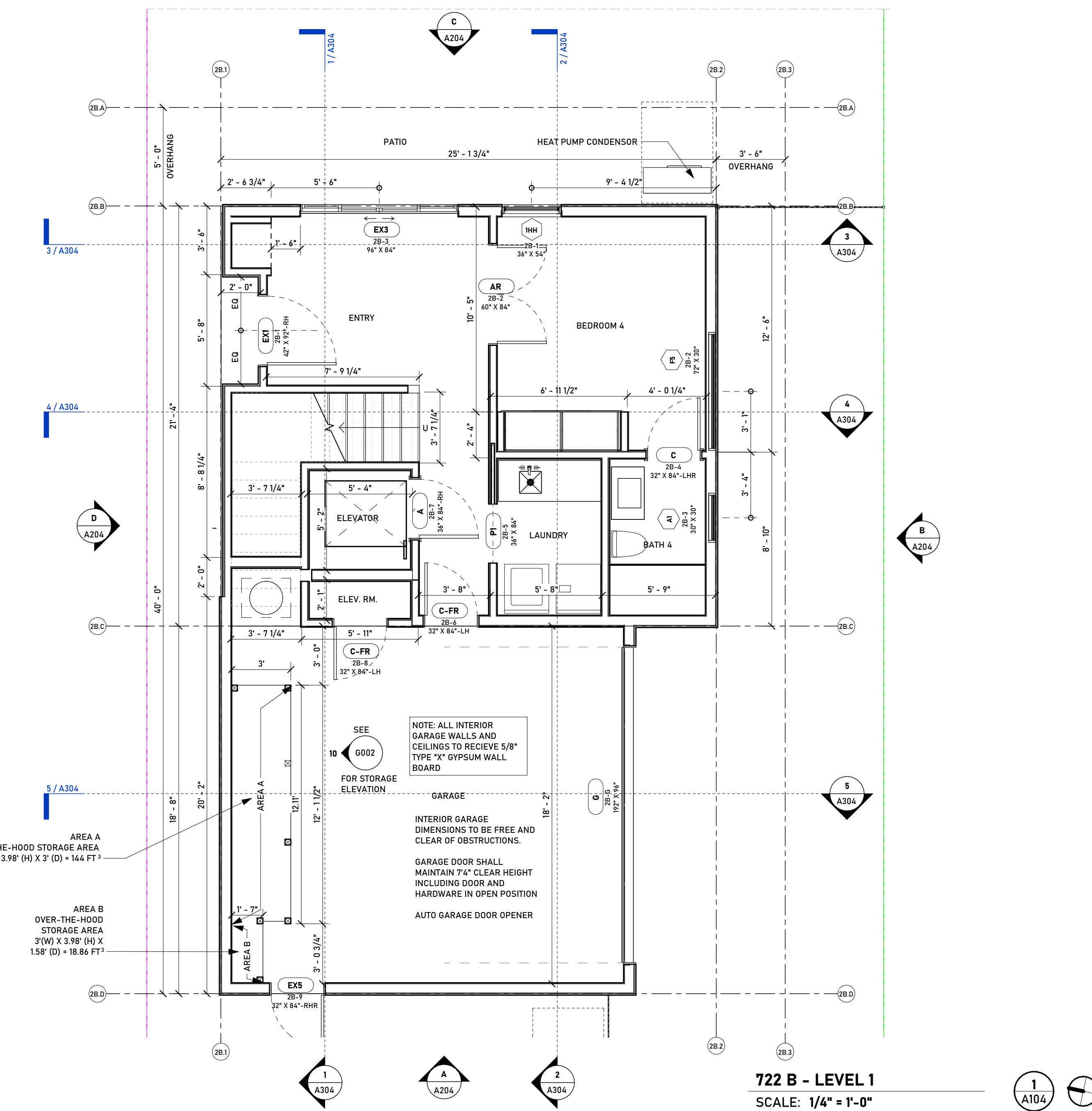
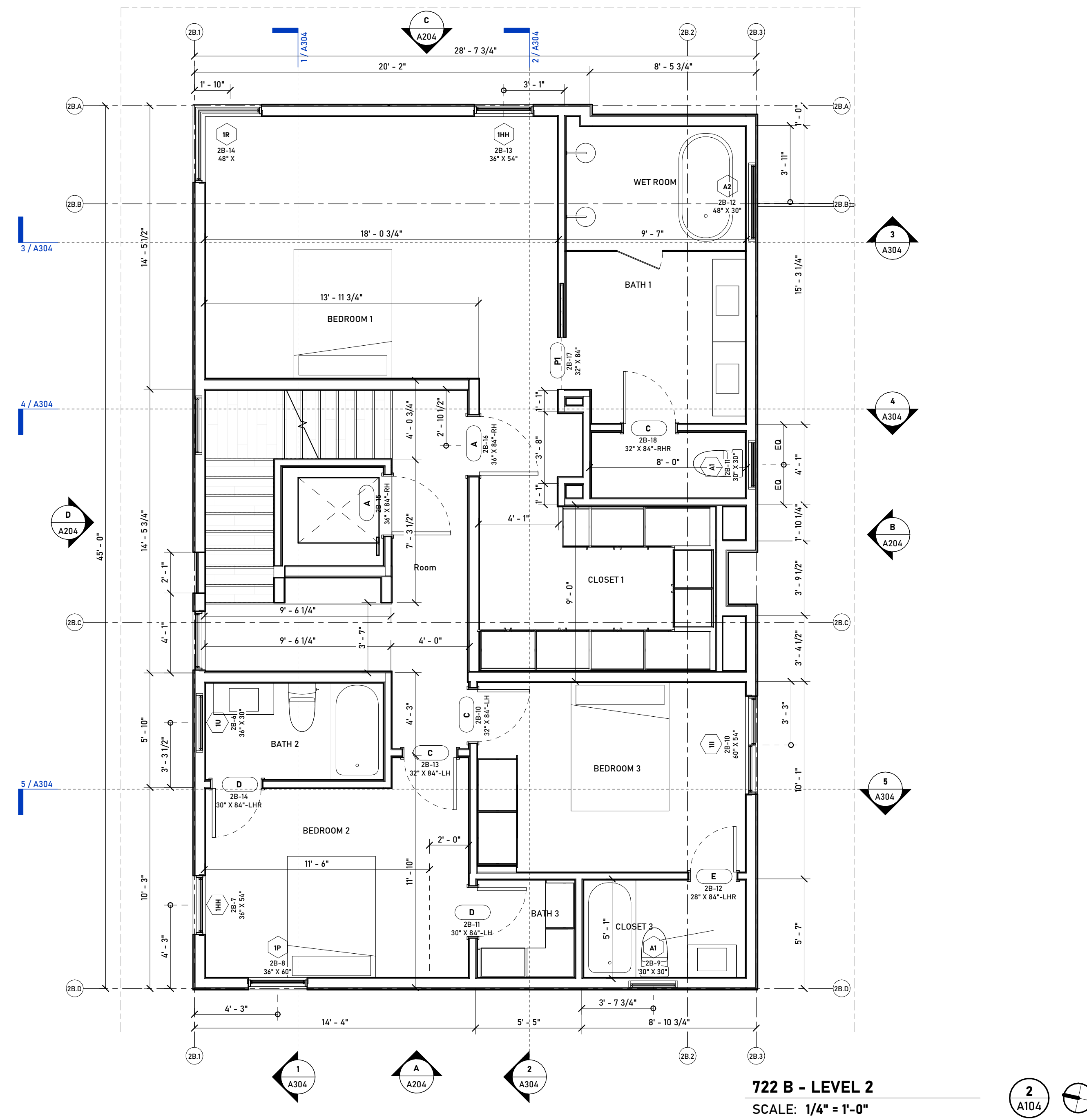
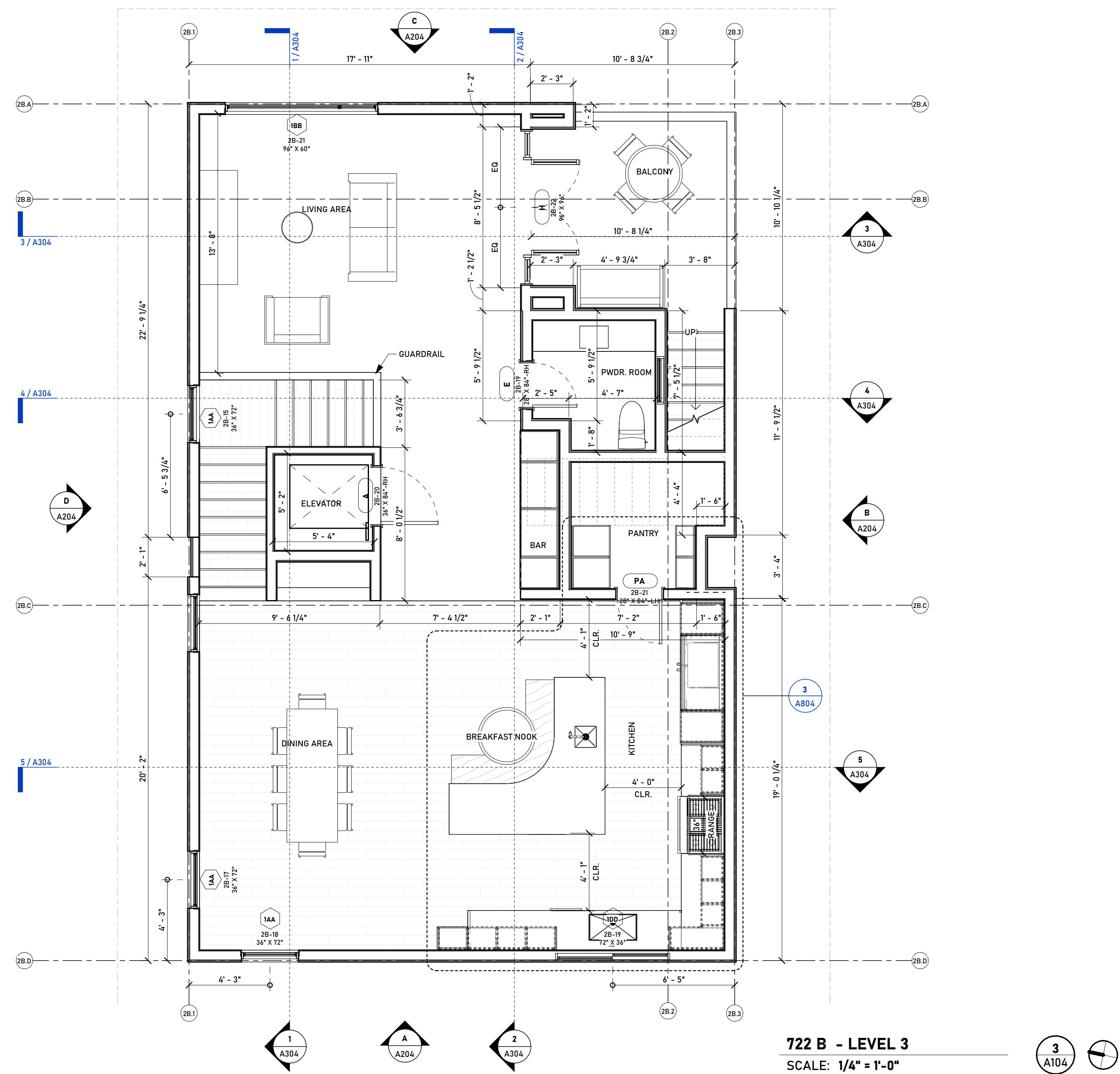
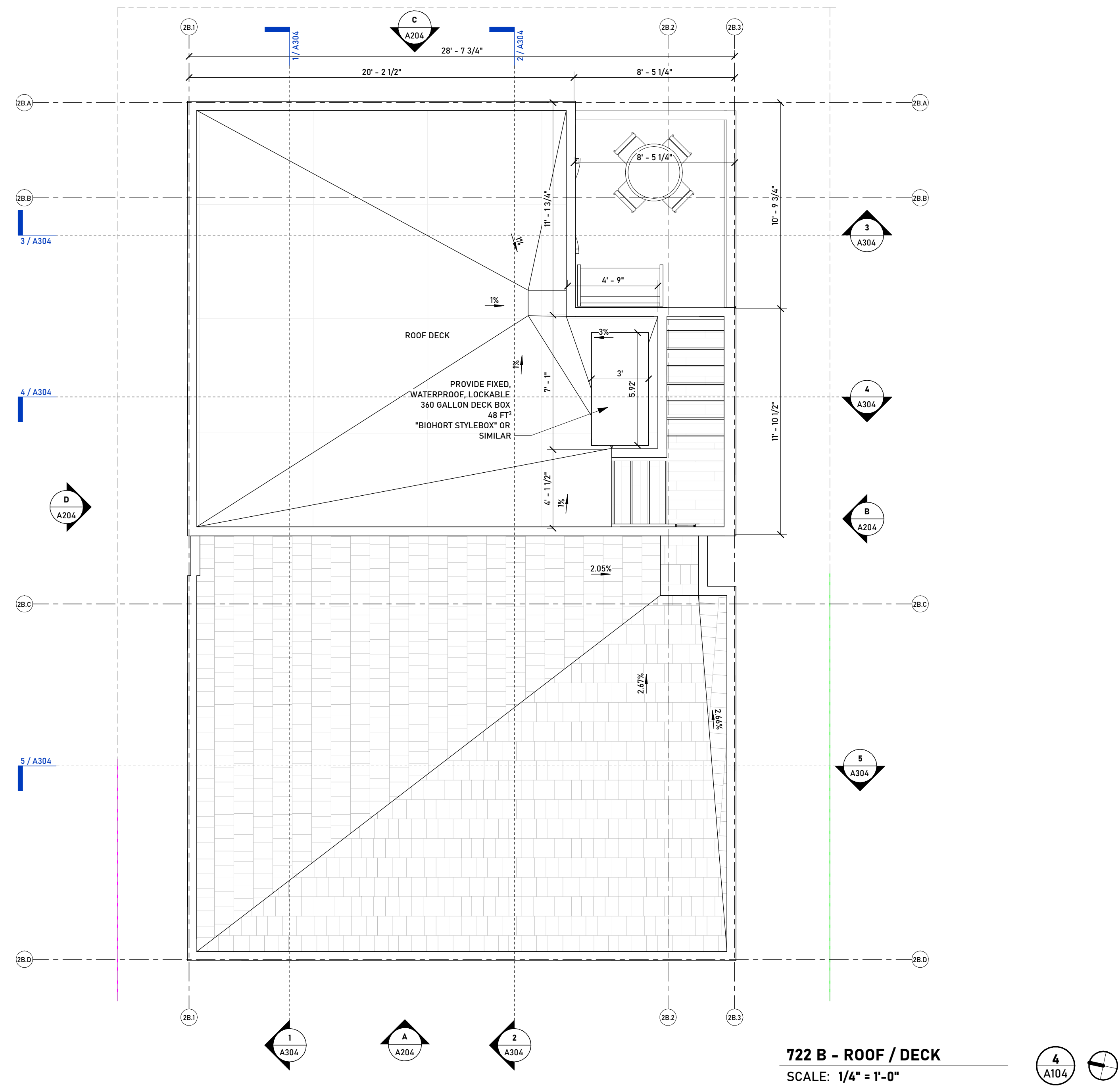
**722 A FLOORPLANS**

SHEET NUMBER

**A103**

PLOT DATE: 10/7/2025 2:13:07 PM





**NOTES**

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BUILDING DEPT STAMP

PLANNING DEPT STAMP

ENG. STAMP

DESIGNER



CONTRACTOR



PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT

MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

**722 B  
LOMA DRIVE  
CONDOS**

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

SHEET NAME

**722 B FLOORPLANS**

SHEET NUMBER

**A104**

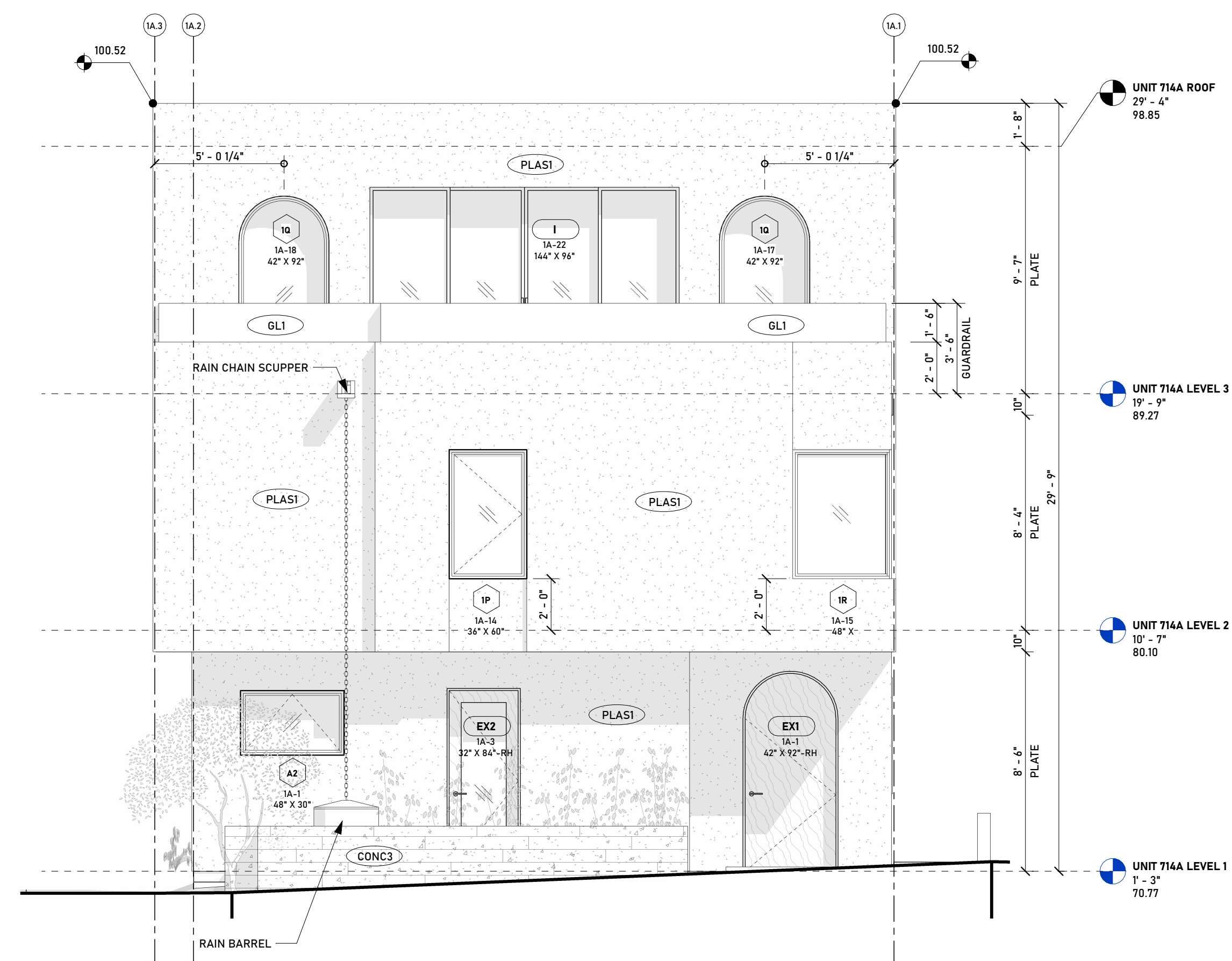
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REVISIONS	
NO.	DESCRIPTION

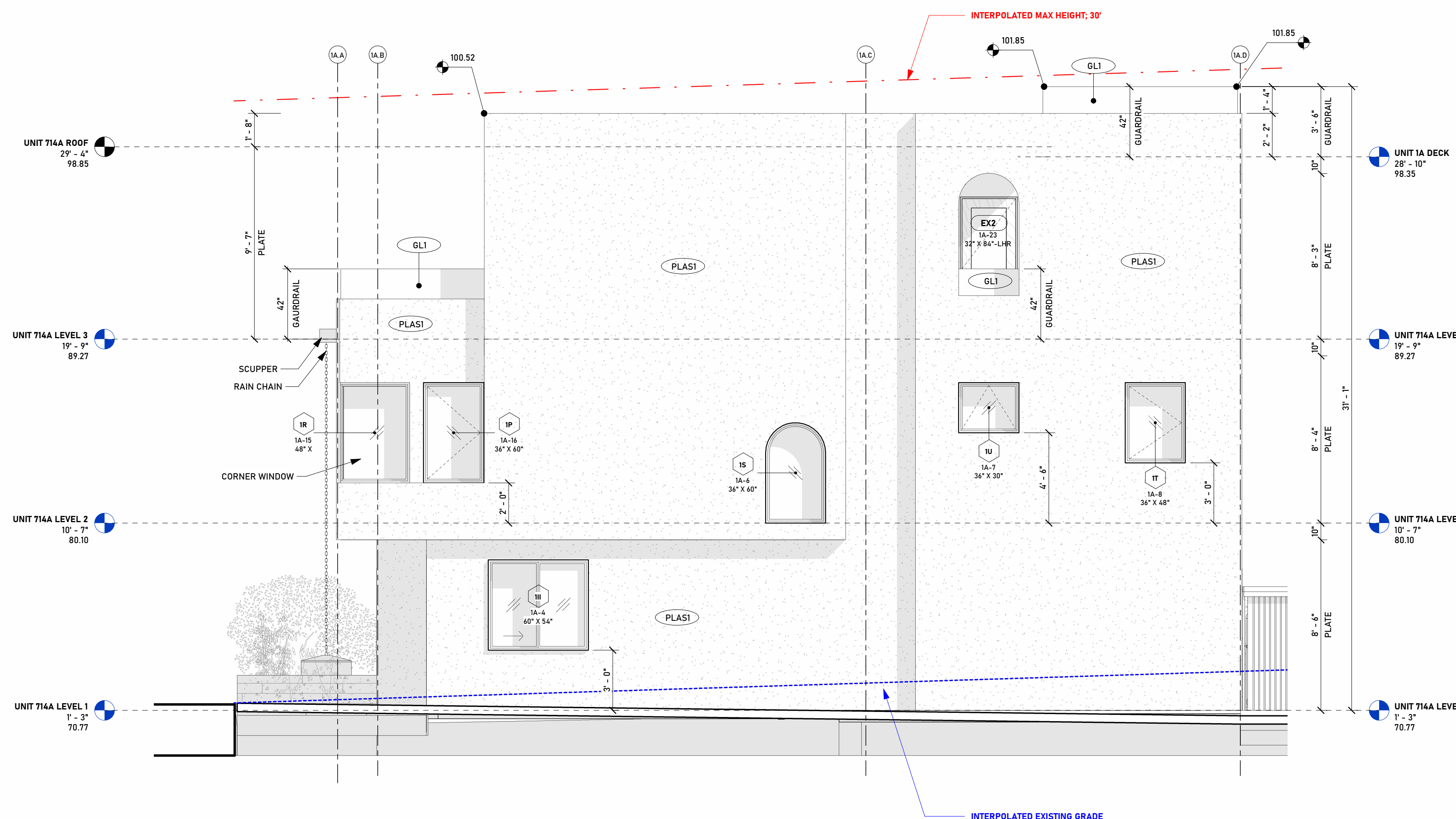
**714 A**  
**LOMA DRIVE**  
**CONDOS**

**714 A - EXTERIOR**  
**ELEVATIONS**



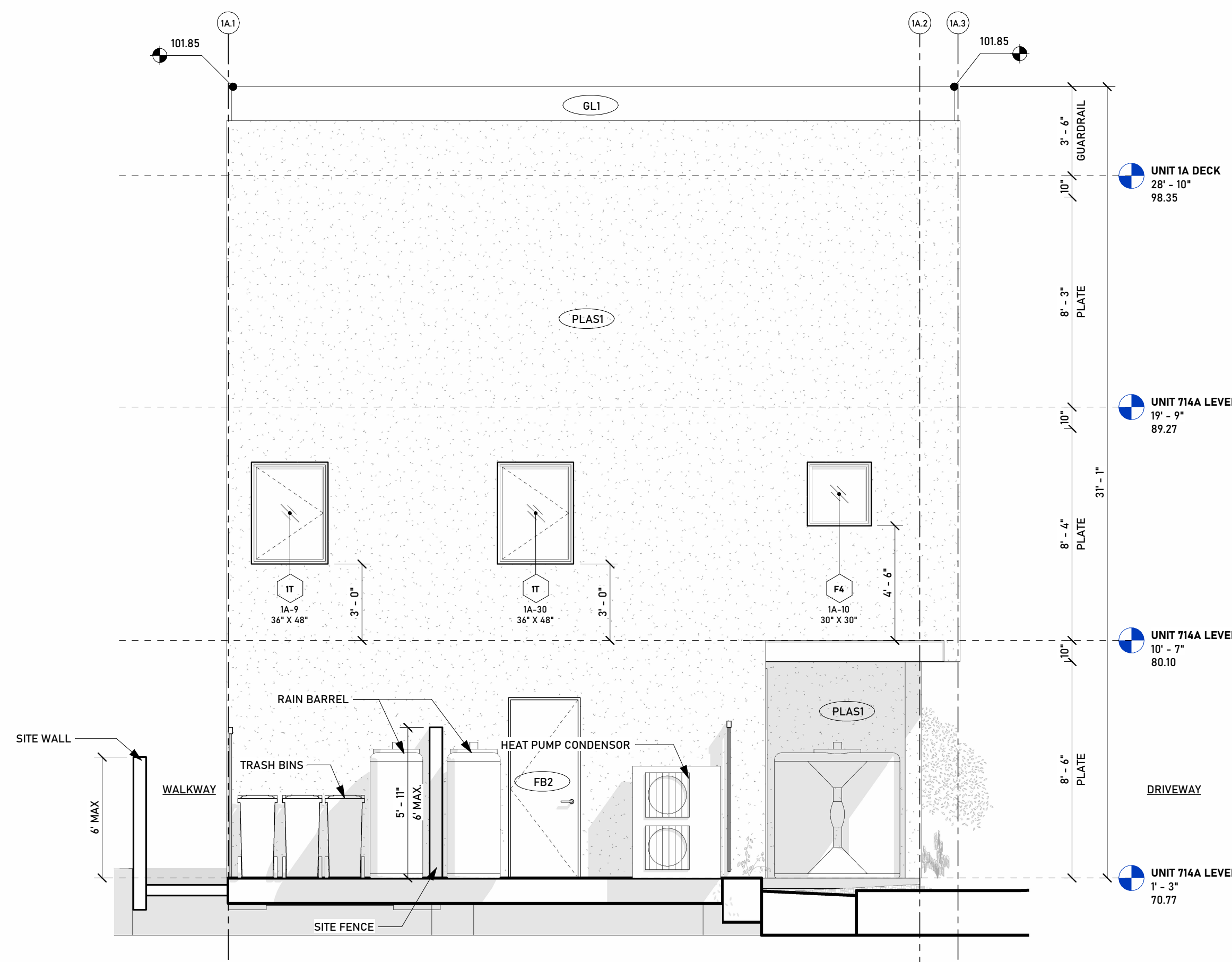
**714 A - ELEVATION A (WEST/FRONT)**  
SCALE: 1/4" = 1'-0"

A  
A201



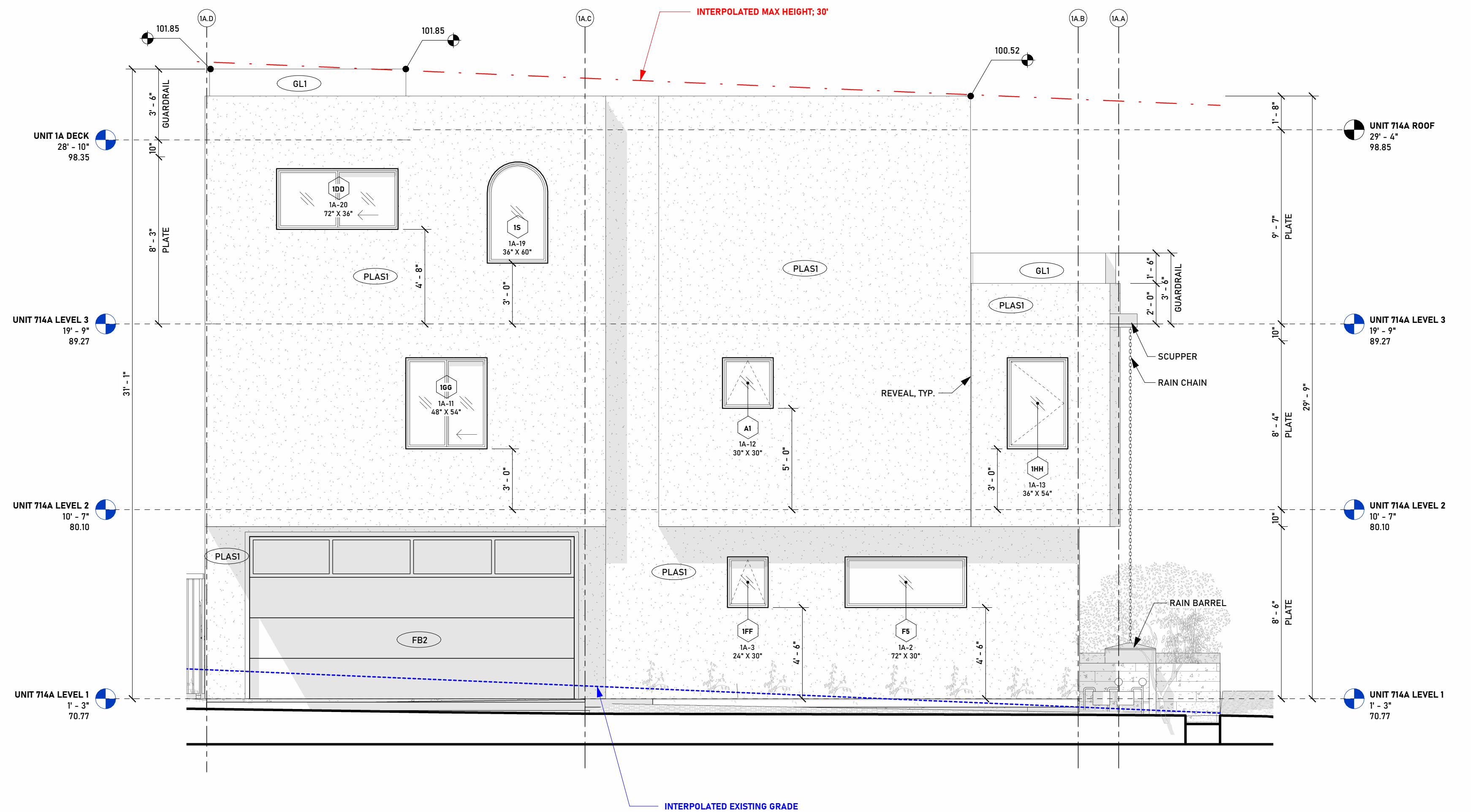
**714 A - ELEVATION B (SOUTH/RIGHT)**  
SCALE: 1/4" = 1'-0"

B  
A201



**714 A - ELEVATION C (EAST/REAR)**  
SCALE: 1/4" = 1'-0"

C  
A201



**714 A - ELEVATION D (NORTH/LEFT)**  
SCALE: 1/4" = 1'-0"

D  
A201

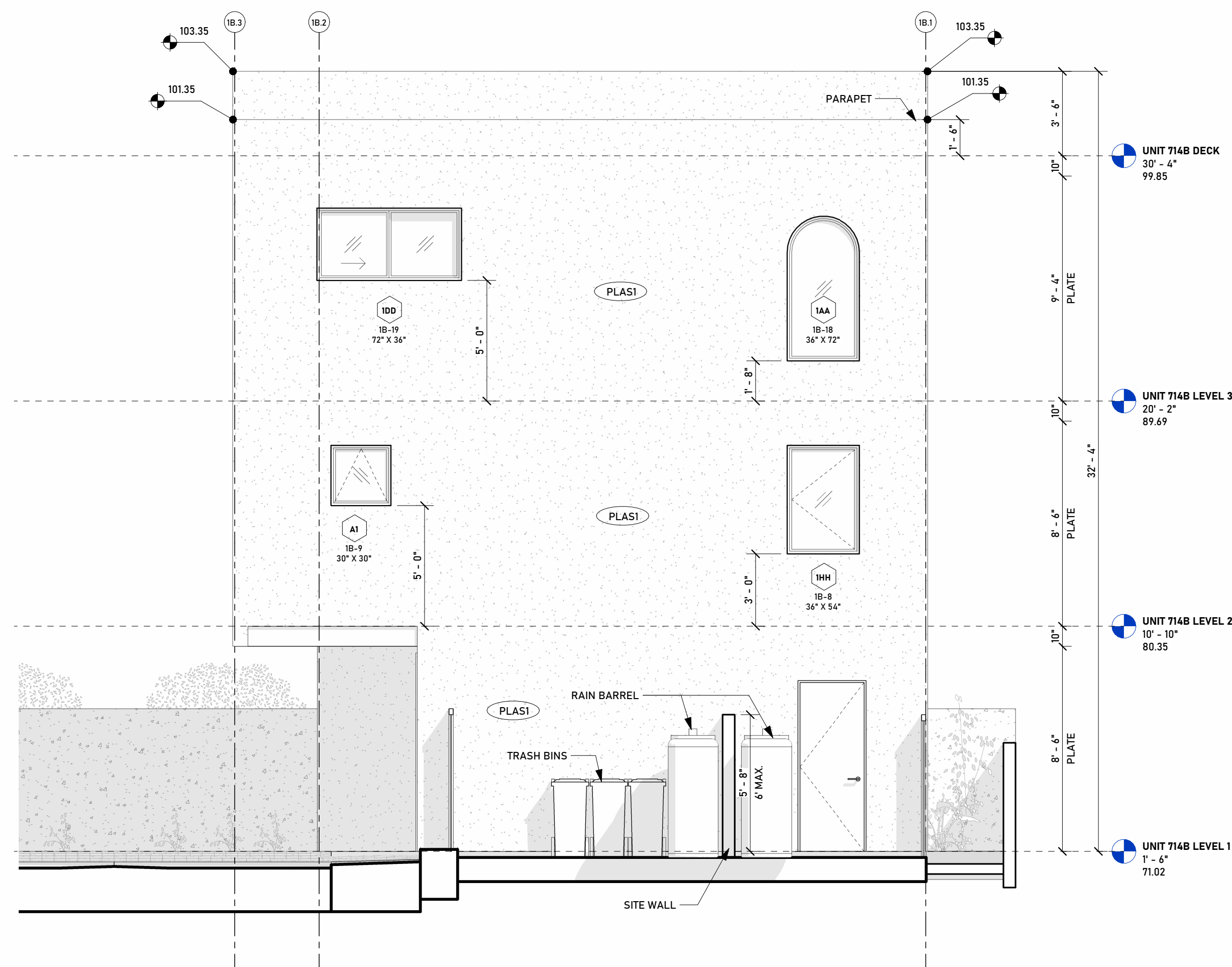
**EXTERIOR MATERIAL SCHEDULE**

MARK	DESCRIPTION	COMMENTS
AL1	ANODIZED ALUMINUM. COLOR: T80	ALUMINUM DOORS, WINDOWS, AND EXTERIOR ELEMENTS
FB1	FIBERGLASS EXTERIOR DOOR "STAINED" TO MATCH W2	EXTERIOR DOORS
FB2	USE THERMA-TRIE PRODUCT ESPECIALLY FORMULATED FOR FIBERGLASS, OR SIMILAR. UV RESISTANT	EXTERIOR GARAGE DOORS
GL4	LOW E COATED GLASS @ EXTERIOR GLASS SLIDING DOORS. SEE DOOR SCHEDULE FOR SHGC AND U VALUES.	EXTERIOR DOORS, EXTERIOR GAURDRAILS
PLAS1	7/8" STUCCO PLASTER ASSEMBLY. COLOR: CREAM WHITE. FINISH SMOOTH COAT	EXTERIOR WALLS

**ELEVATION NOTES**

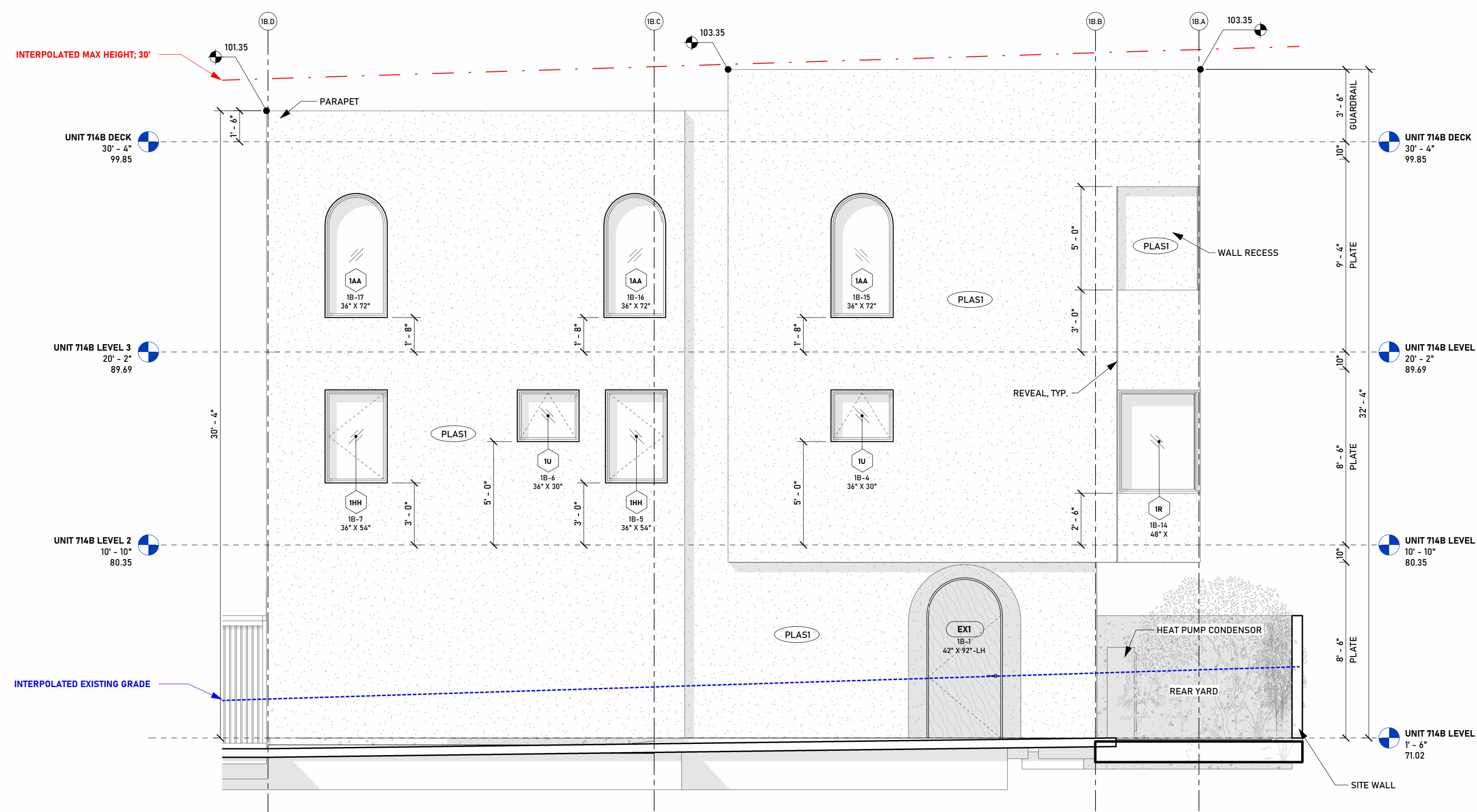
- A BUILDING HEIGHT SURVEY SHALL BE DONE PRIOR TO ROOF FRAMING INSPECTION TO CHECK THE HEIGHT OF THE HIGHEST RIDGE, PARAPET, GABLE, PITCHED OR HIPPED ROOF.
- A CERTIFICATE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT STATING THE HEIGHT OR HEIGHTS OF THE BUILDING FROM THE NATURAL GROUND LEVEL.
- A HEIGHT VERIFICATION SHALL BE PERFORMED AT EACH FLOOR LEVEL DURING CONSTRUCTION. THIS REQUIREMENT IS NOT MANDATED BY CODE OR THE AUTHORITY HAVING JURISDICTION, BUT IS IMPLEMENTED AT THE DISCRETION OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH THE STRICT BUILDING HEIGHT TOLERANCE ESTABLISHED FOR THIS PROJECT. AT NO POINT SHALL THE BUILDING EXCEED THE MAXIMUM HEIGHT LIMIT INDICATED ON SHEET 003.
- ALL EXTERIOR MATERIALS, FASTENERS, AND FINISHES SHALL BE SUITABLE FOR CORROSIVE COASTAL CONDITIONS. GALVANIZED OR STAINLESS STEEL FASTENERS REQUIRED.
- ALL EXTERIOR MATERIALS SHALL COMPLY WITH CRC REQUIREMENTS FOR FIRE RESISTANCE AND WEATHER PROTECTION.
- ALL EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY, DOWNWARD-FACING, AND COMPLY WITH TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS.
- BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT INDICATED ON SHEET 003.

REVISIONS	
NO.	DATE



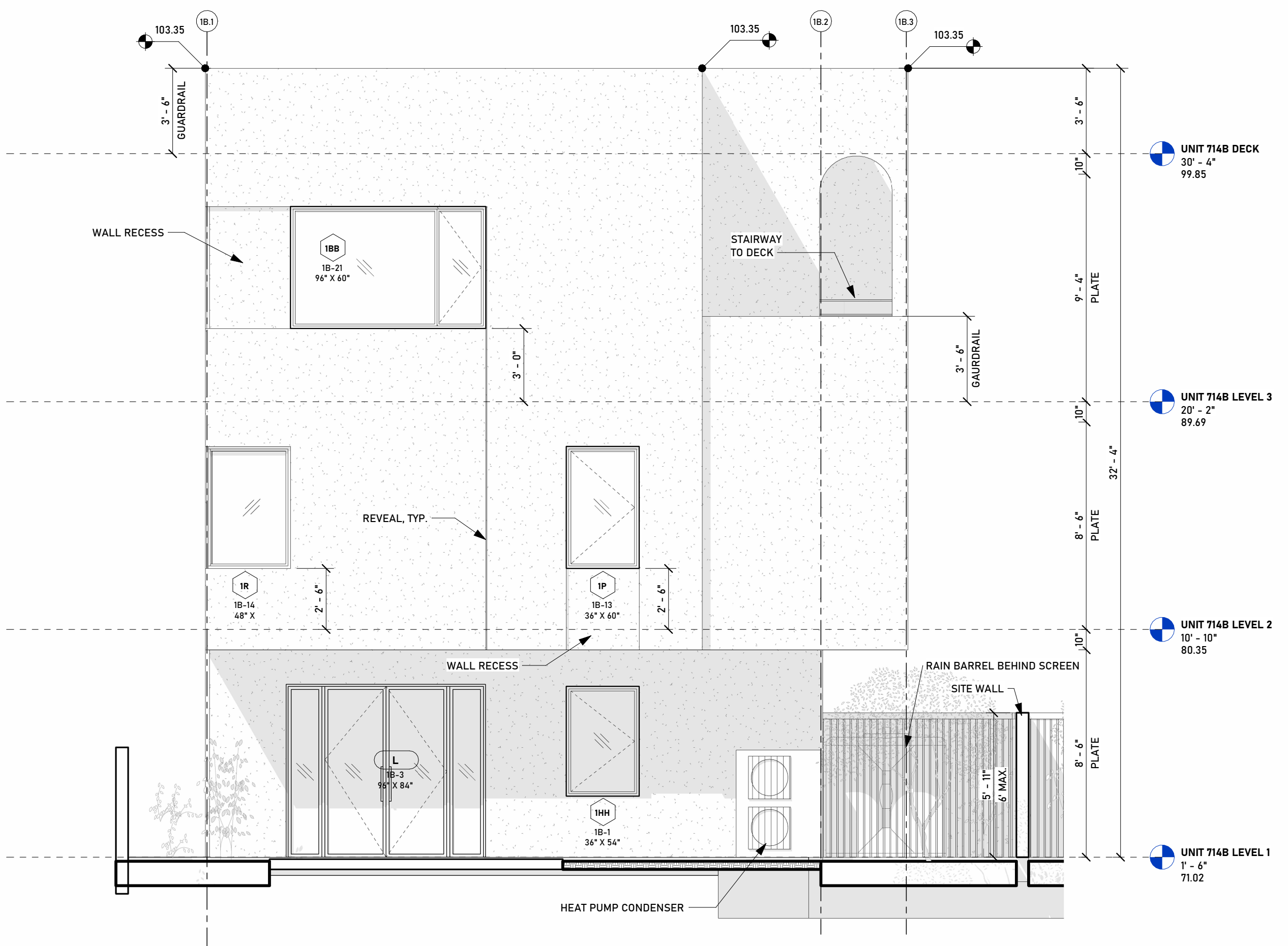
**714 B - ELEVATION A (WEST/FRONT)**  
SCALE: 1/4" = 1'-0"

A  
A202



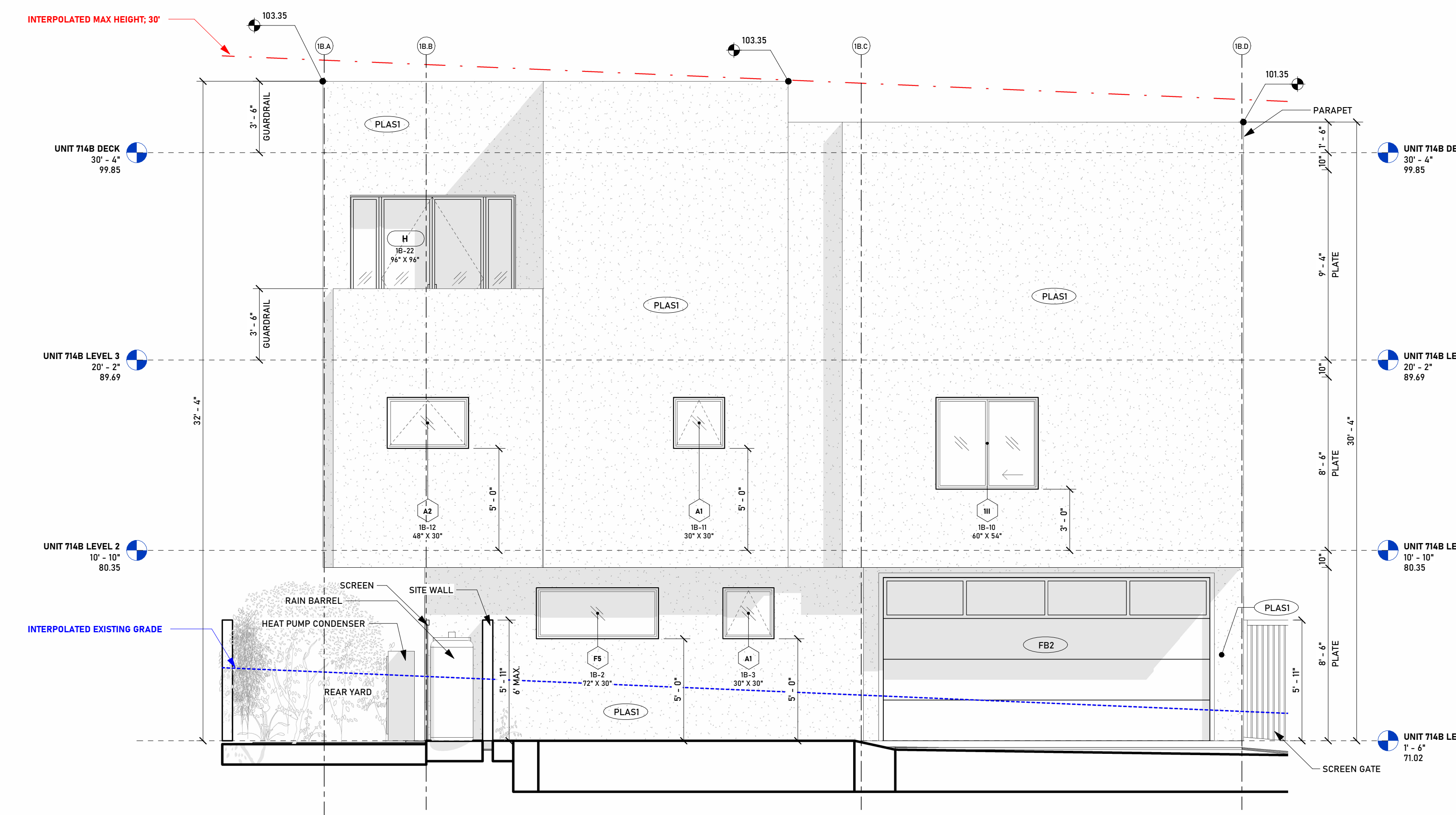
**714 B - ELEVATION B (SOUTH/RIGHT)**  
SCALE: 1/4" = 1'-0"

B  
A202



**714 B - ELEVATION C (EAST/REAR)**  
SCALE: 1/4" = 1'-0"

C  
A202



**714 B - ELEVATION C (NORTH/LEFT)**  
SCALE: 1/4" = 1'-0"

D  
A202

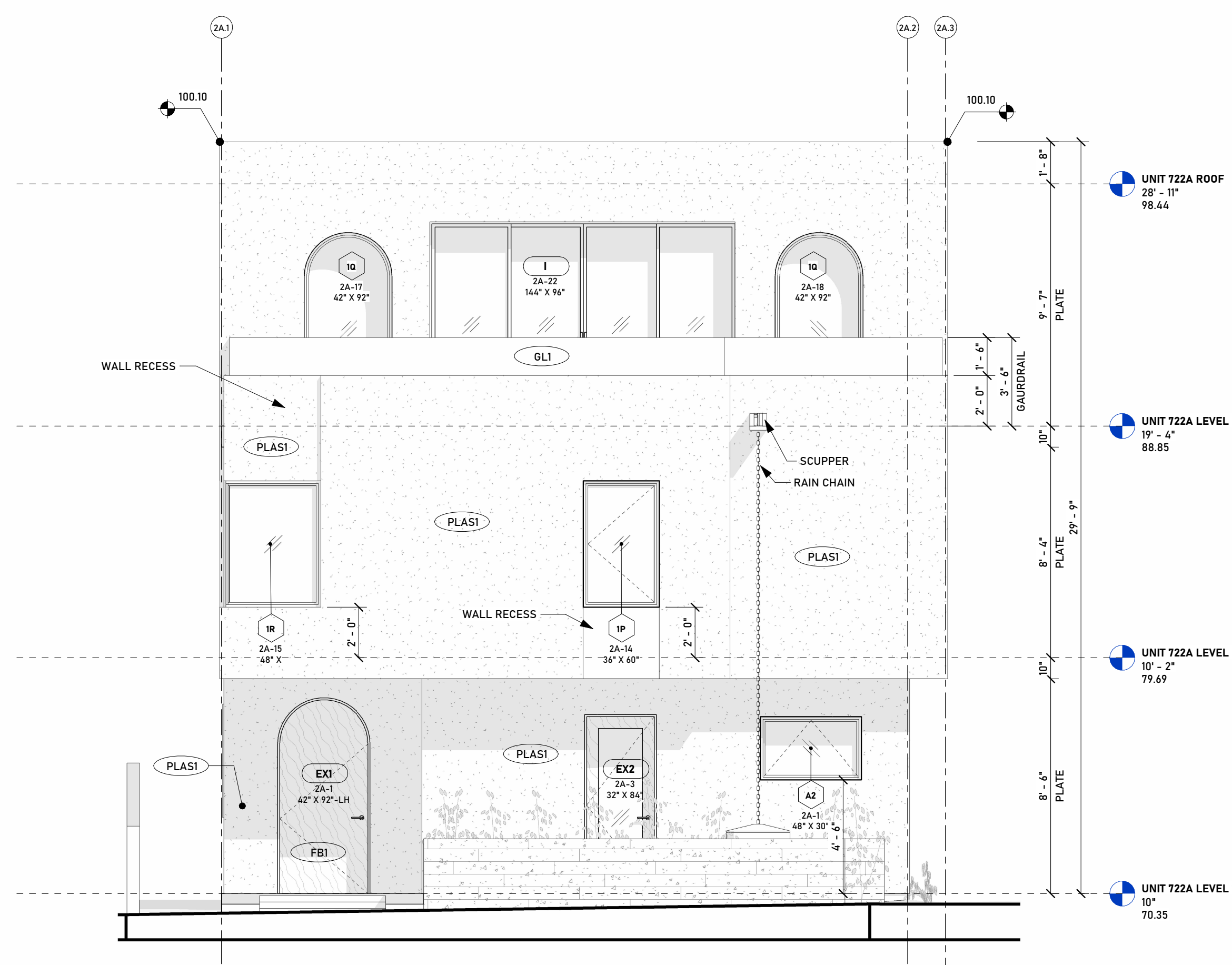
**EXTERIOR MATERIAL SCHEDULE**

MARK	DESCRIPTION	COMMENTS
AL1	ANODIZED ALUMINUM. COLOR: T80	ALUMINUM DOORS, WINDOWS, AND EXTERIOR ELEMENTS
FB1	FIBERGLASS EXTERIOR DOOR "STAINED" TO MATCH W2	EXTERIOR DOORS
FB2	USE THERMA-TRU PRODUCT ESPECIALLY FORMULATED FOR FIBERGLASS, OR SIMILAR. UV RESISTANT	EXTERIOR GARAGE DOORS
GL4	FIBERGLASS EXTERIOR DOOR, WHITE, OR MATCH PLAST	EXTERIOR DOORS, EXTERIOR GAURDRAILS
PL4	LOW E COATED GLASS @ EXTERIOR GLASS SLIDING DOORS. SEE DOOR SCHEDULE FOR SHGC AND U VALUES.	EXTERIOR WALLS
	7/8" STUCCO PLASTER ASSEMBLY COLOR: CREAM WHITE. FINISH SMOOTH COAT	

**ELEVATION NOTES**

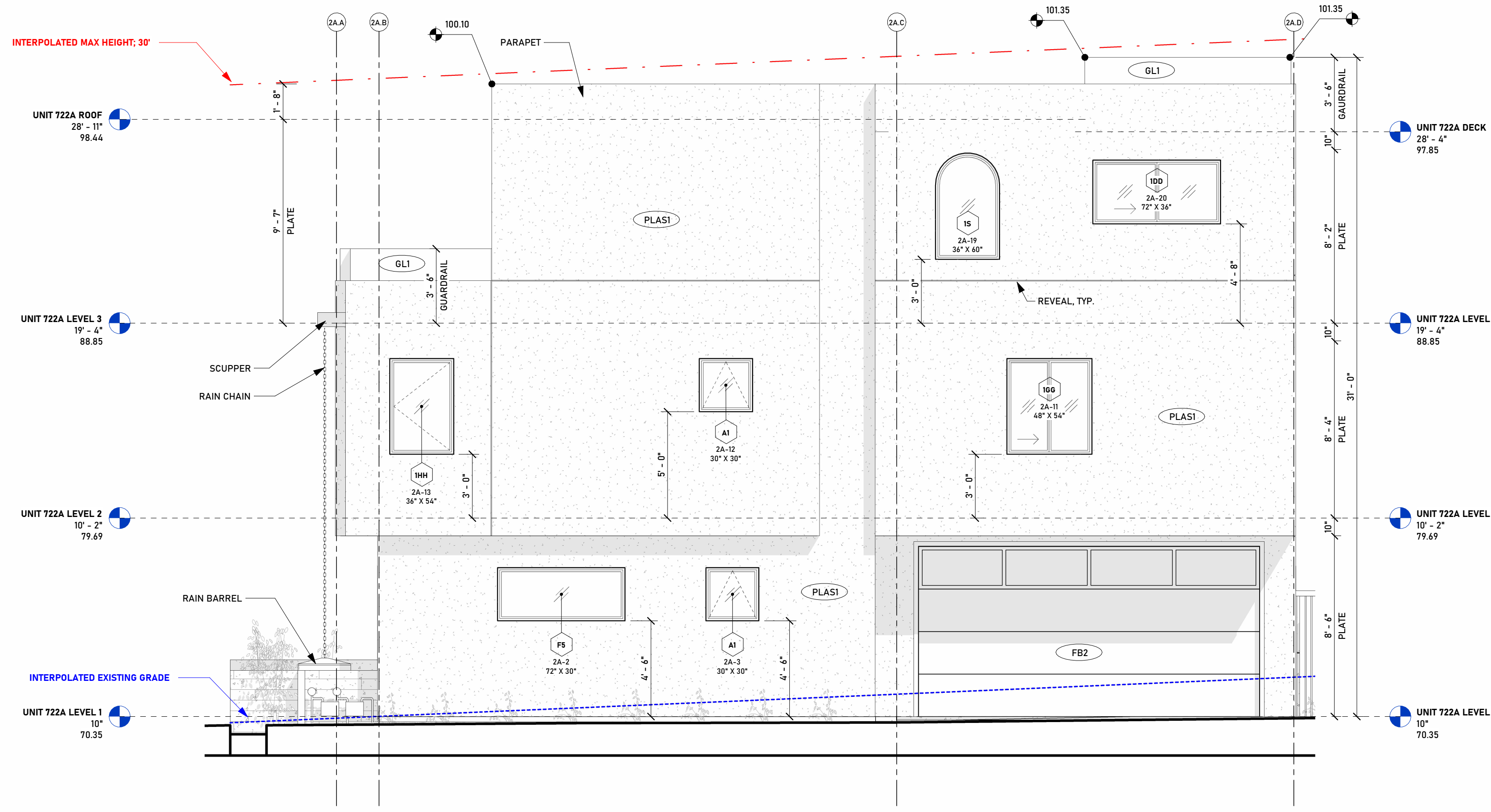
- A BUILDING HEIGHT SURVEY SHALL BE DONE PRIOR TO ROOF FRAMING INSPECTION TO CHECK THE HEIGHT OF THE HIGHEST RIDGE, PARAPET, GABLE, PITCHED OR HIPPED ROOF.
- A CERTIFICATE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT STATING THE HEIGHT OR HEIGHTS OF THE BUILDING FROM THE NATURAL GROUND LEVEL.
- A HEIGHT VERIFICATION SHALL BE PERFORMED AT EACH FLOOR LEVEL DURING CONSTRUCTION. THIS REQUIREMENT IS NOT MANDATED BY CODE OR THE AUTHORITY HAVING JURISDICTION, BUT IS IMPLEMENTED AT THE DISCRETION OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH THE STRICT BUILDING HEIGHT TOLERANCE ESTABLISHED FOR THIS PROJECT. AT NO POINT SHALL THE BUILDING EXCEED THE MAXIMUM HEIGHT LIMIT INDICATED ON SHEET 003.
- ALL EXTERIOR MATERIALS, FASTENERS, AND FINISHES SHALL BE SUITABLE FOR CORROSIVE COASTAL CONDITIONS. GALVANIZED OR STAINLESS STEEL FASTENERS REQUIRED.
- ALL EXTERIOR MATERIALS SHALL COMPLY WITH CRC REQUIREMENTS FOR FIRE RESISTANCE AND WEATHER PROTECTION.
- ALL EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY, DOWNWARD-FACING, AND COMPLY WITH TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS.
- BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT INDICATED ON SHEET 003

NO.	DATE	DESCRIPTION



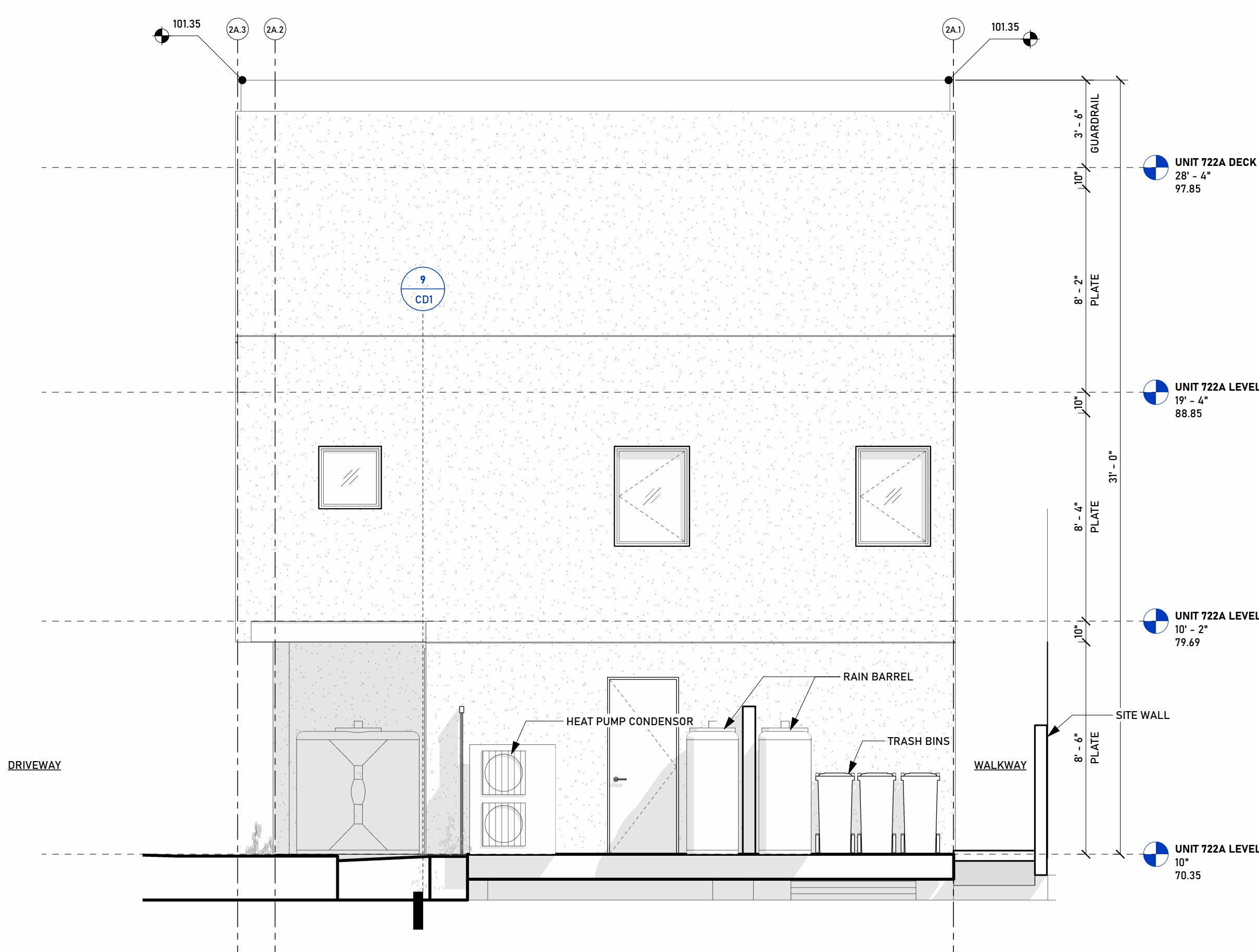
**722 A - ELEVATION A (WEST/FRONT)**  
SCALE: 1/4" = 1'-0"

A  
A203



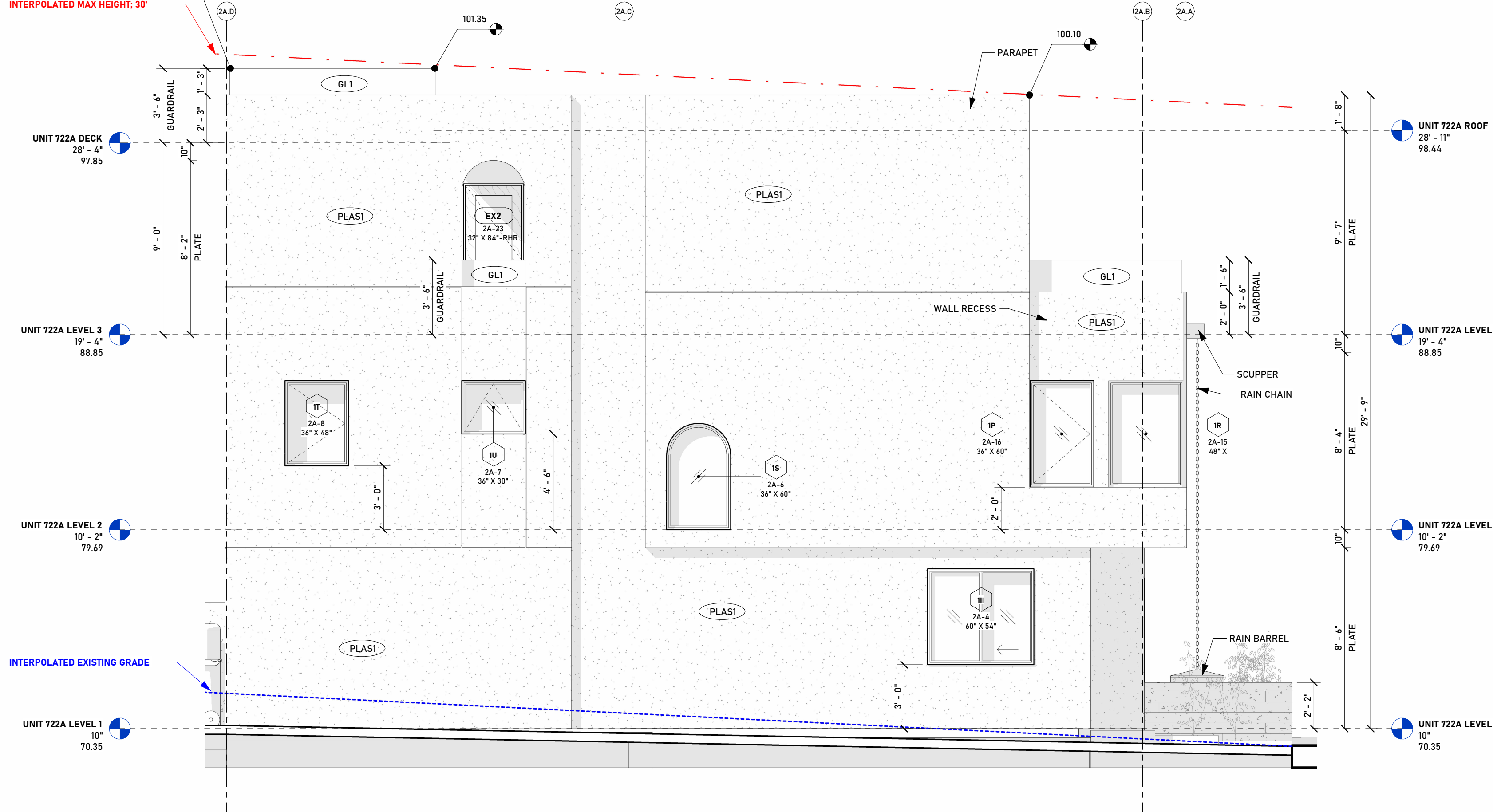
**722 A - ELEVATION B (SOUTH/RIGHT)**  
SCALE: 1/4" = 1'-0"

B  
A203



**722 A - ELEVATION C (EAST/REAR)**  
SCALE: 1/4" = 1'-0"

C  
A203



**722 A - ELEVATION D (NORTH/RIGHT)**  
SCALE: 1/4" = 1'-0"

D  
A203

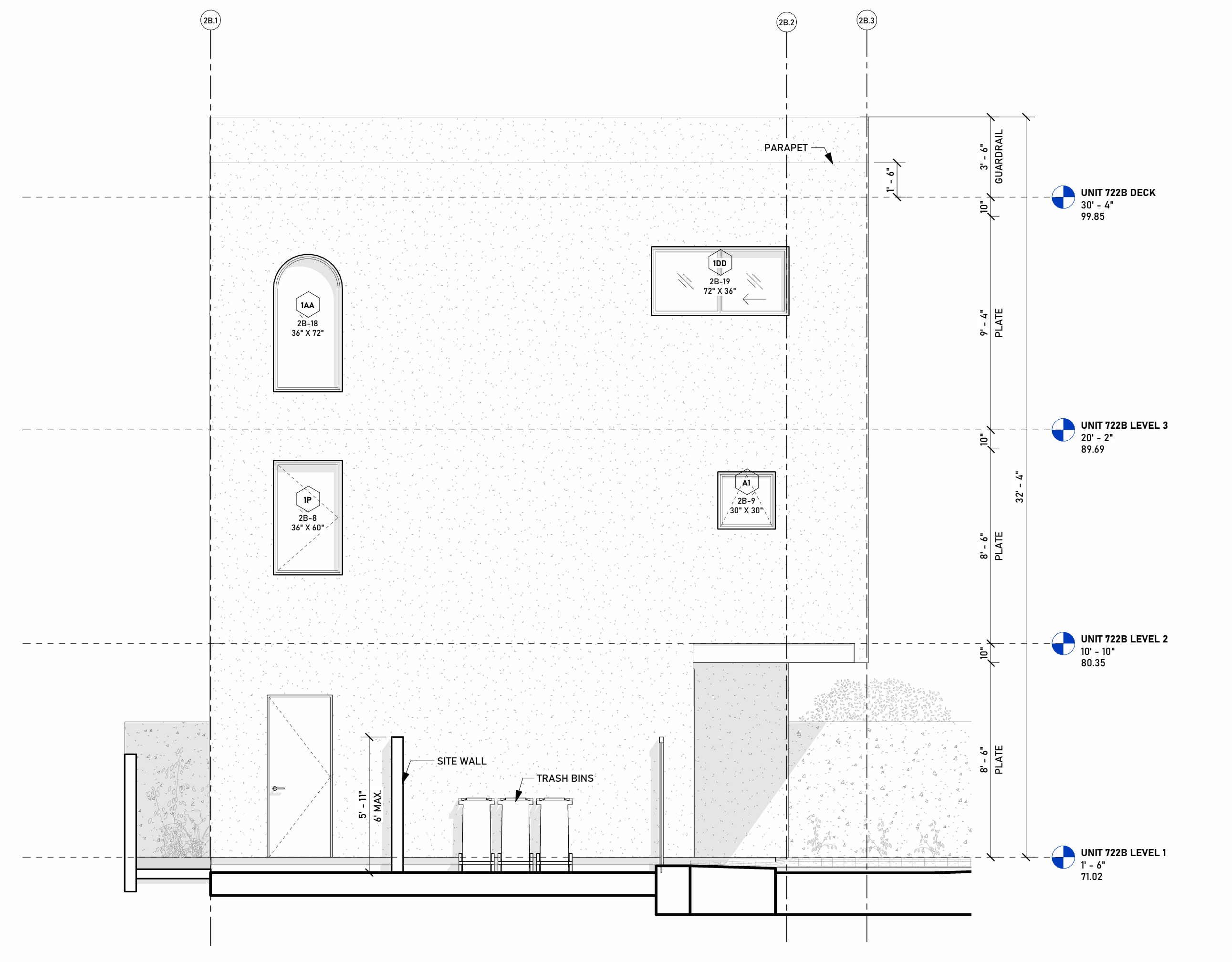
**EXTERIOR MATERIAL SCHEDULE**

MARK	DESCRIPTION	COMMENTS
AL1	ANODIZED ALUMINUM. COLOR: T80	@ ALUMINUM DOORS, WINDOWS, AND EXTERIOR ELEMENTS
FB1	FIBERGLASS EXTERIOR DOOR "STAINED" TO MATCH W2	@ EXTERIOR DOORS
FB2	FIBERGLASS EXTERIOR DOOR, WHITE, OR MATCH PLAST	@ EXTERIOR GARAGE DOORS
GL4	LOW E COATED GLASS @ EXTERIOR GLASS SLIDING DOORS. SEE DOOR SCHEDULE FOR SHGC AND U VALUES.	@ EXTERIOR DOORS, EXTERIOR GUARDRAILS
PLAST	7/8" STUCCO PLASTER ASSEMBLY. COLOR: CREAM WHITE. FINISH: SMOOTH COAT	@ EXTERIOR WALLS

**ELEVATION NOTES**

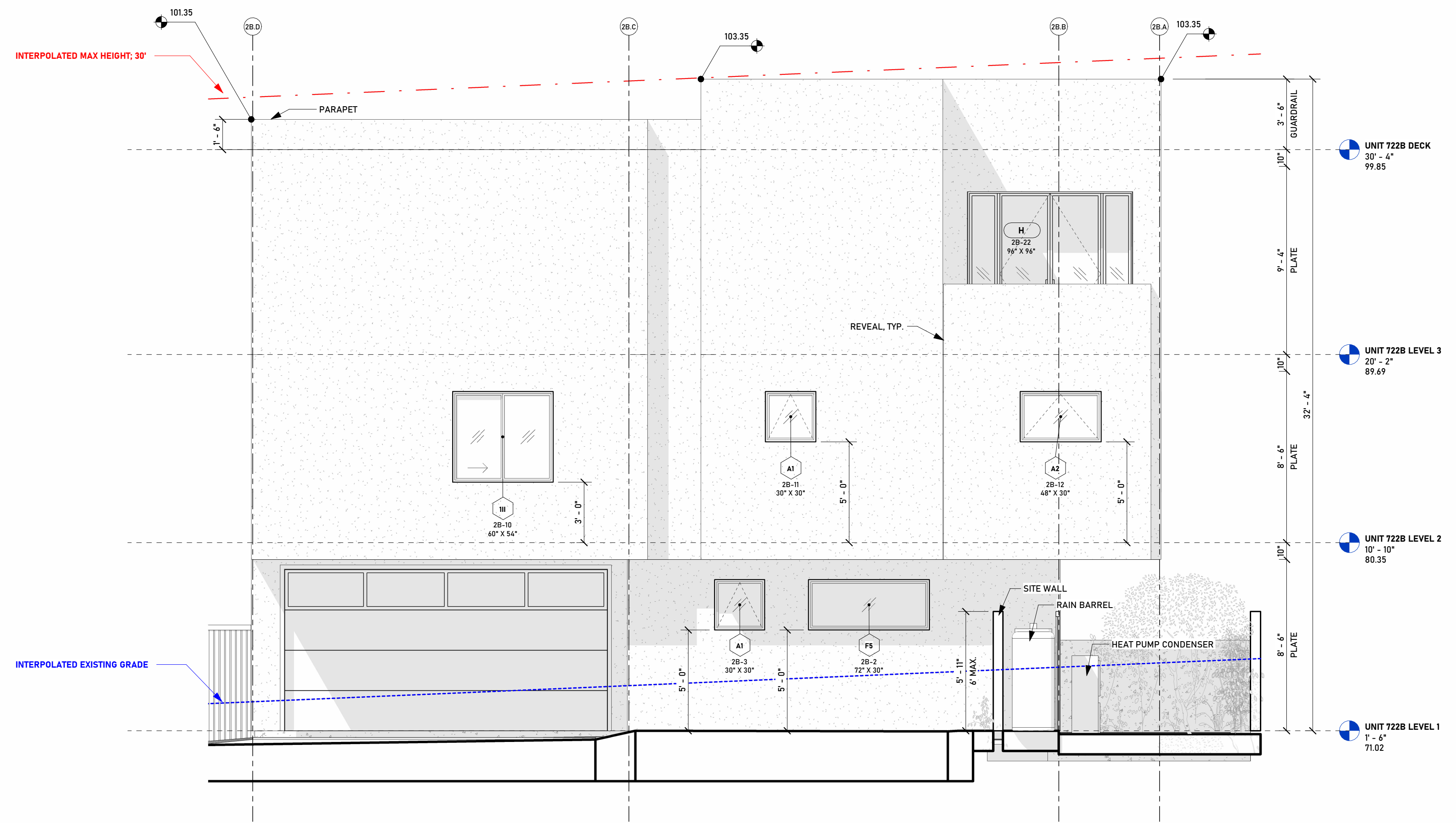
- A BUILDING HEIGHT SURVEY SHALL BE DONE PRIOR TO ROOF FRAMING INSPECTION TO CHECK THE HEIGHT OF THE HIGHEST RIDGE, PARAPET, GABLE, PITCHED OR HIPPED ROOF.
- A CERTIFICATE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT STATING THE HEIGHT OR HEIGHTS OF THE BUILDING FROM THE NATURAL GROUND LEVEL.
- A HEIGHT VERIFICATION SHALL BE PERFORMED AT EACH FLOOR LEVEL DURING CONSTRUCTION. THIS REQUIREMENT IS NOT MANDATED BY CODE OR THE AUTHORITY HAVING JURISDICTION, BUT IS IMPLEMENTED AT THE DISCRETION OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH THE STRICT BUILDING HEIGHT TOLERANCE ESTABLISHED FOR THIS PROJECT. AT NO POINT SHALL THE BUILDING EXCEED THE MAXIMUM HEIGHT LIMIT INDICATED ON SHEET 003.
- ALL EXTERIOR MATERIALS, FASTENERS, AND FINISHES SHALL BE SUITABLE FOR CORROSIVE COASTAL CONDITIONS. GALVANIZED OR STAINLESS STEEL FASTENERS REQUIRED.
- ALL EXTERIOR MATERIALS SHALL COMPLY WITH CRC REQUIREMENTS FOR FIRE RESISTANCE AND WEATHER PROTECTION.
- ALL EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY, DOWNWARD-FACING, AND COMPLY WITH TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS.
- BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT INDICATED ON SHEET 003.

REVISIONS	
NO.	DESCRIPTION



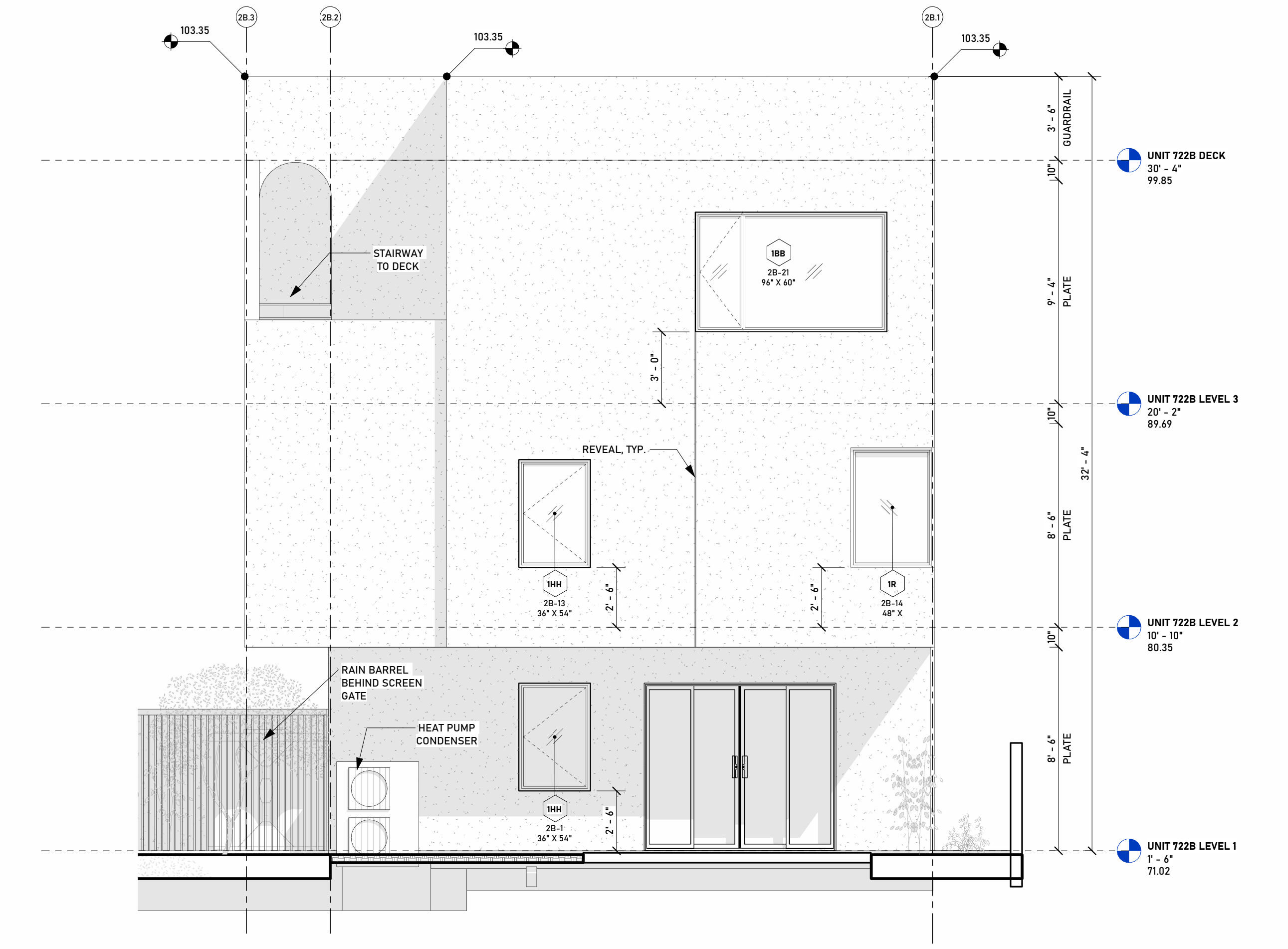
**722 B - ELEVATION A (WEST/FRONT)**  
SCALE: 1/4" = 1'-0"

A  
A204



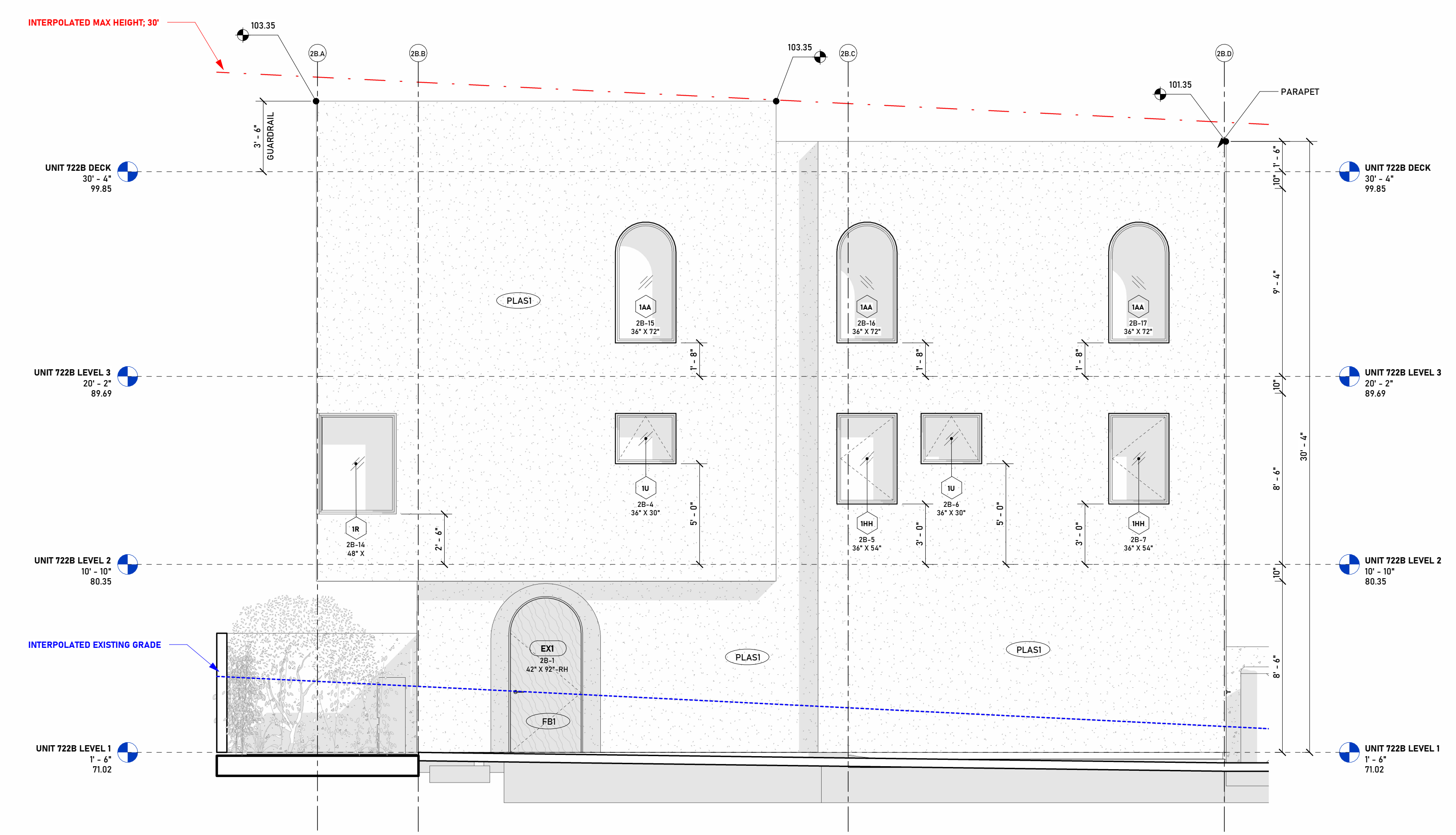
**722 B - ELEVATION B (SOUTH/RIGHT)**  
SCALE: 1/4" = 1'-0"

B  
A204



**722 B - ELEVATION C (EAST/REAR)**  
SCALE: 1/4" = 1'-0"

C  
A204



**722 B - ELEVATION D (NORTH/LEFT)**  
SCALE: 1/4" = 1'-0"

D  
A204

**EXTERIOR MATERIAL SCHEDULE**

MARK	DESCRIPTION	COMMENTS
AL1	ANODIZED ALUMINUM. COLOR: T80	ALUMINUM DOORS, WINDOWS, AND EXTERIOR ELEMENTS
FBI	FIBERGLASS EXTERIOR DOOR "STAINED" TO MATCH W2	EXTERIOR DOORS
FBI	USE THERMA-TRU PRODUCT ESPECIALLY FORMULATED FOR FIBERGLASS, OR SIMILAR. UV RESISTANT	
FBI	FIBERGLASS EXTERIOR DOOR, WHITE, OR MATCH PLAST	EXTERIOR GARAGE DOORS
GL4	LOW E COATED GLASS @ EXTERIOR GLASS SLIDING DOORS. SEE DOOR SCHEDULE FOR SHGC AND U VALUES.	EXTERIOR DOORS, EXTERIOR GAURDRAILS
PLAST	7/8" STUCCO PLASTER ASSEMBLY. COLOR: CREAM WHITE. FINISH SMOOTH COAT	EXTERIOR WALLS

**ELEVATION NOTES**

- A BUILDING HEIGHT SURVEY SHALL BE DONE PRIOR TO ROOF FRAMING INSPECTION TO CHECK THE HEIGHT OF THE HIGHEST RIDGE, PARAPET, GABLE, PITCHED OR HIPPED ROOF.
- A CERTIFICATE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT STATING THE HEIGHT OR HEIGHTS OF THE BUILDING FROM THE NATURAL GROUND LEVEL.
- A HEIGHT VERIFICATION SHALL BE PERFORMED AT EACH FLOOR LEVEL DURING CONSTRUCTION. THIS REQUIREMENT IS NOT MANDATED BY CODE OR THE AUTHORITY HAVING JURISDICTION, BUT IS IMPLEMENTED AT THE DISCRETION OF THE CONTRACTOR TO ENSURE COMPLIANCE WITH THE STRICT BUILDING HEIGHT TOLERANCE ESTABLISHED FOR THIS PROJECT. AT NO POINT SHALL THE BUILDING EXCEED THE MAXIMUM HEIGHT LIMIT INDICATED ON SHEET 003.
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- ALL EXTERIOR MATERIALS SHALL COMPLY WITH CRC REQUIREMENTS FOR FIRE RESISTANCE AND WEATHER PROTECTION.
- ALL EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY, DOWNWARD-FACING, AND COMPLY WITH TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS.
- BUILDING HEIGHT SHALL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT INDICATED ON SHEET 003.

### DOOR SCHEDULE

Table with columns: NO., TYPE, WIDTH, HEIGHT, JAMB DEPTH, HANDING, LOCK, DOOR MATERIAL, SHGC, U FACTOR, COMMENTS. Includes units 722A, 722B, and 722C.

Continuation of Door Schedule table for units 722B, 722C, and 722D.

Continuation of Door Schedule table for units 722D, 722E, and 722F.

DOOR MATERIAL SCHEDULE table with columns: MARK, DESCRIPTION, COMMENTS. Lists materials like fiberglass, aluminum, and glass.

### WINDOW SCHEDULE

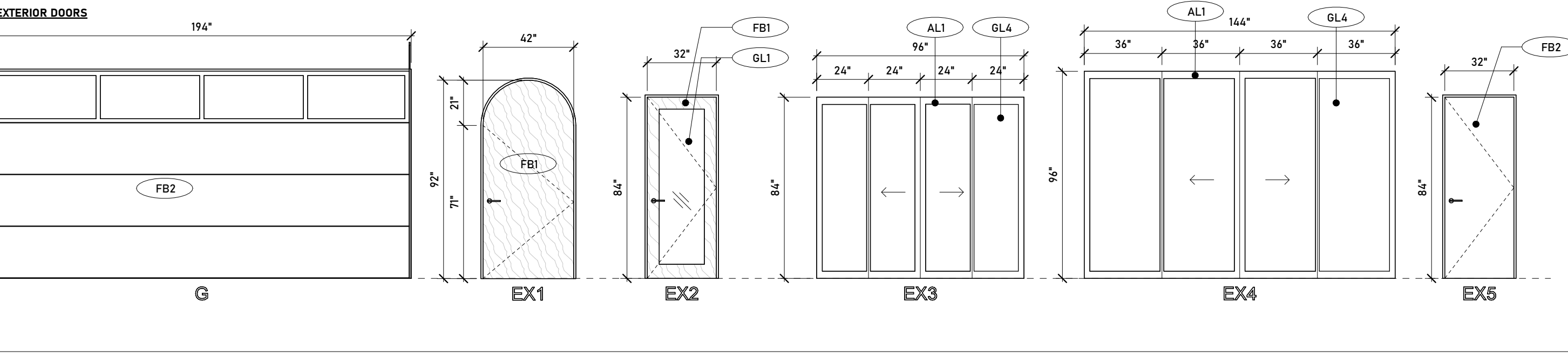
Table with columns: NO., TYPE, WIDTH, HEIGHT, OPENING TYPE, FRAME MATERIAL, GALZING TYPE, TEMPERED, U FACTOR, SHGC, SILL HEIGHT, COMMENTS. Includes units 722A, 722B, 722C, 722D, 722E, 722F, 722G, 722H, 722I, 722J, 722K, 722L, 722M, 722N, 722O, 722P, 722Q, 722R, 722S, 722T, 722U, 722V, 722W, 722X, 722Y, 722Z.

### DOOR SCHEDULE

Table with columns: NO., TYPE, WIDTH, HEIGHT, JAMB DEPTH, HANDING, LOCK, DOOR MATERIAL, SHGC, U FACTOR, COMMENTS. Includes units 714A, 714B, and 714C.

Continuation of Door Schedule table for units 714C, 714D, and 714E.

Continuation of Door Schedule table for units 714E, 714F, and 714G.



### WINDOW SCHEDULE

Table with columns: NO., TYPE, WIDTH, HEIGHT, OPENING TYPE, FRAME MATERIAL, GALZING TYPE, TEMPERED, U FACTOR, SHGC, SILL HEIGHT, COMMENTS. Includes units 714A, 714B, 714C, 714D, 714E, 714F, 714G, 714H, 714I, 714J, 714K, 714L, 714M, 714N, 714O, 714P, 714Q, 714R, 714S, 714T, 714U, 714V, 714W, 714X, 714Y, 714Z.



PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

Table with columns: NO., DATE, DESCRIPTION. Revisions table.

### SCHEMATIC DESIGN SET

CLIENT / PROJECT  
MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

### UNIT NUMBER LOMA DRIVE CONDOS

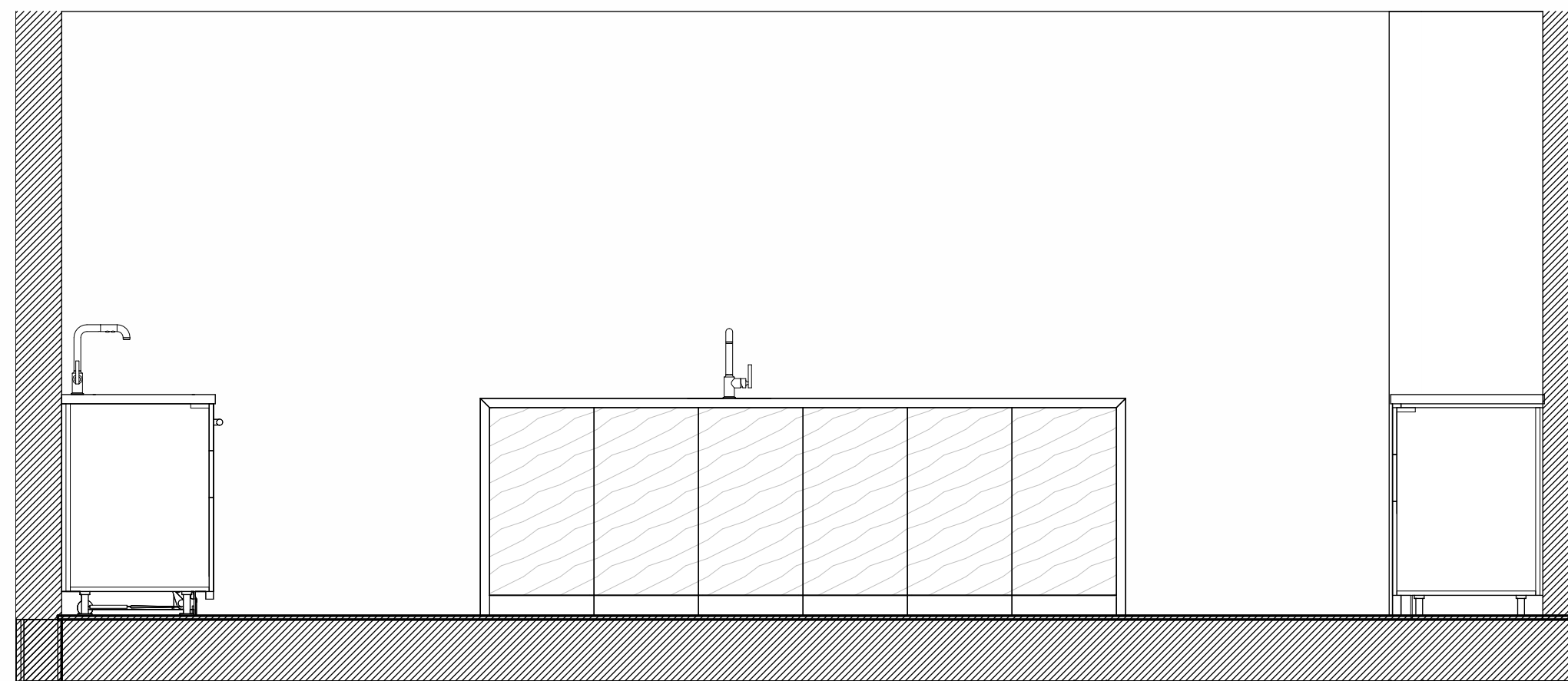
722 & 714 Loma Drive  
Hermosa Beach, CA 90254

### SCHEDULES

NOTE: NRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

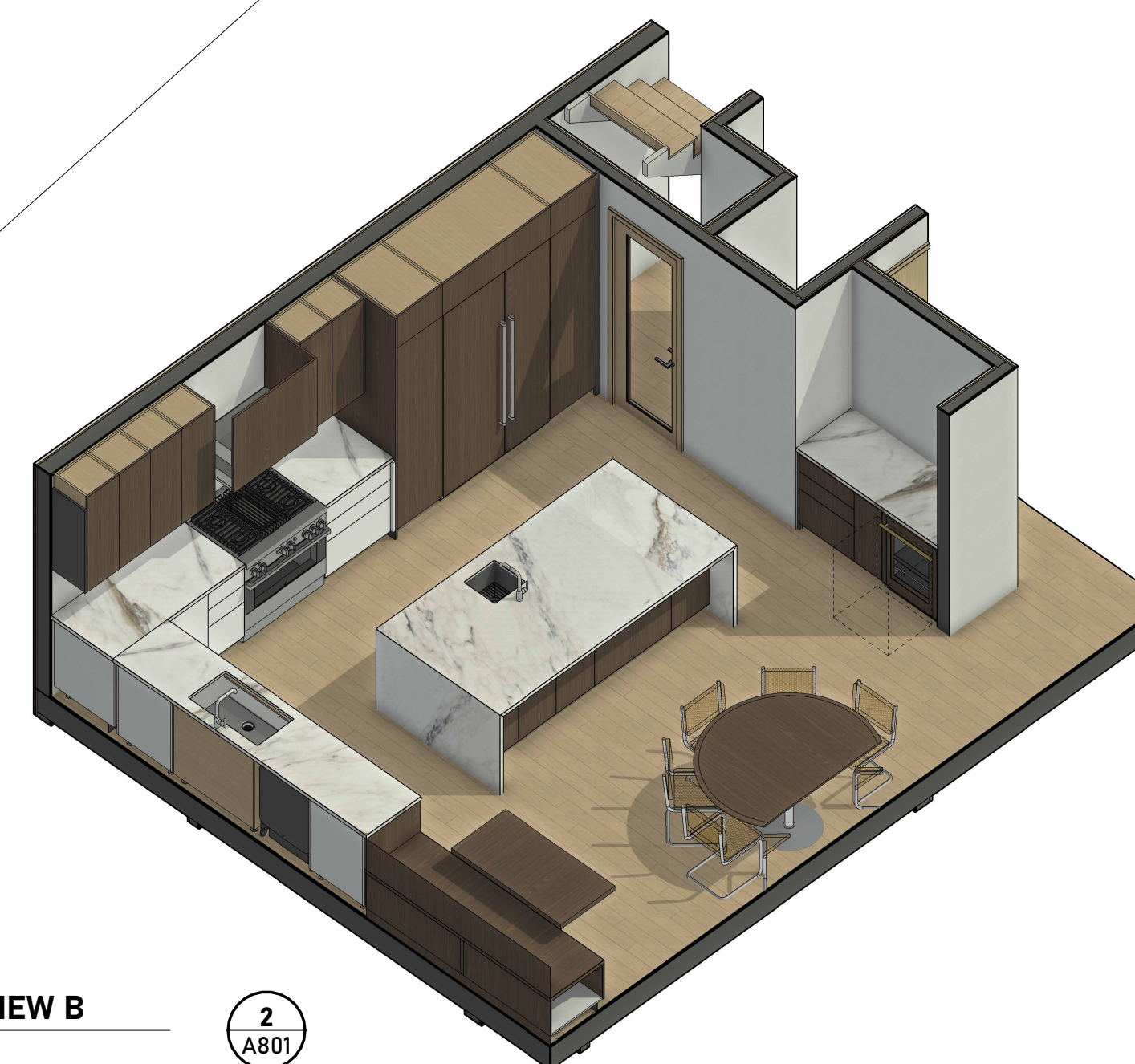
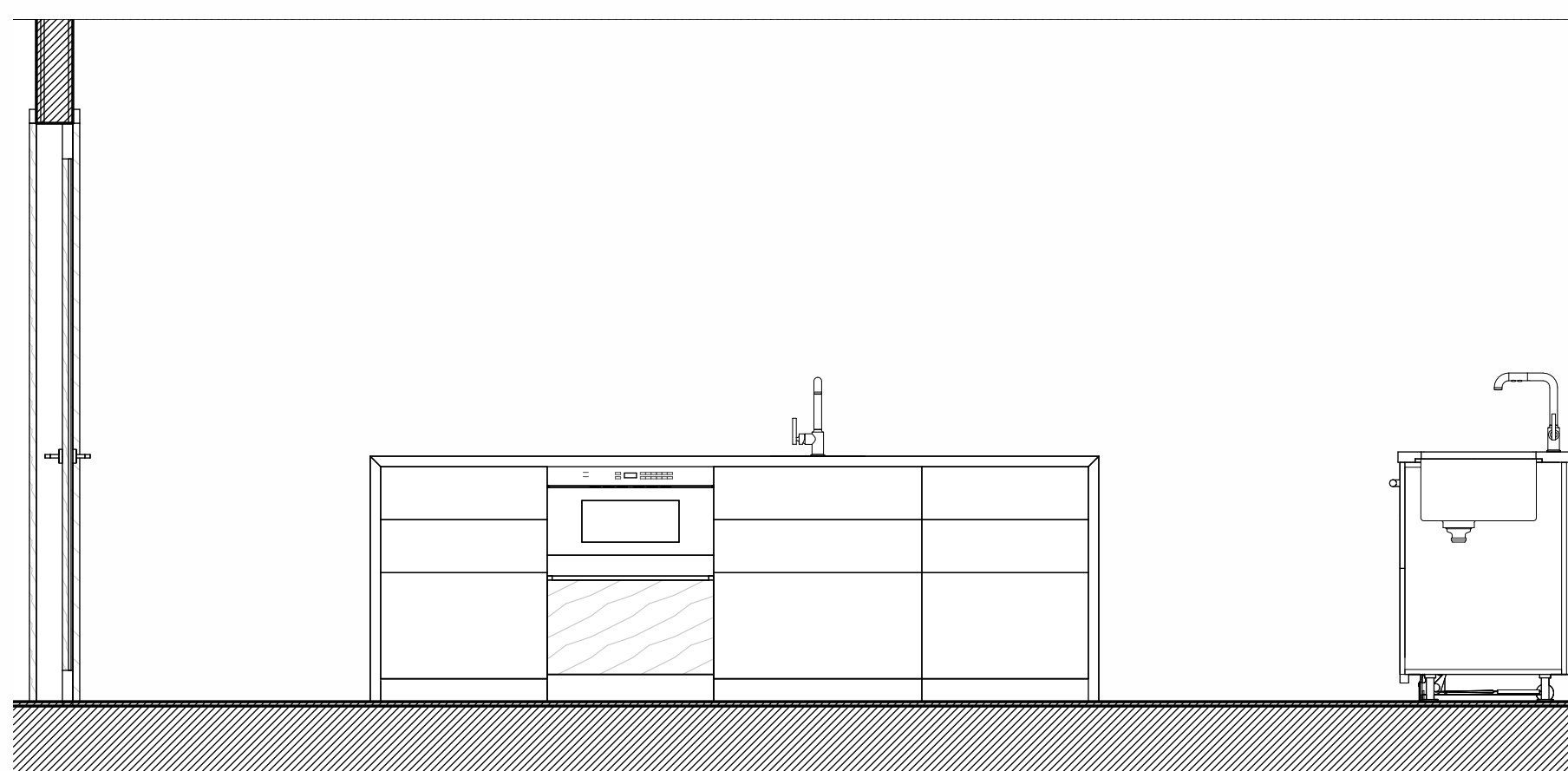


REVISIONS	
NO.	DESCRIPTION



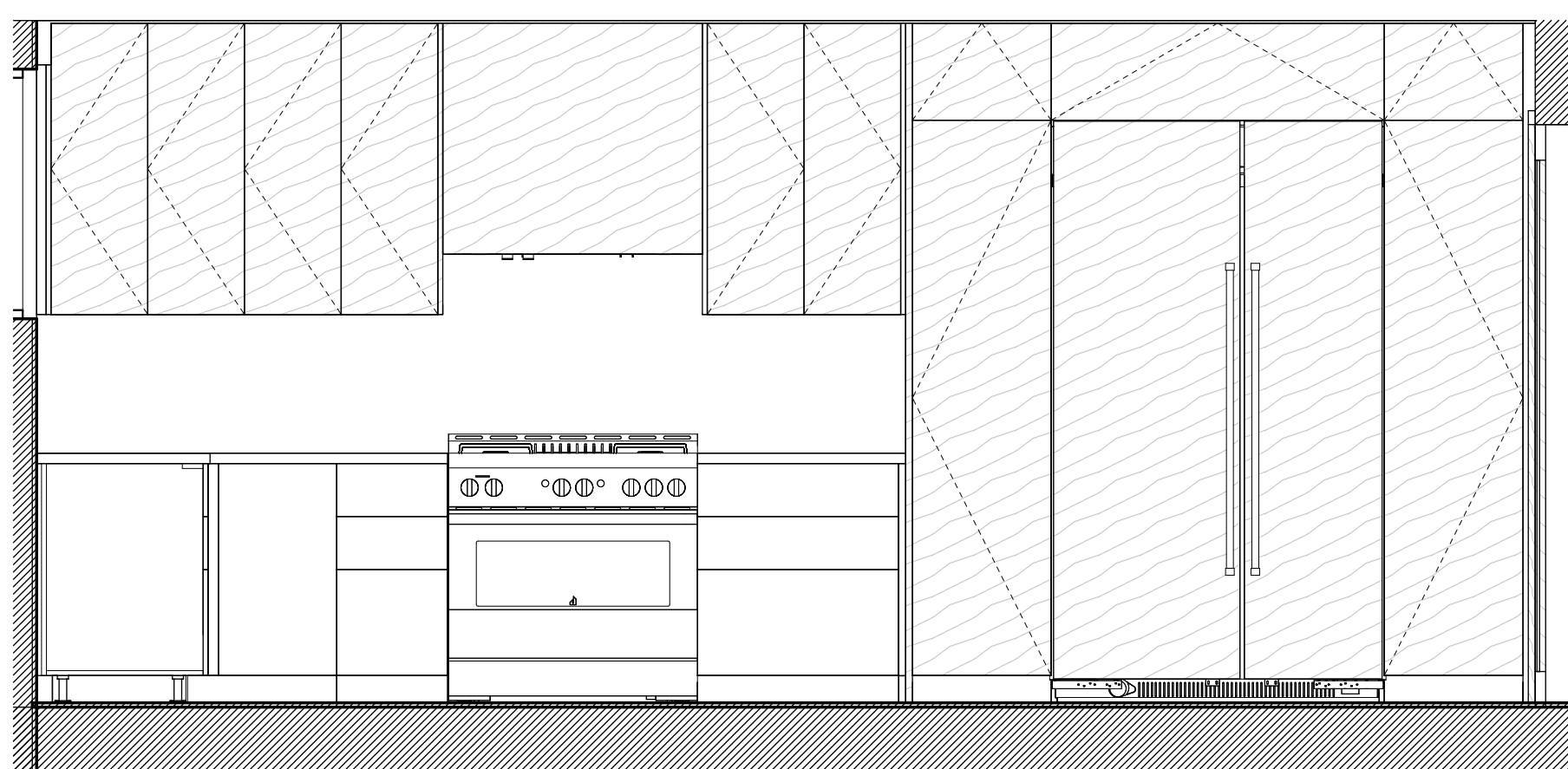
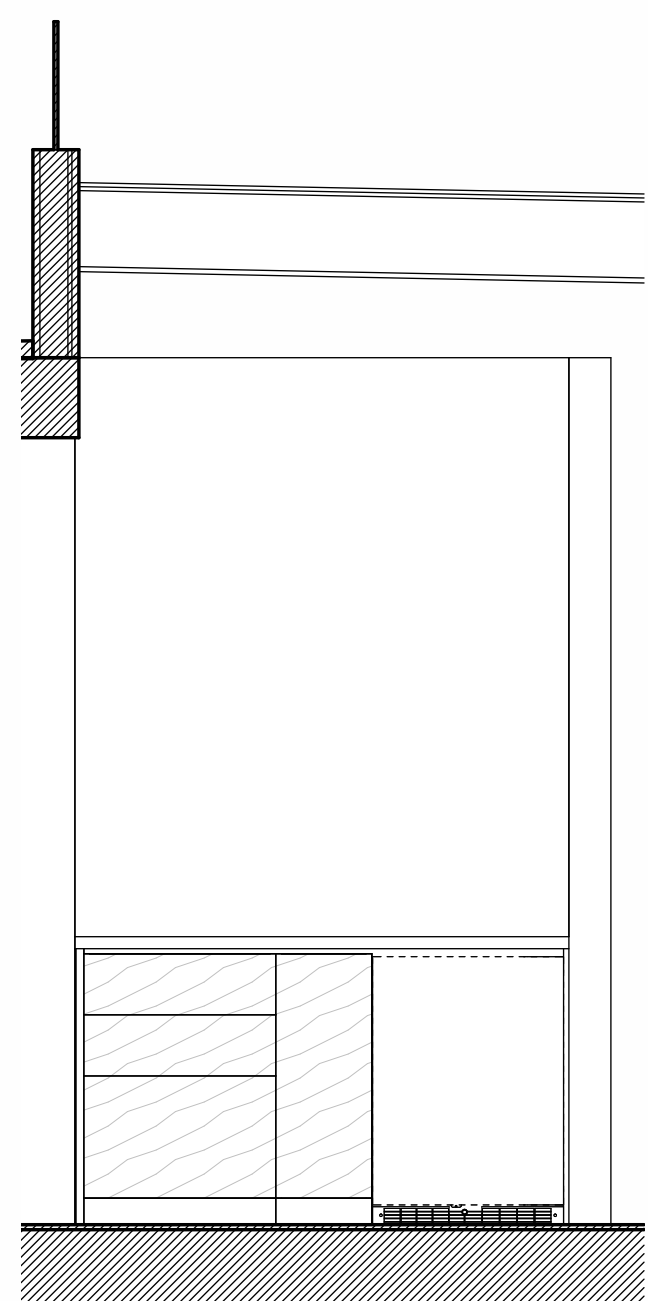
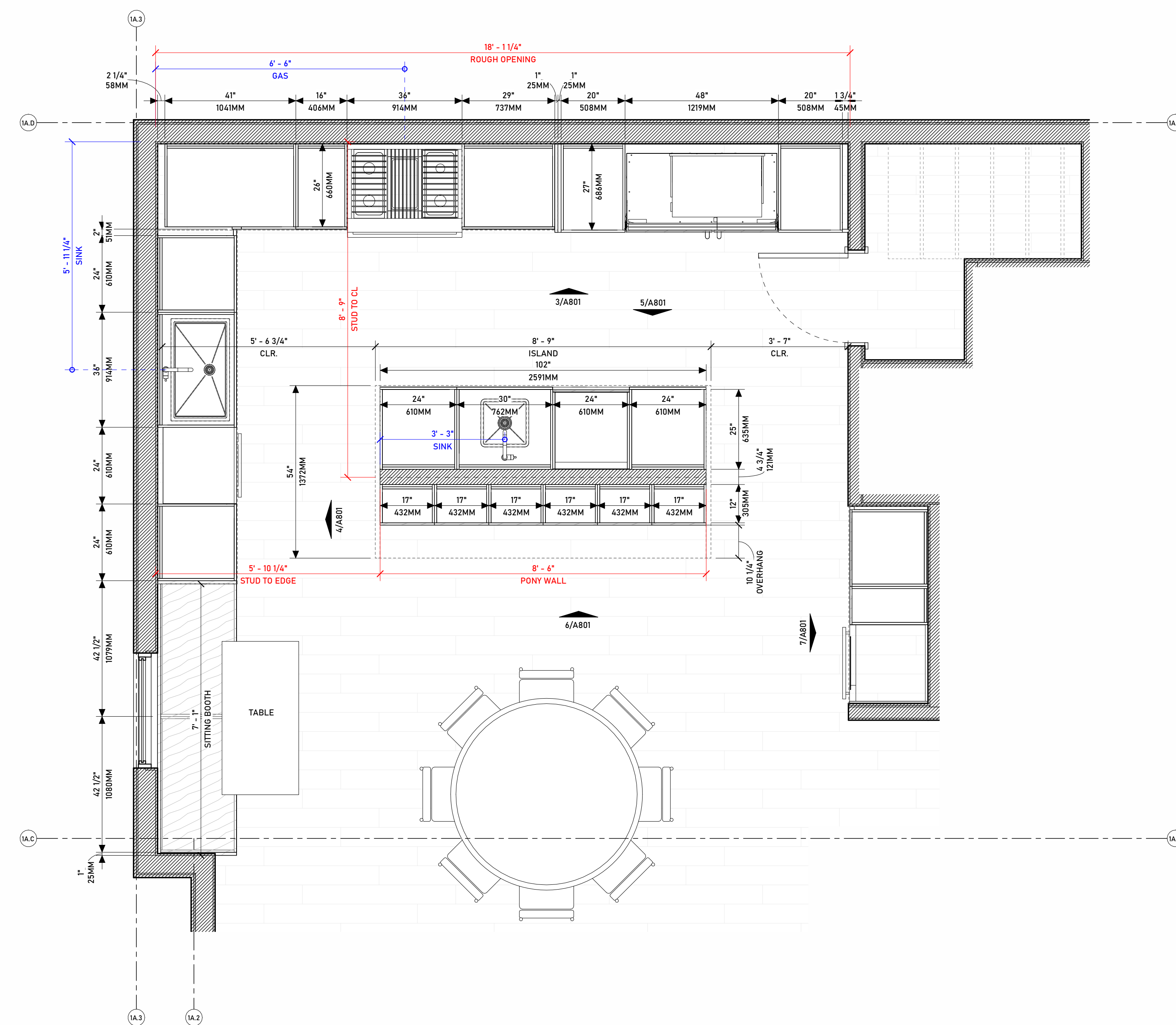
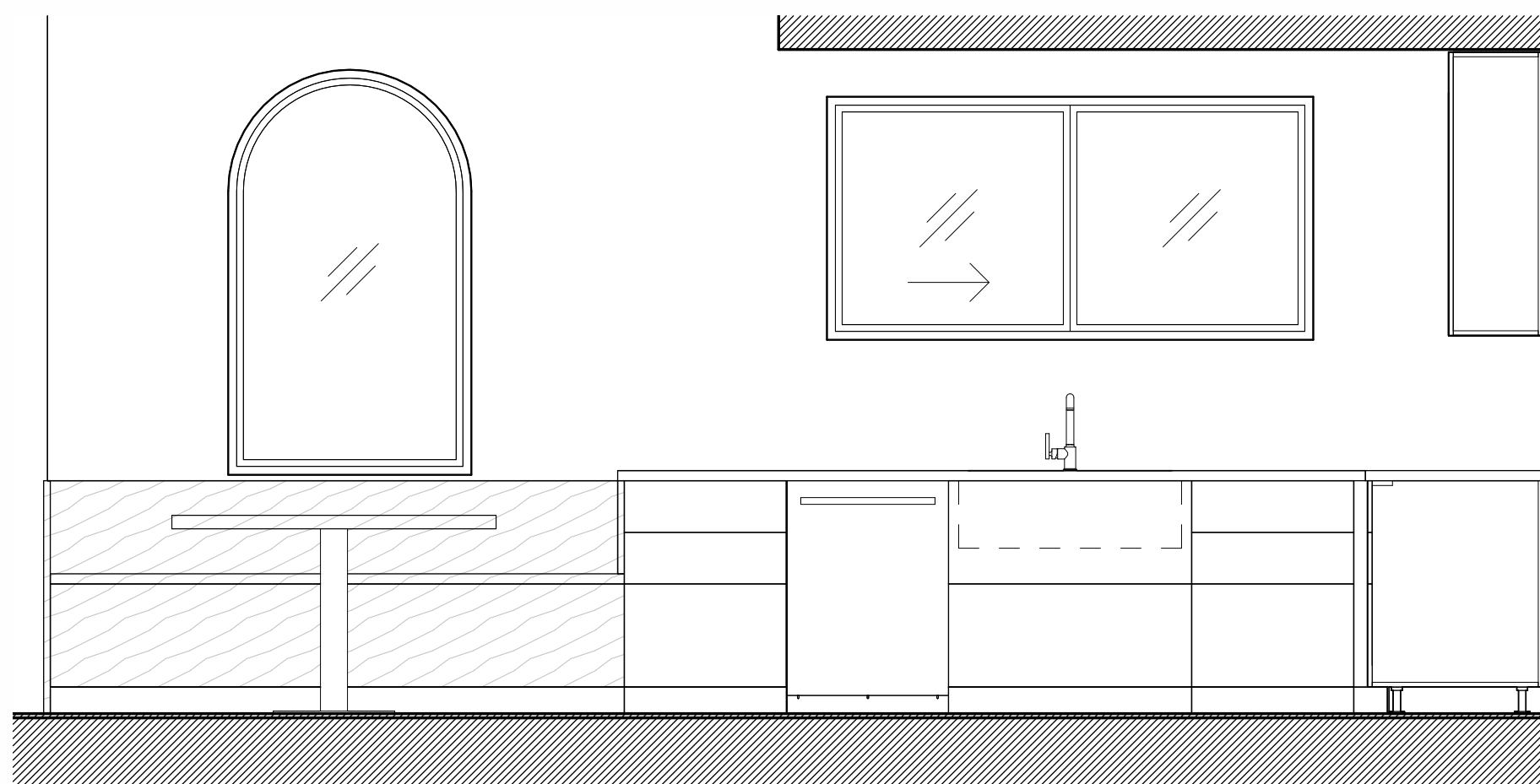
1A KITCHEN - 3D VIEW A  
SCALE:

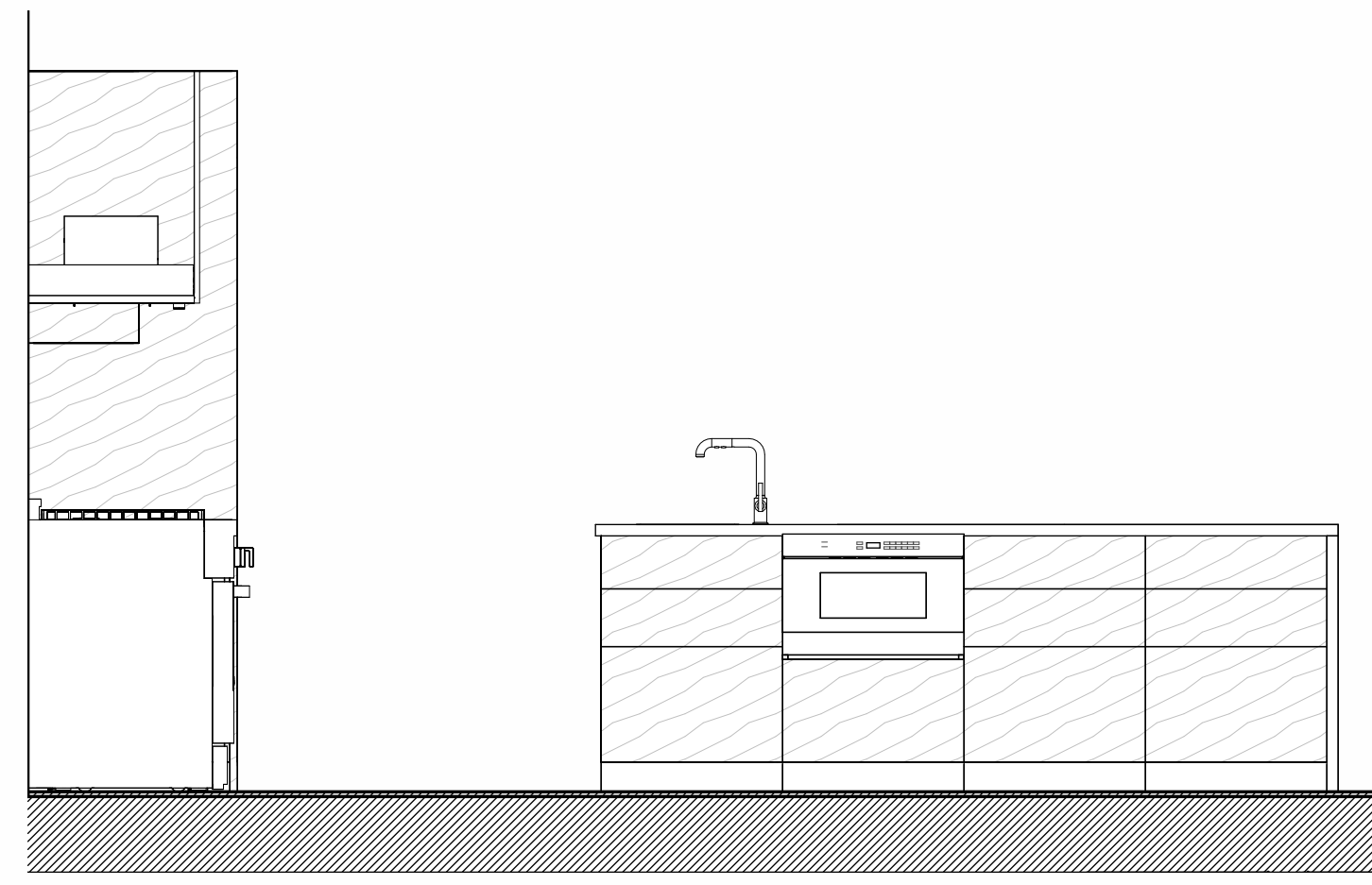
1  
A801



1A KITCHEN - 3D VIEW B  
SCALE:

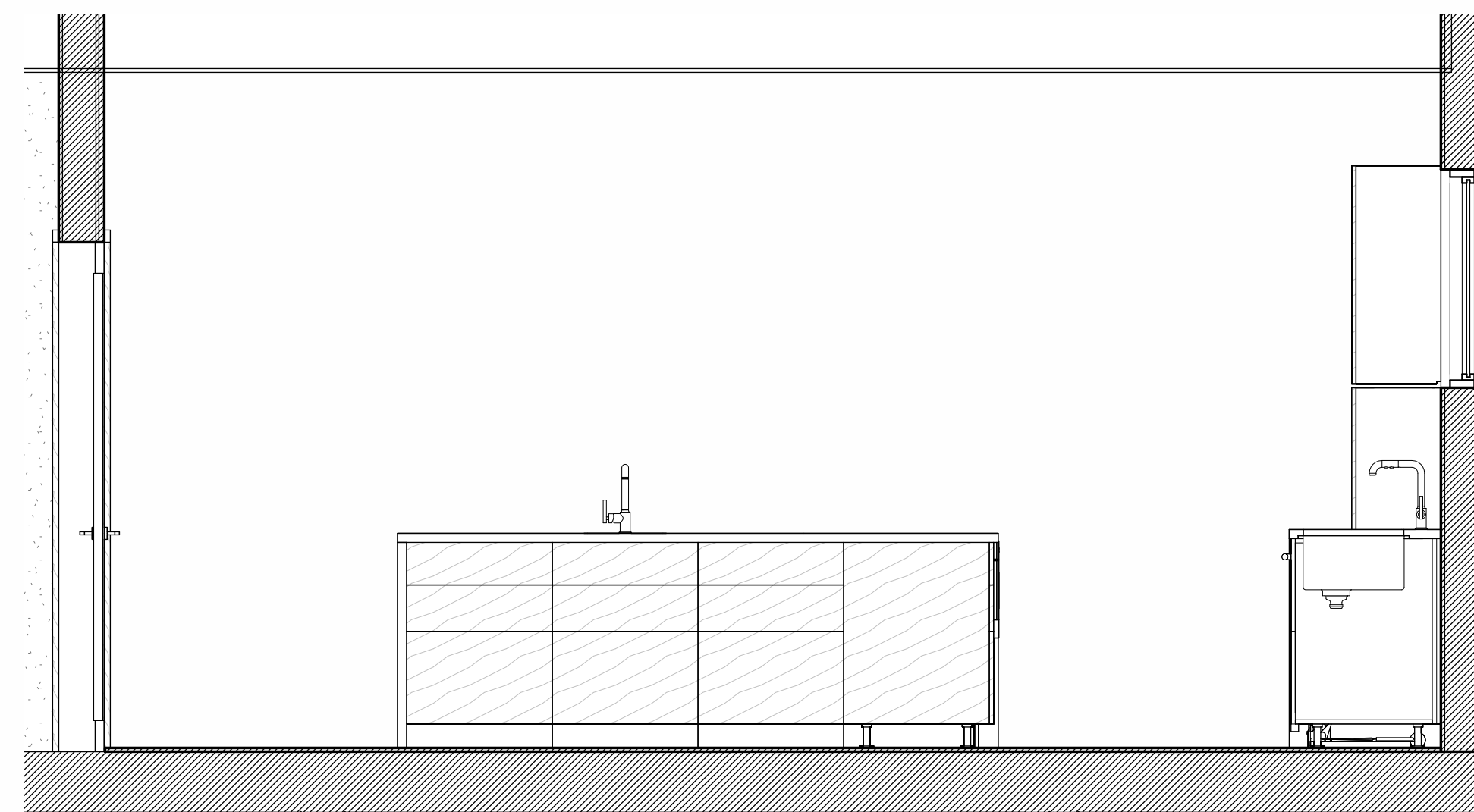
2  
A801





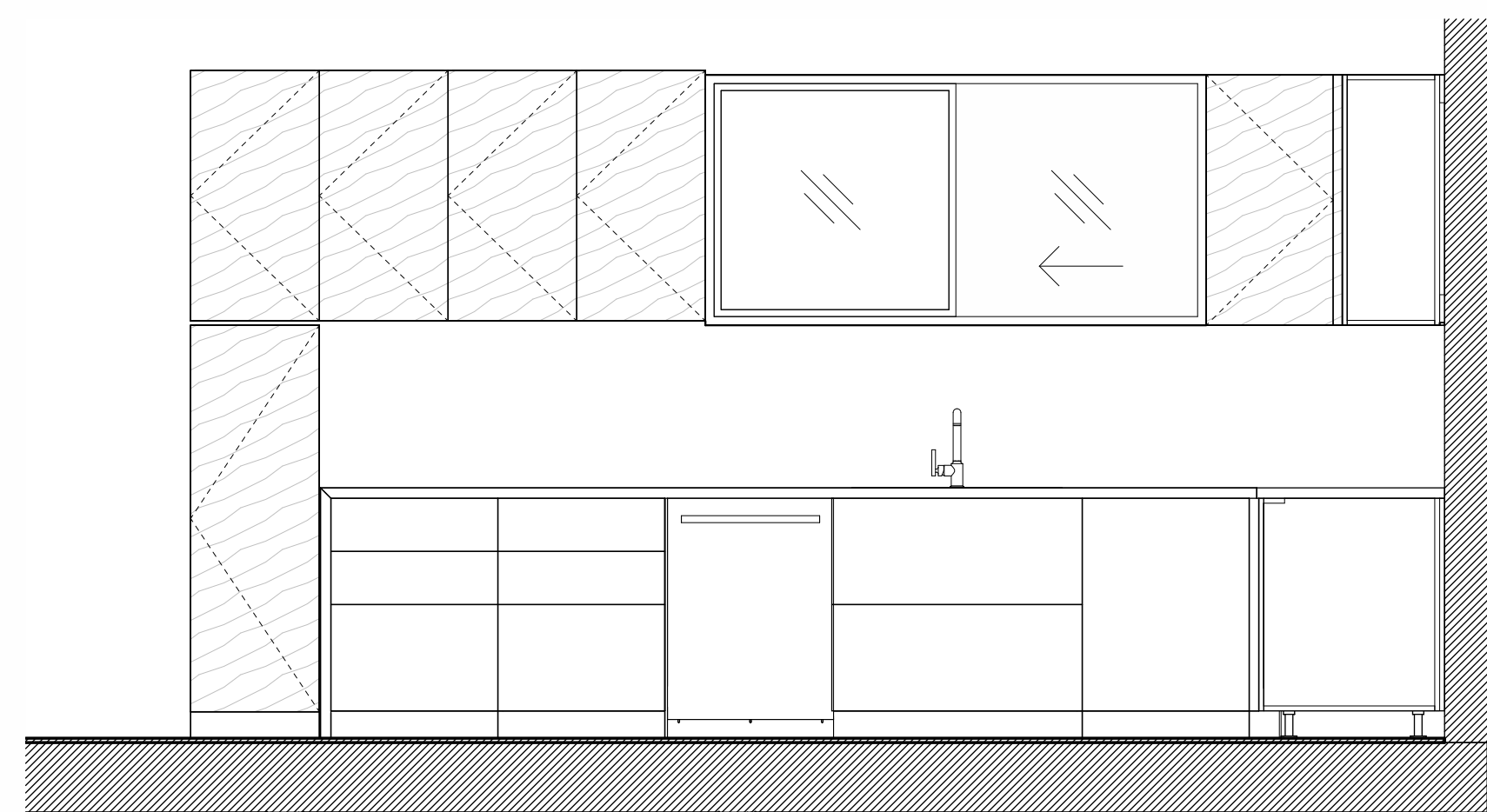
**1B KITCHEN ELEVATION D (ISLAND MW SIDE)**  
SCALE: 1/2" = 1'-0"

7  
A802



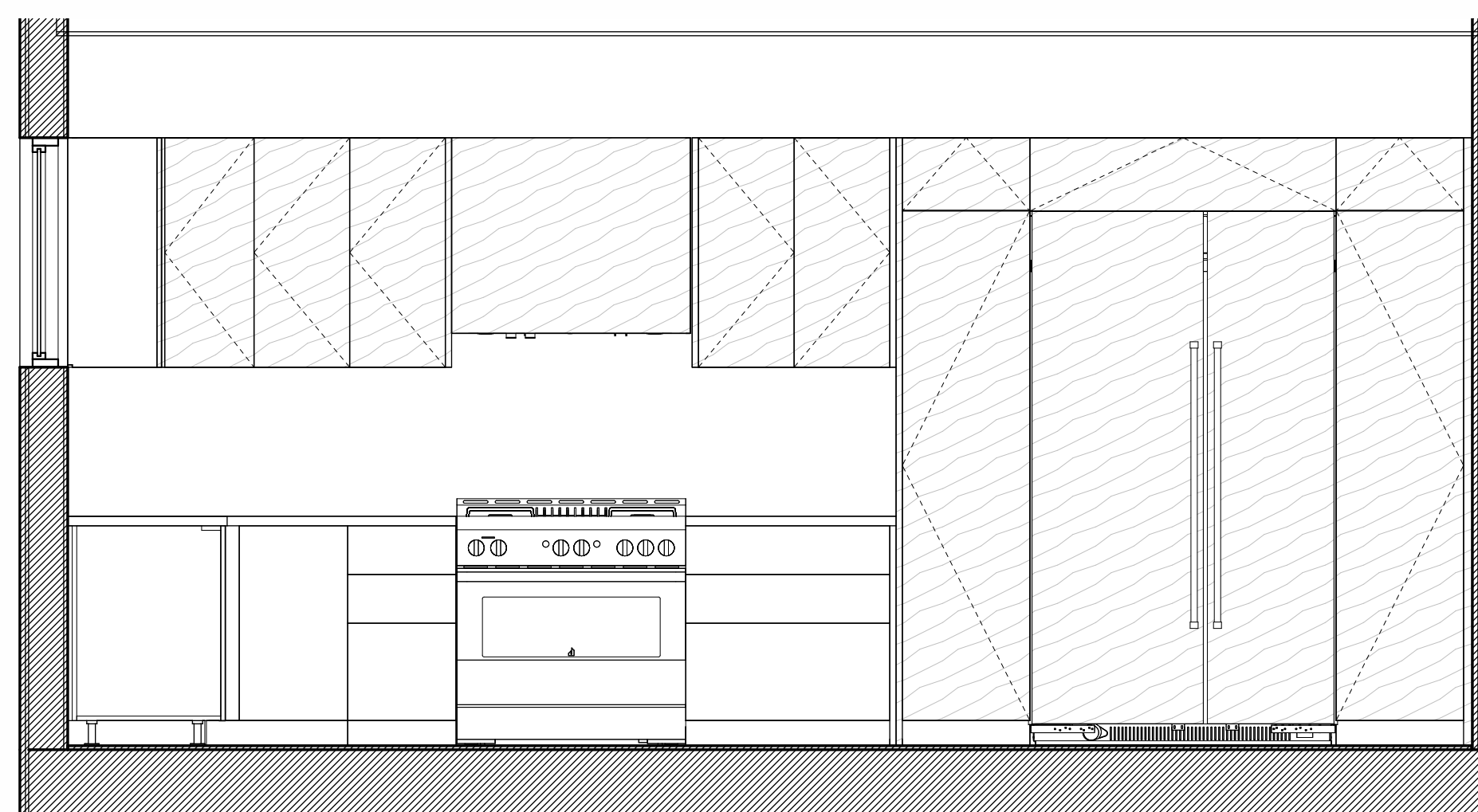
**1B KITCHEN ELEVATION C (ISLAND SINK SIDE)**  
SCALE: 1/2" = 1'-0"

6  
A802



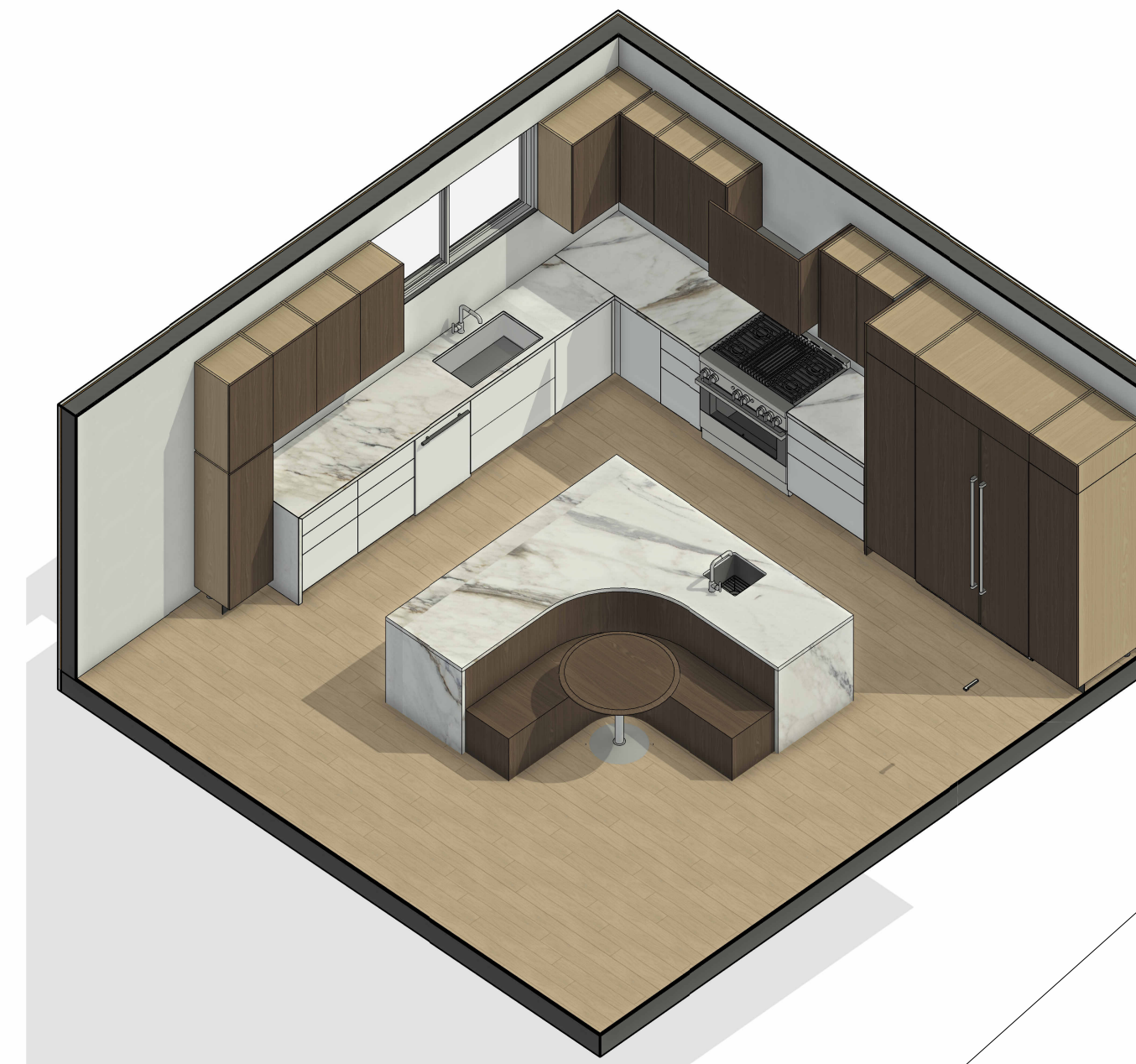
**1B KITCHEN ELEVATION A (SINK SIDE)**  
SCALE: 1/2" = 1'-0"

4  
A802



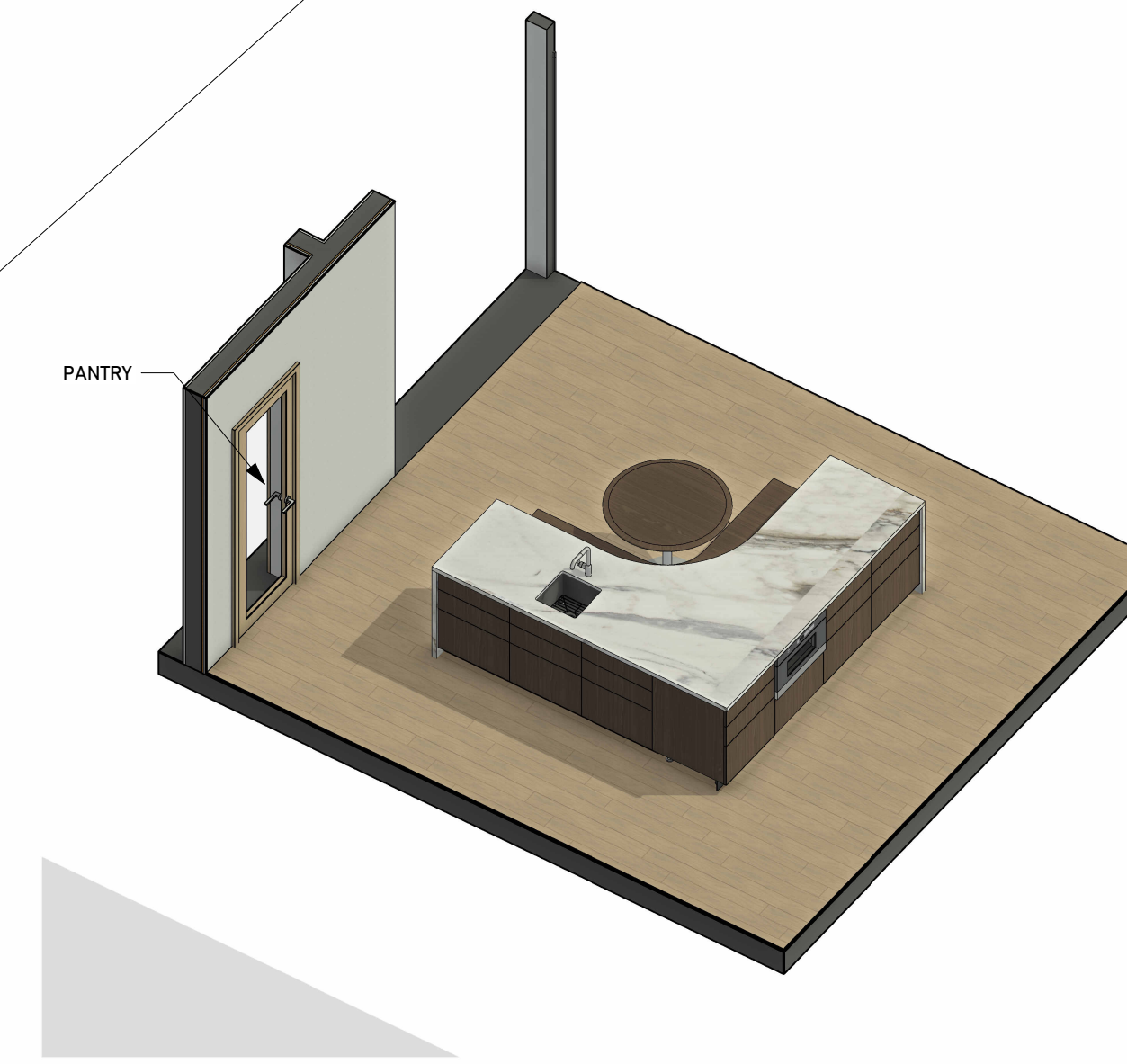
**1B KITCHEN ELEVATION B (RANGE SIDE)**  
SCALE: 1/2" = 1'-0"

5  
A802



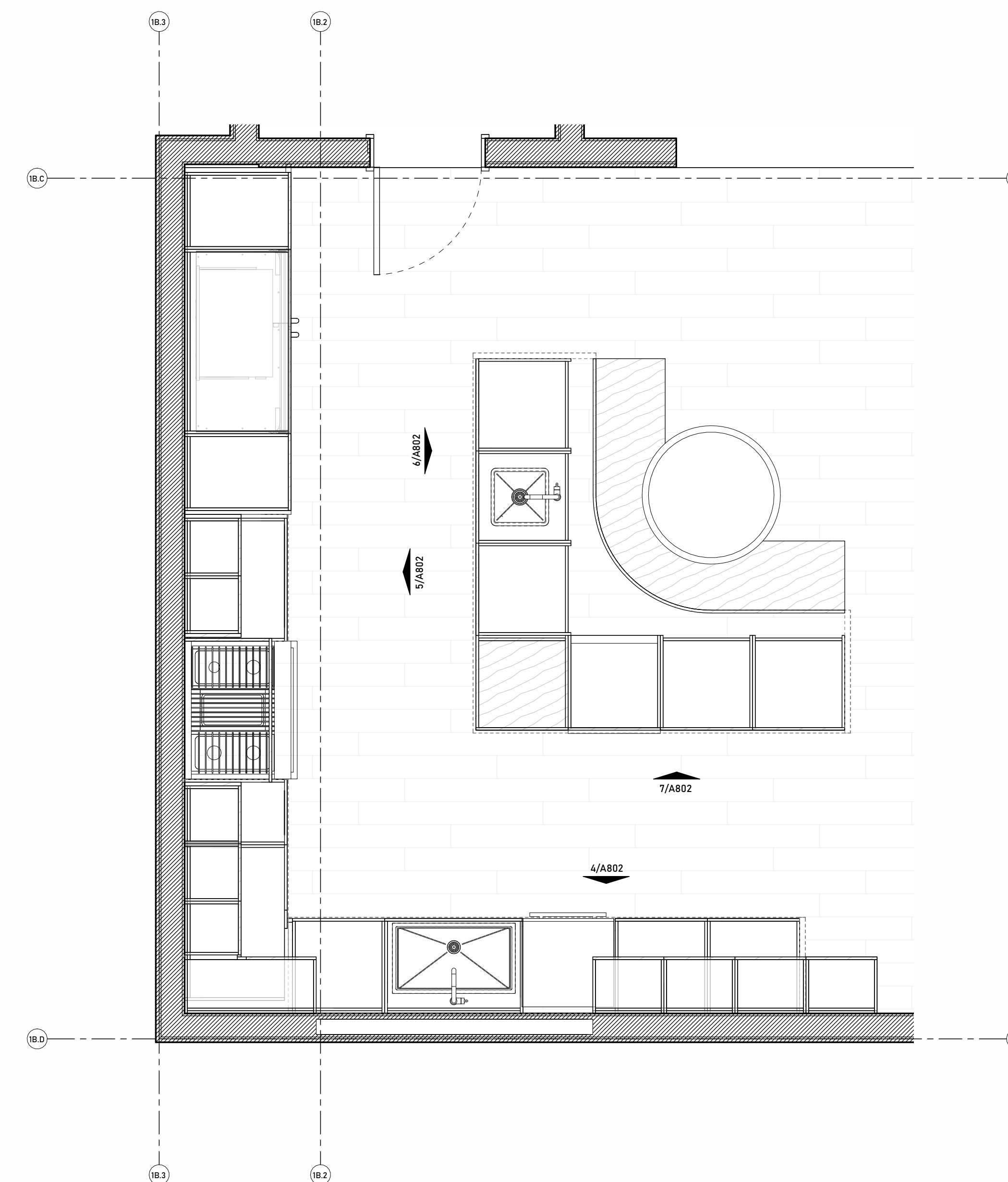
**714 B KITCHEN 3D A**  
SCALE:

2  
A802



**714 B KITCHEN 3D B**  
SCALE:

3  
A802



**714 B - ENLARGED KITCHEN PLAN**  
SCALE: 1/2" = 1'-0"

1  
A802

BUILDING DEPT STAMP

PLANNING DEPT STAMP

ENG. STAMP

DESIGNER

small fab lab

CONTRACTOR

**IODA**  
CONSTRUCTION, INC.

PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT

MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

**714B**  
**LOMA DRIVE**  
**CONDOS**

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

SHEET NAME

**714 B - ENLARGED**  
**KITCHEN DRAWINGS**

SHEET NUMBER

**A802**

PLOT DATE:

10/7/2025 2:15:55 PM



**IODA**  
CONSTRUCTION, INC.

PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT

MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

**722A**  
**LOMA DRIVE**  
**CONDOS**

722 & 714 Loma Drive  
Hermosa Beach, CA 90254

SHEET NAME

**722 A - ENLARGED**  
**KITCHEN DRAWINGS**

SHEET NUMBER

**A803**



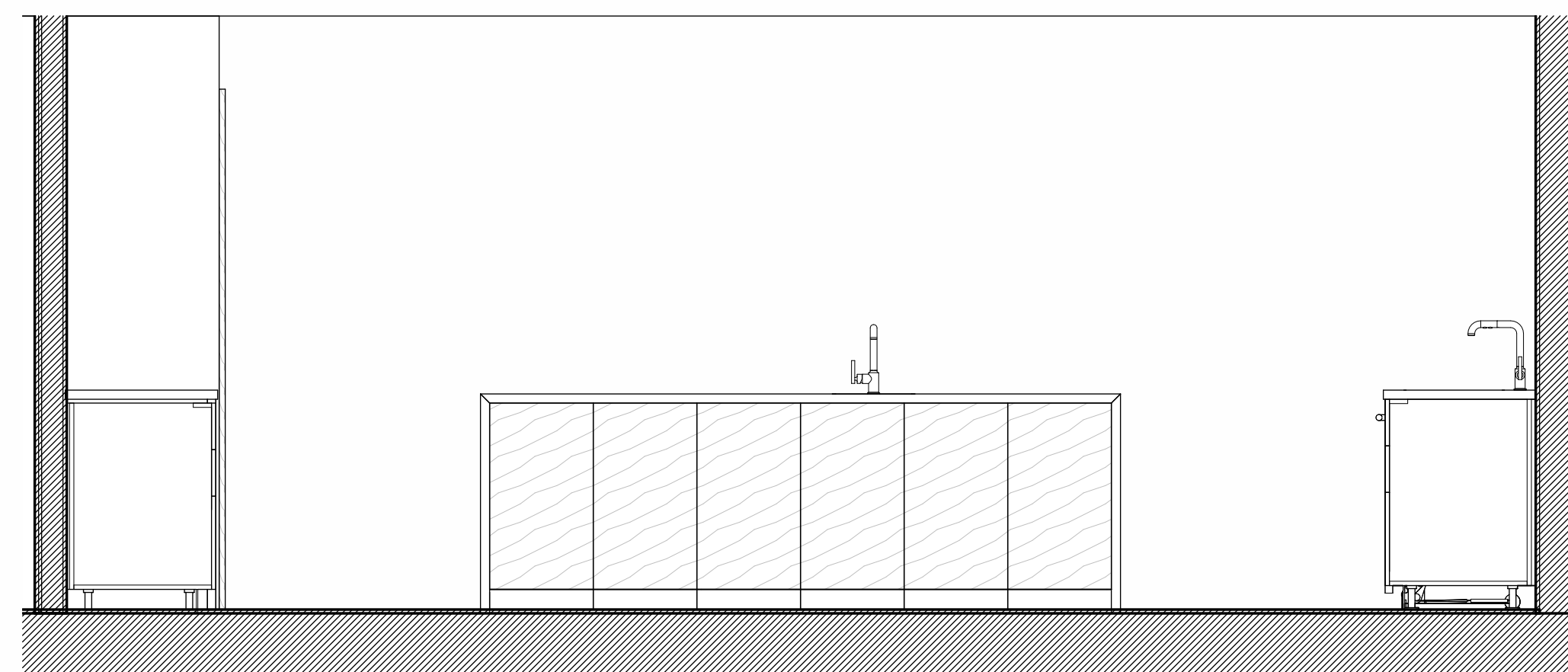
**UNIT 2A - KITCHEN 3D VIEW A**  
SCALE:

7  
A803



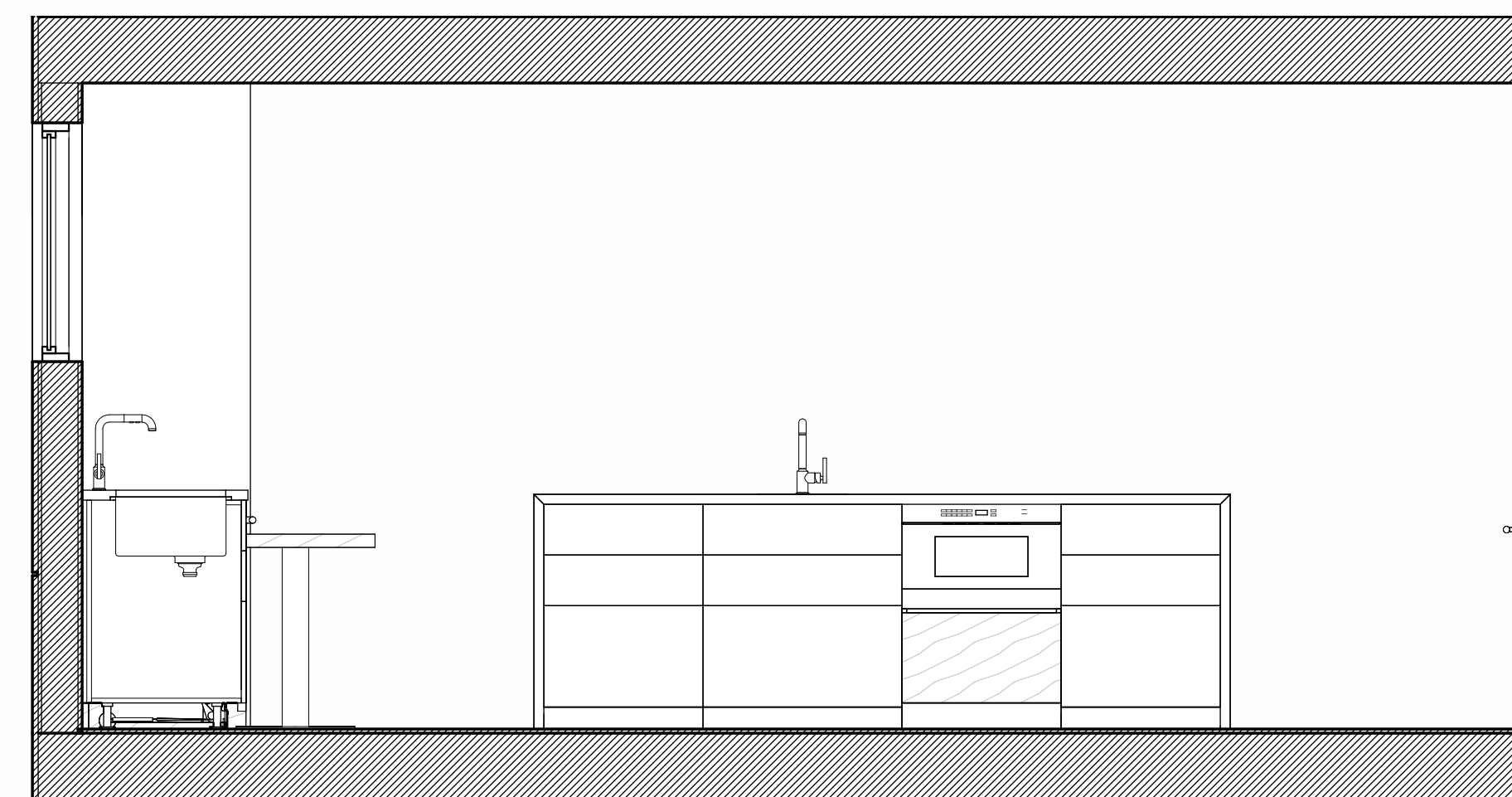
**UNIT 2A - KITCHEN 3D VIEW B**  
SCALE:

8  
A803



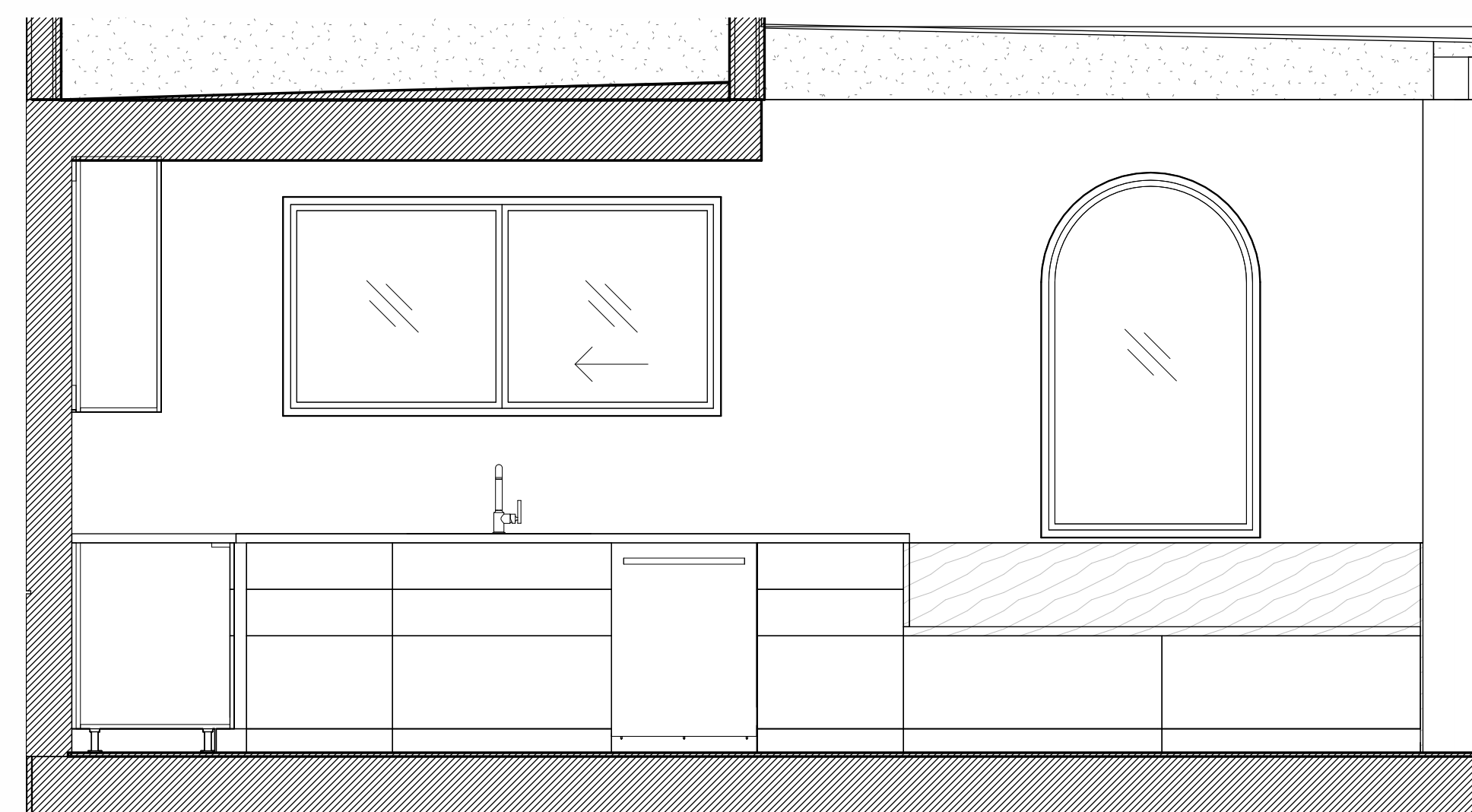
**2A KITCHEN - ELEVATION D - ISLAND**  
SCALE: 1/2" = 1'-0"

5  
A803



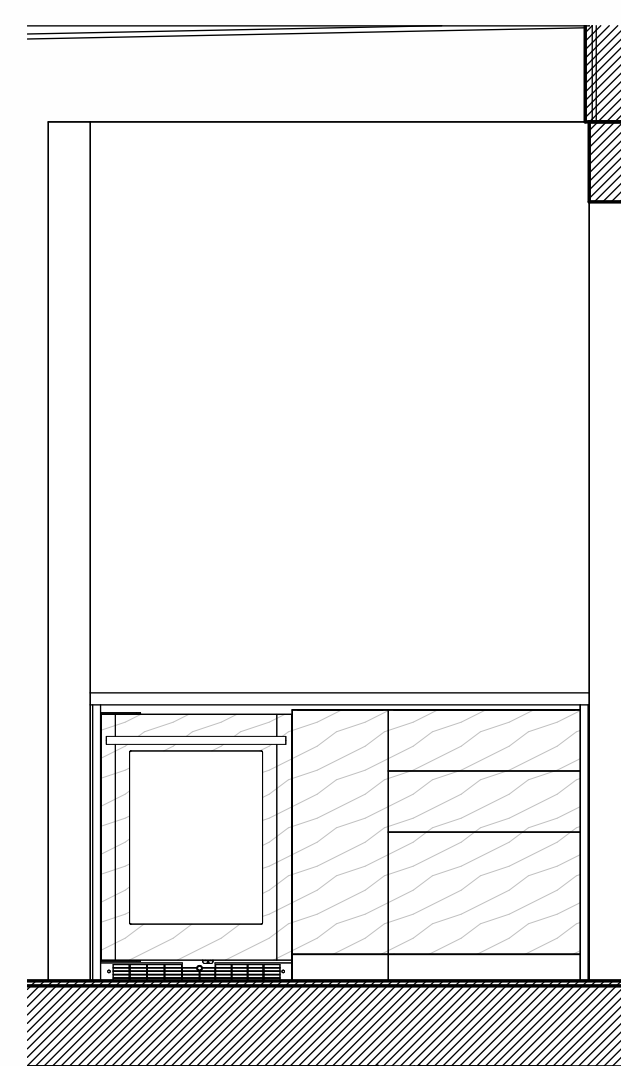
**2A KITCHEN - ELEVATION C (ISLAND)**  
SCALE: 1/2" = 1'-0"

4  
A803



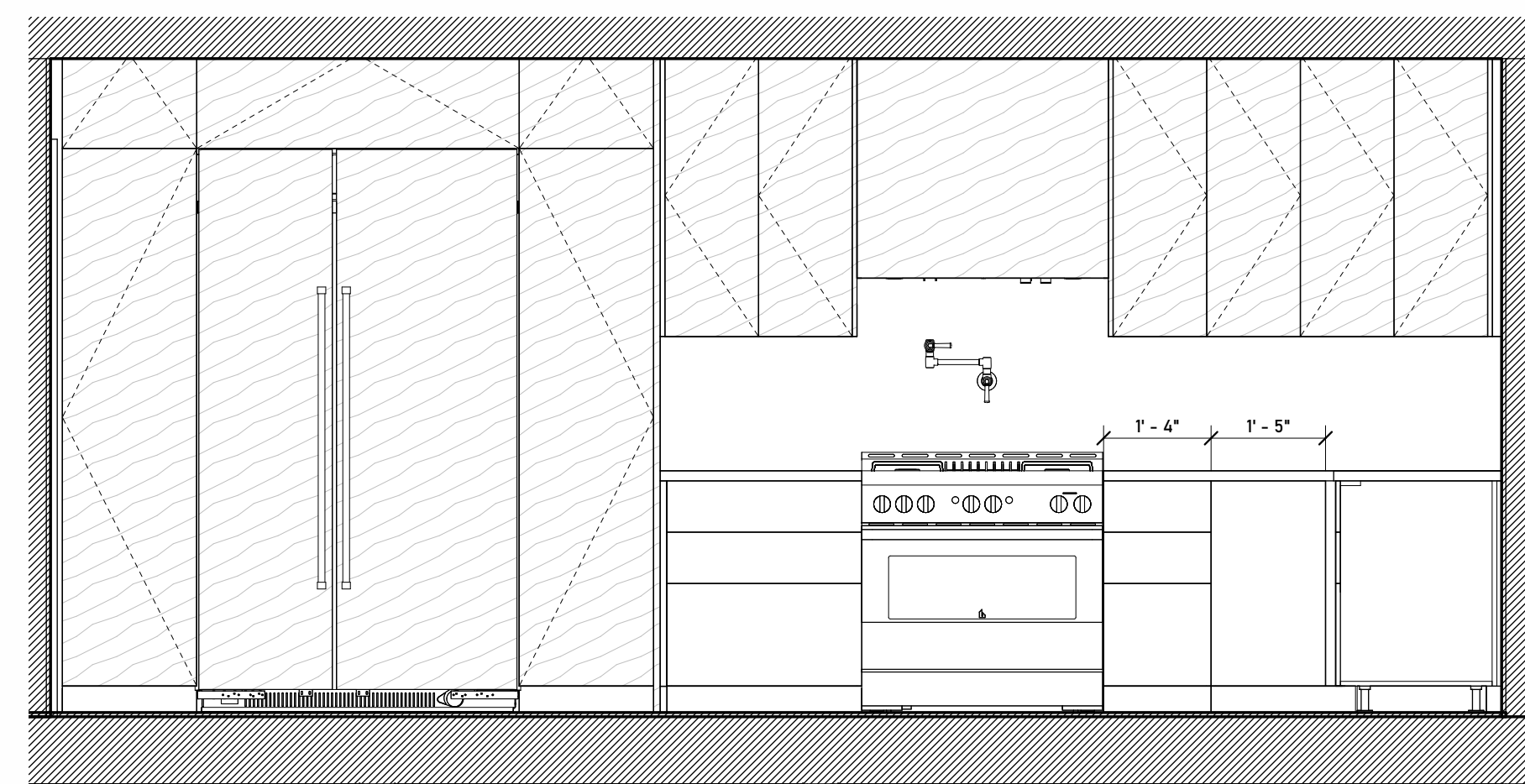
**2A KITCHEN - ELEVATION B (SINK SIDE)**  
SCALE: 1/2" = 1'-0"

3  
A803



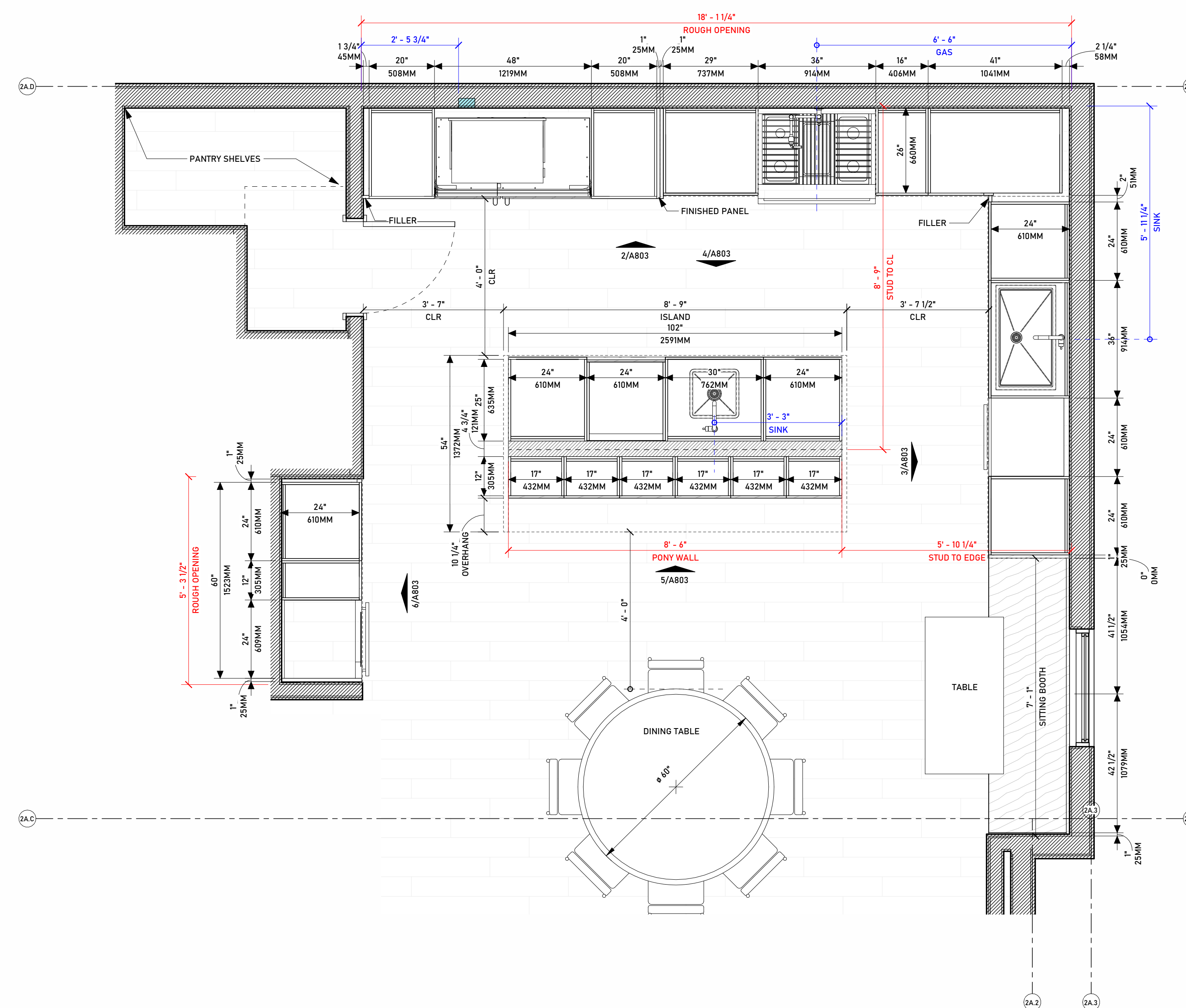
**2A KITCHEN - ELEVATION E (DRY BAR)**  
SCALE: 1/2" = 1'-0"

6  
A803



**2A KITCHEN - ELEVATION A (RANGE SIDE)**  
SCALE: 1/2" = 1'-0"

2  
A803



**722 A - ENLARGED KITCHEN PLAN**  
SCALE: 1/2" = 1'-0"

1  
A803



PROJECT NUMBER: 20250504  
PROJECT DESIGNER: A. IODA  
PROJECT ENGINEER: M. NAMVAR  
DESIGNER SIGNATURE:

NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN SET

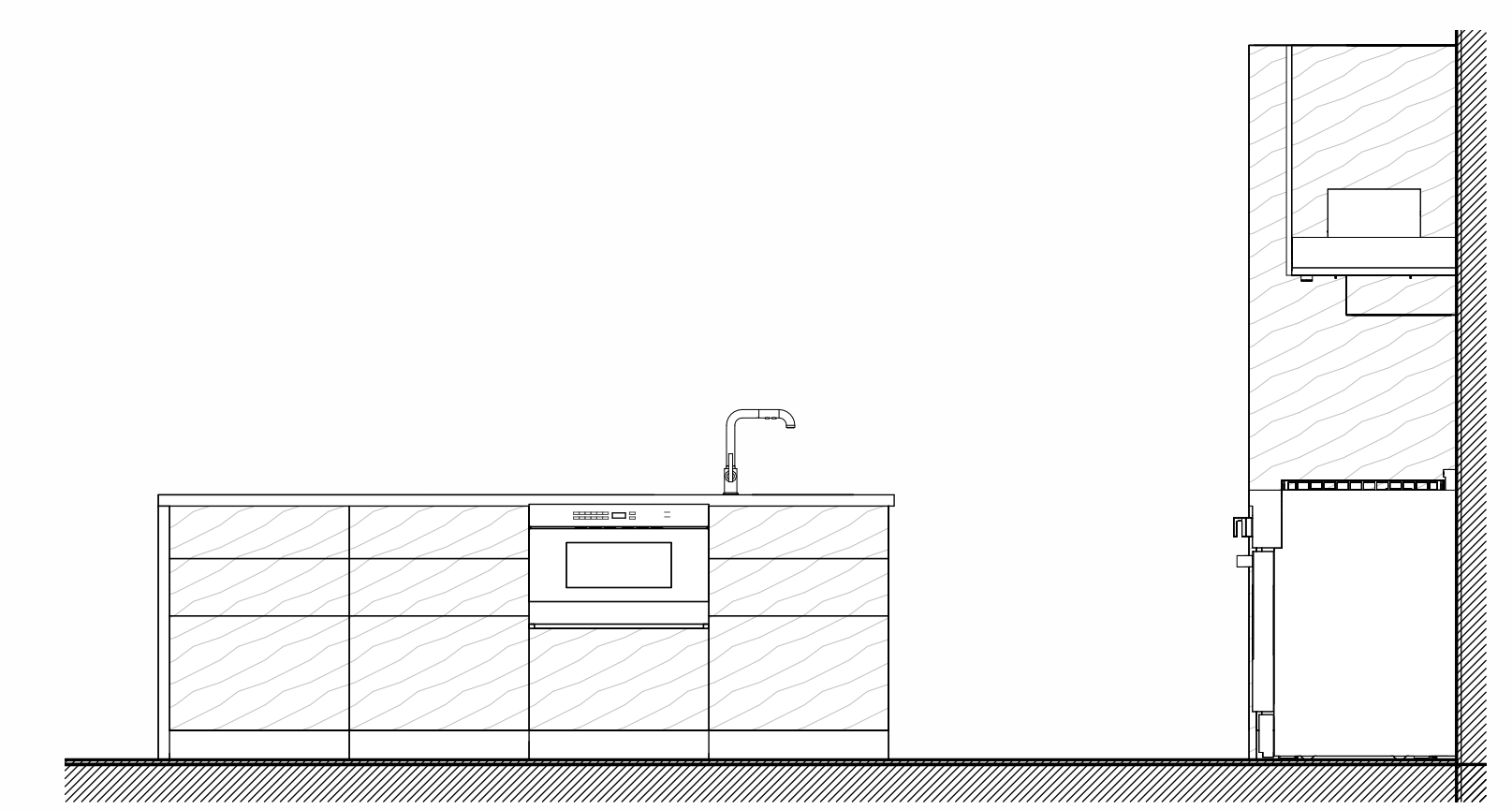
CLIENT / PROJECT  
MAL LOMA, LLC  
326 S PACIFIC COAST  
HIGHWAY #206, REDONDO  
BEACH, CA 90277

### 722B LOMA DRIVE CONDOS

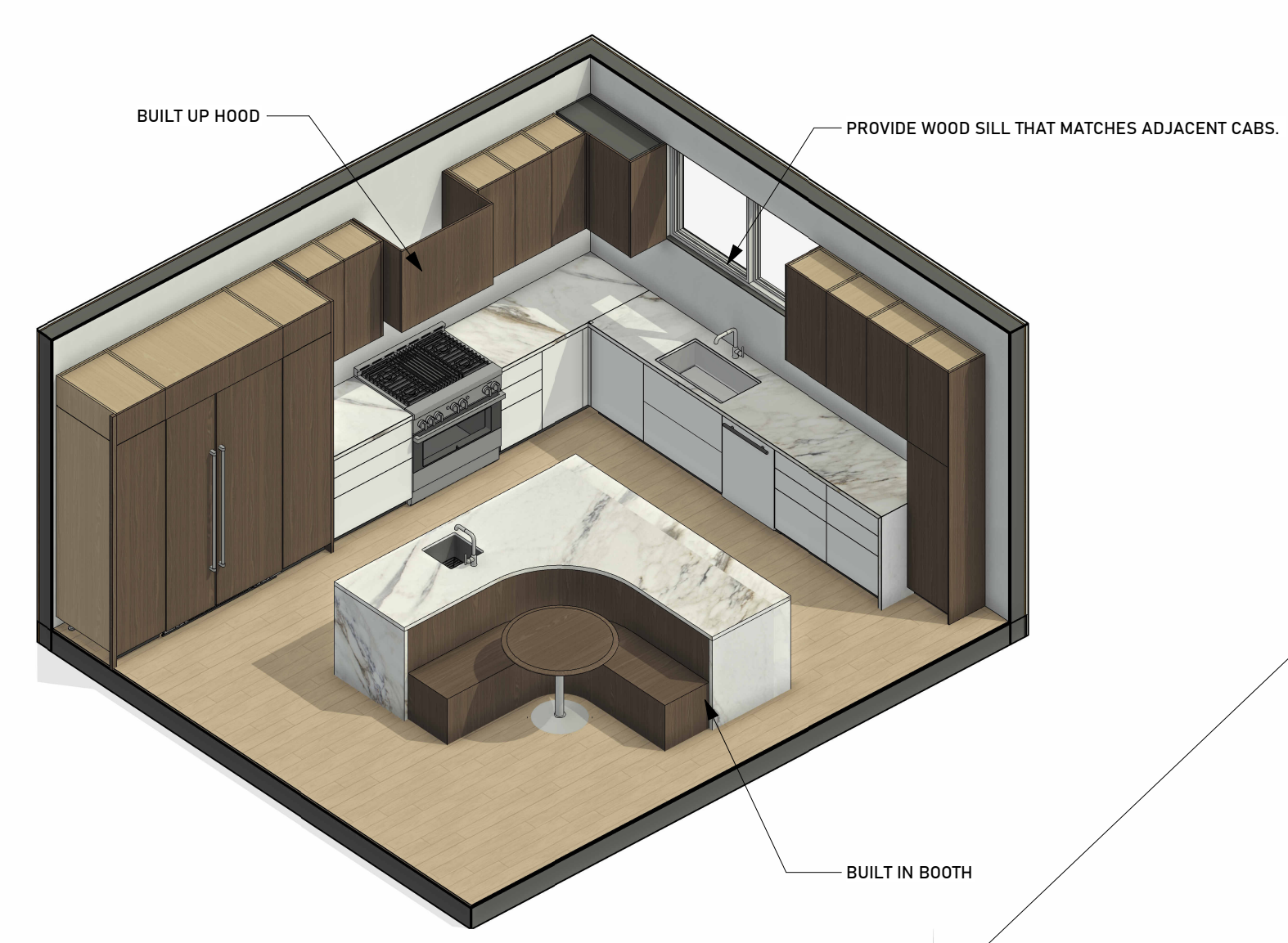
722 & 714 Loma Drive  
Hermosa Beach, CA 90254

### 722 B - ENLARGED KITCHEN DRAWINGS

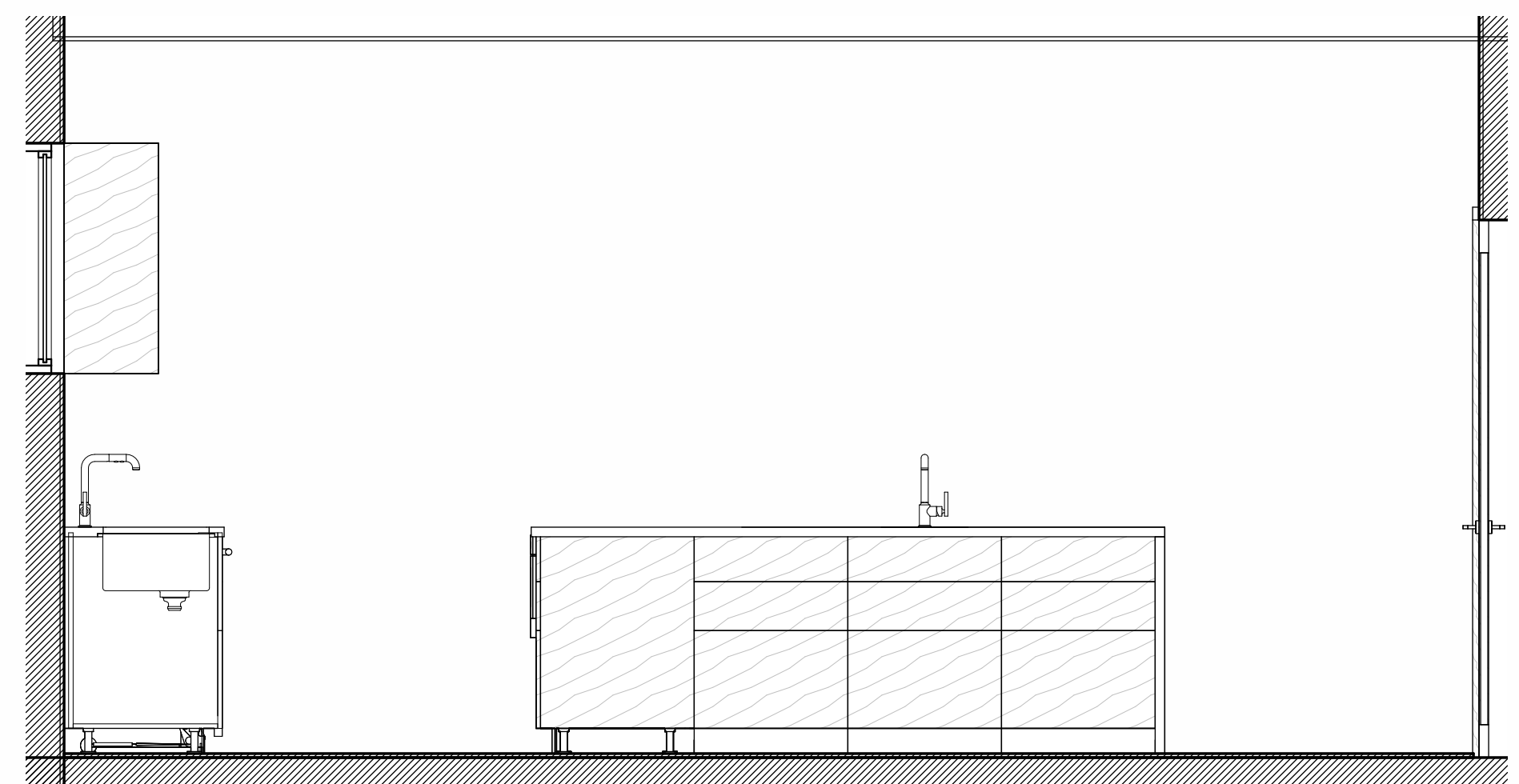
## A804



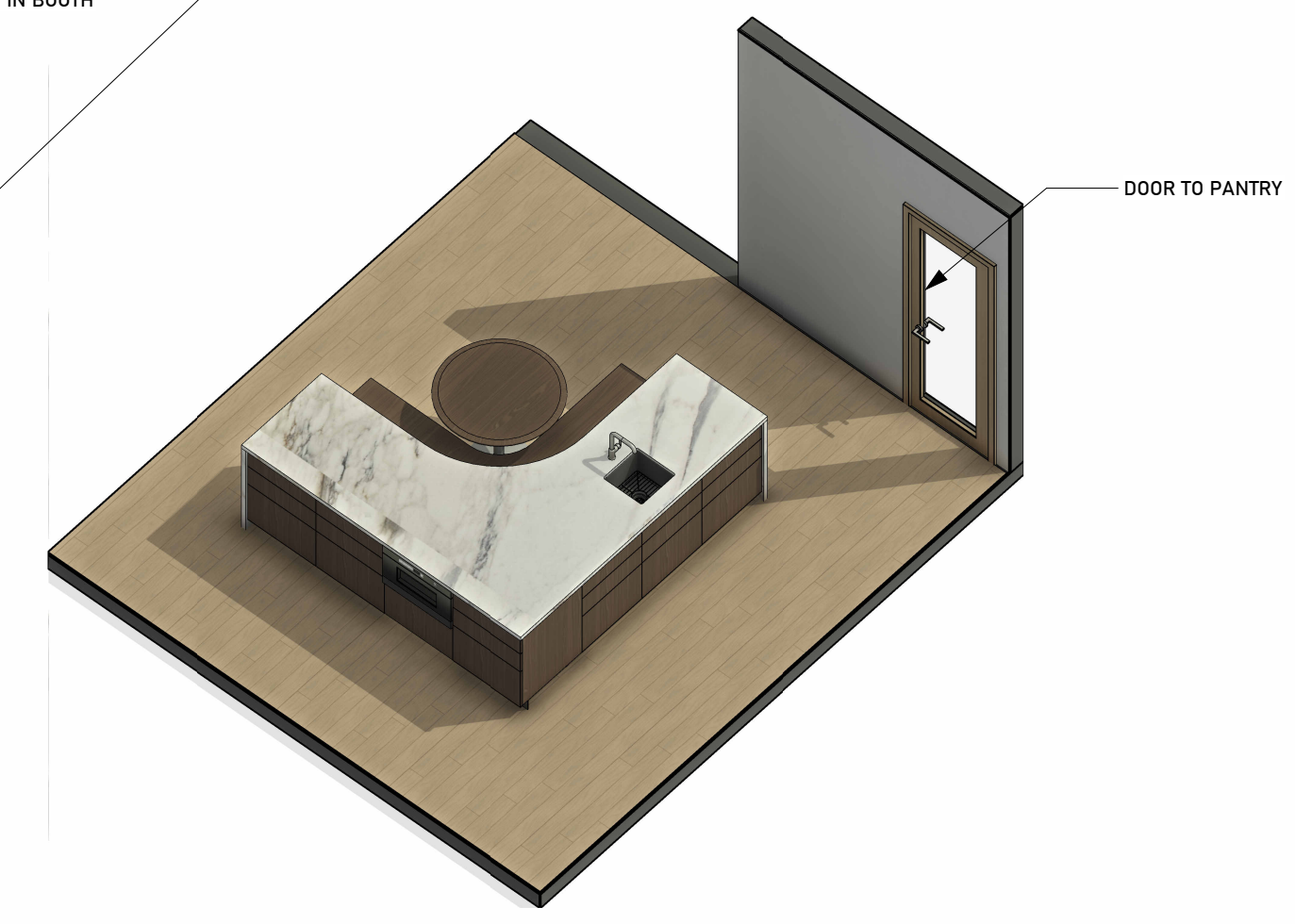
**2B KITCHEN - ELEVATION D - ISLAND MW SIDE**  
SCALE: 1/2" = 1'-0"  
7  
A804



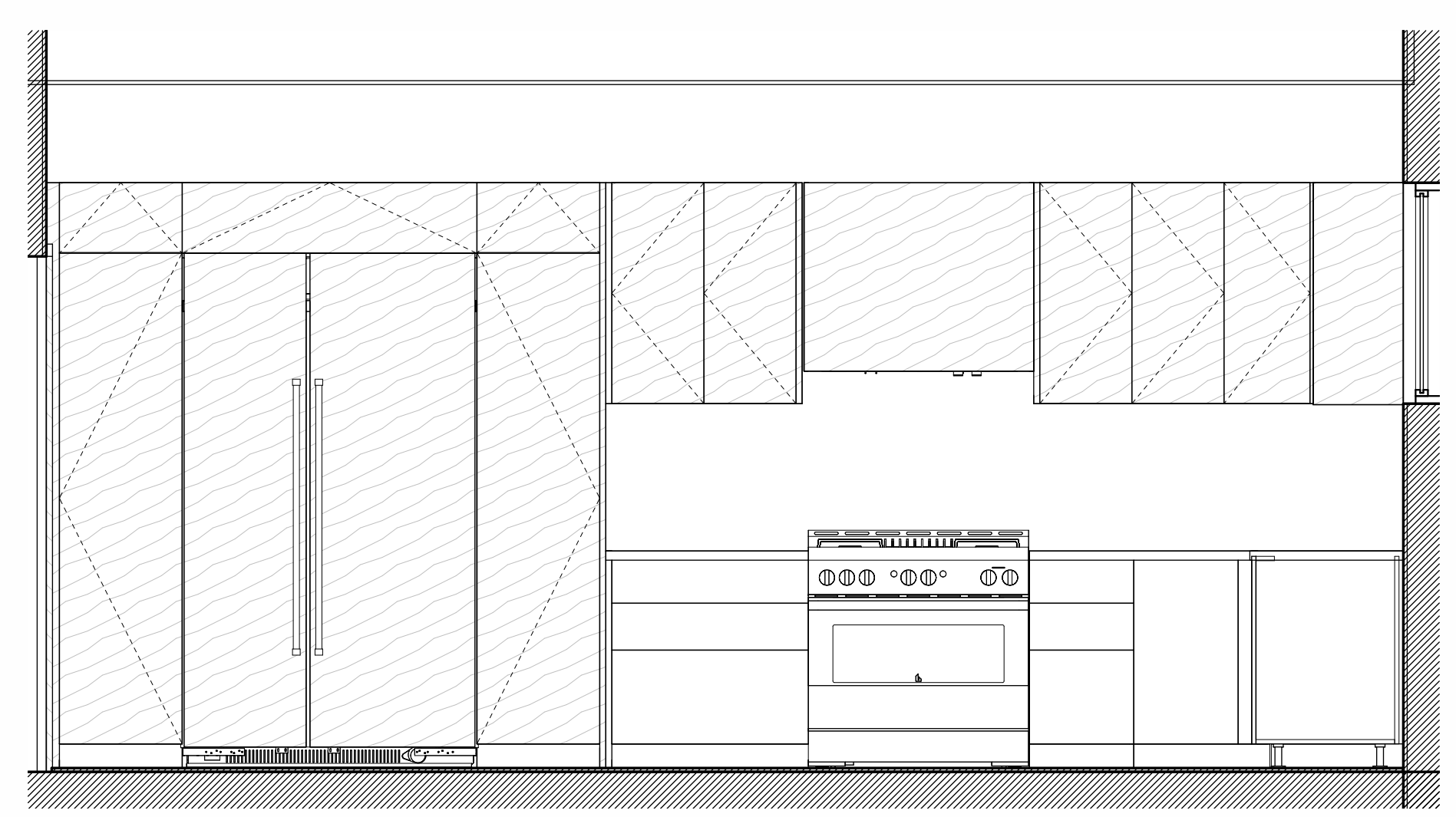
**2B - KITCHEN 3D VIEW A**  
SCALE:  
1  
A804



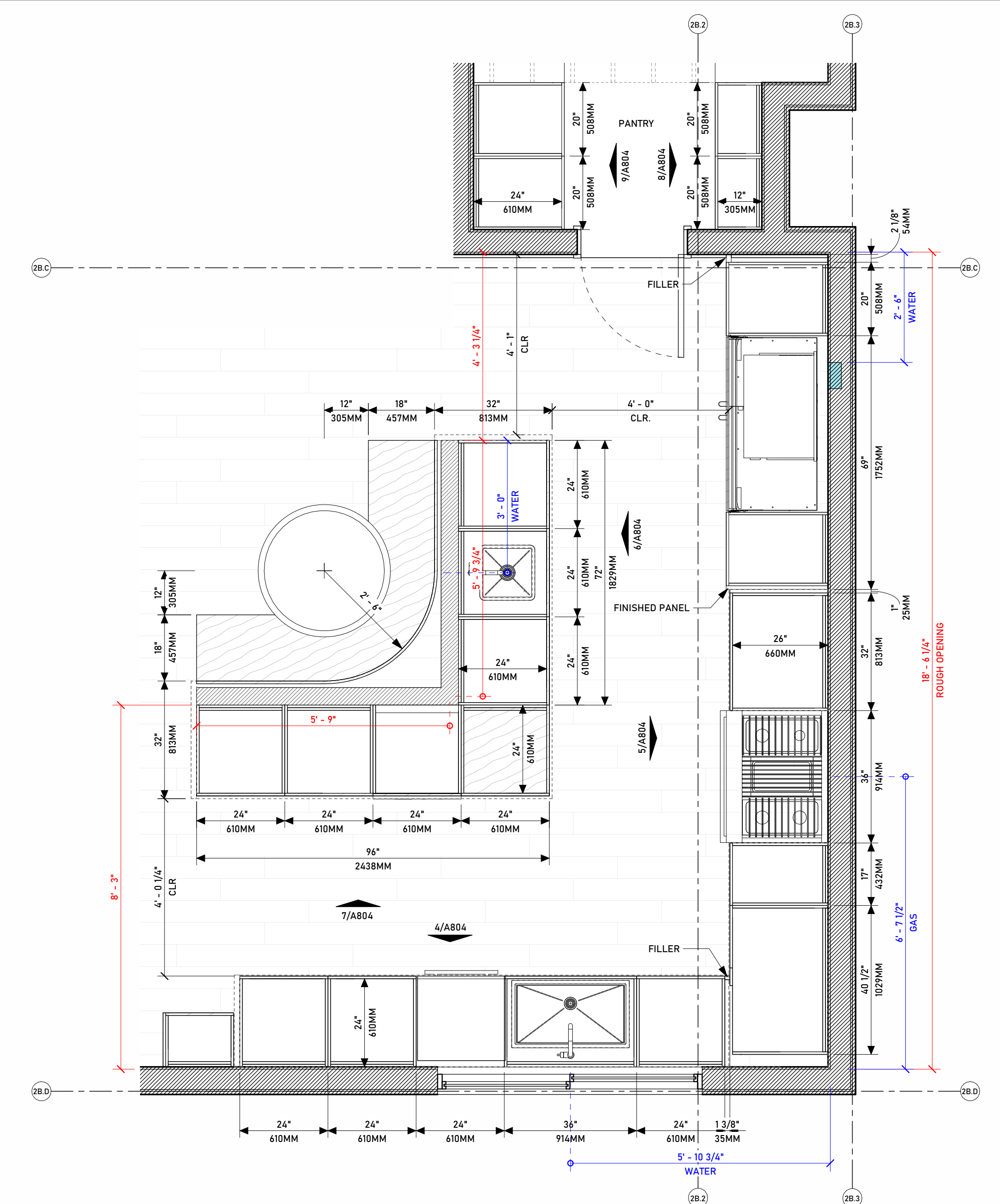
**2B KITCHEN - ELEVATION C - ISLAND SINK SIDE**  
SCALE: 1/2" = 1'-0"  
6  
A804



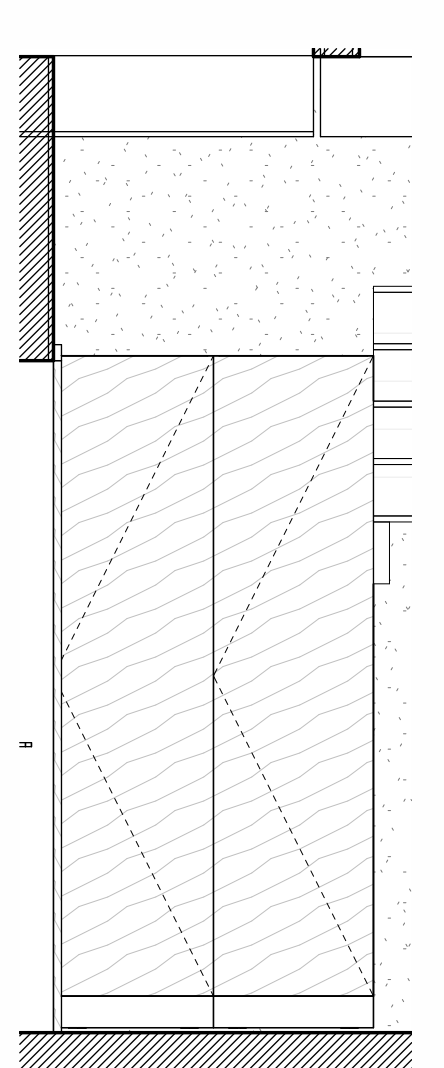
**2B - KITCHEN 3D VIEW B**  
SCALE:  
2  
A804



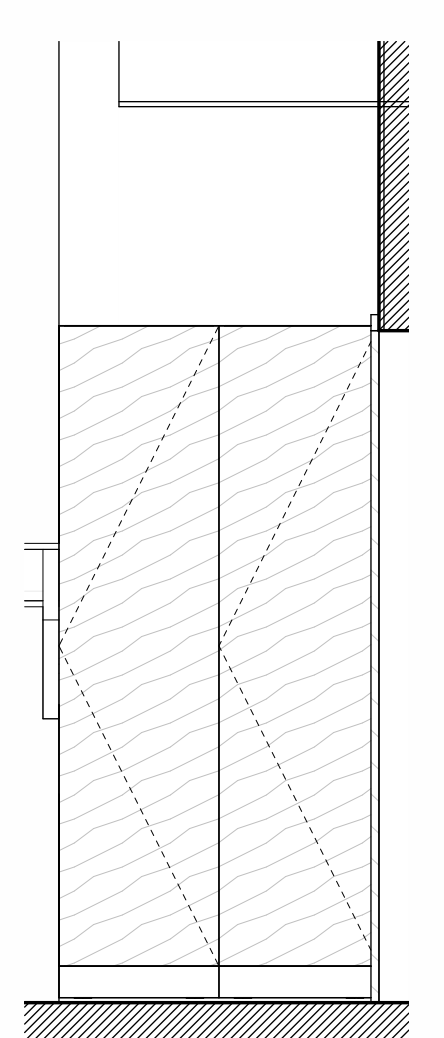
**2B KITCHEN - ELEVATION B - RANGE SIDE**  
SCALE: 1/2" = 1'-0"  
5  
A804



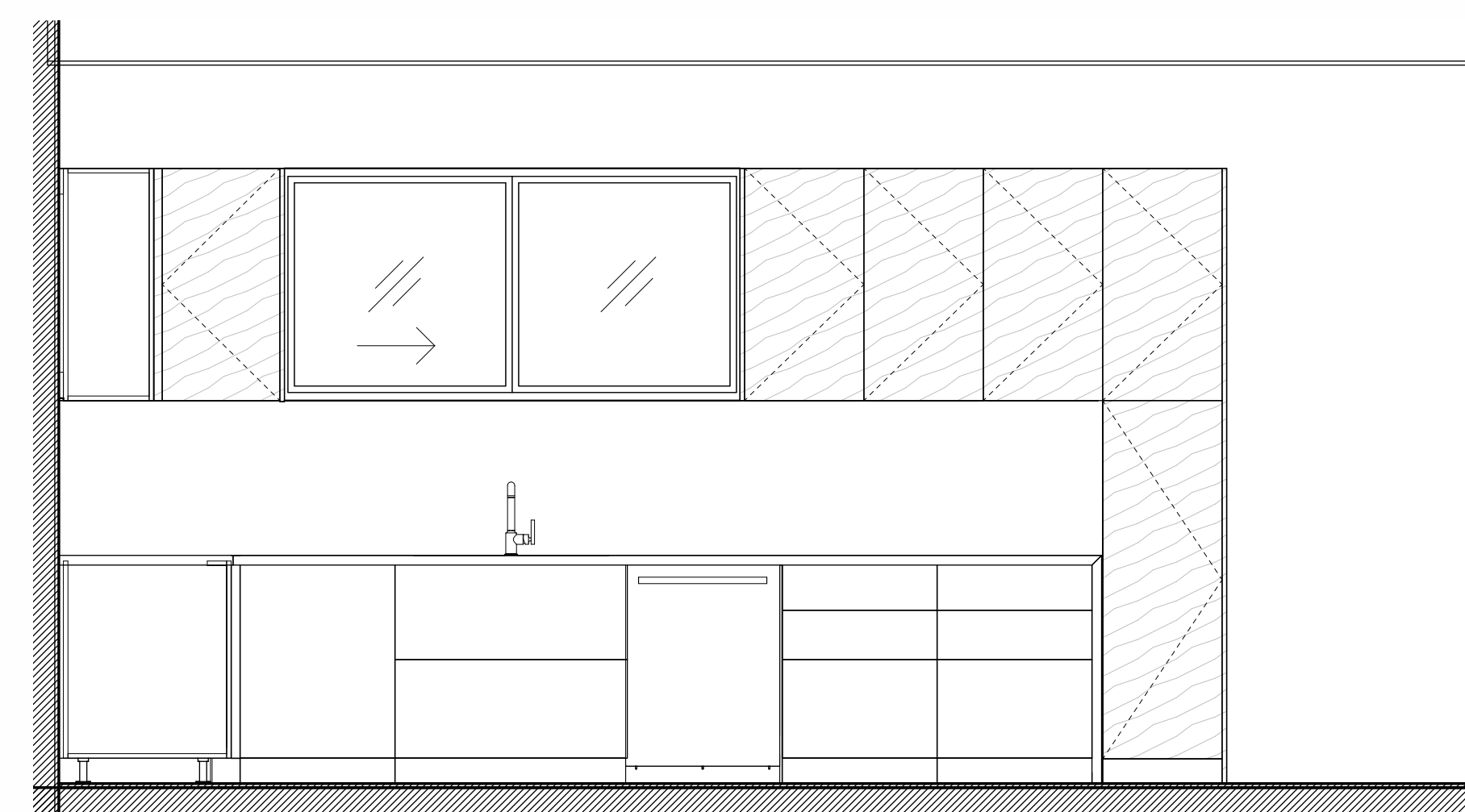
**722 B - ENLARGED KITCHEN PLAN**  
SCALE: 1/2" = 1'-0"  
3  
A804



**2B KITCHEN - PANTRY ELEVATION B**  
SCALE: 1/2" = 1'-0"  
8  
A804



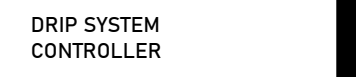
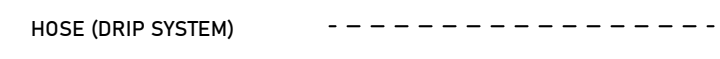
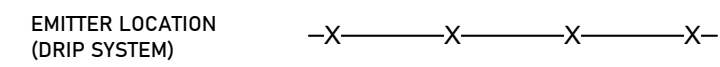
**2B KITCHEN - PANTRY ELEVATION A**  
SCALE: 1/2" = 1'-0"  
9  
A804



**2B KITCHEN - ELEVATION A - SINK SIDE**  
SCALE: 1/2" = 1'-0"  
4  
A804

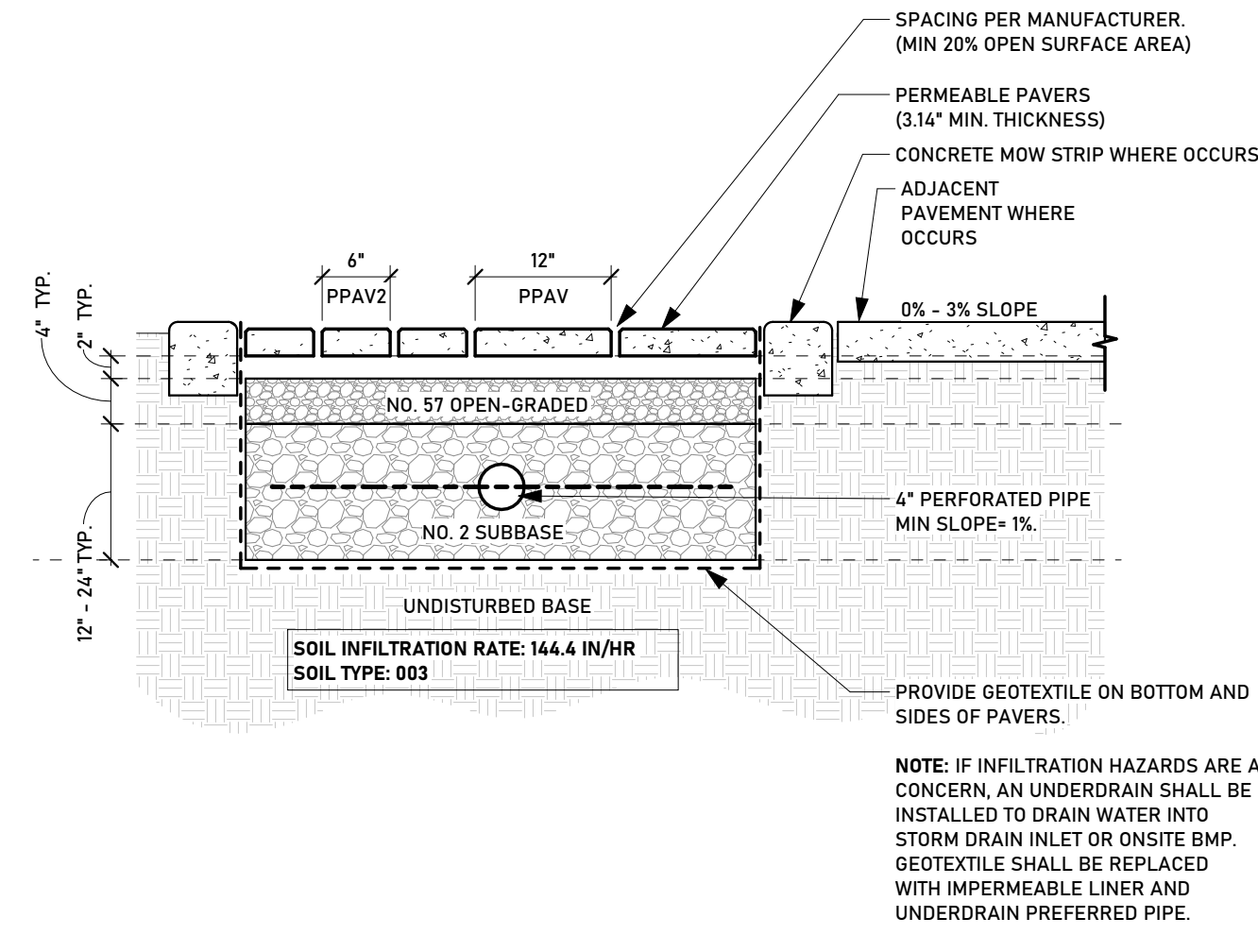
# MWELO CERTIFICATION

- ALL PLANTS MAY BE SUBSTITUTED WITH SIMILAR PLANTS FROM THE HERMOSA BEACH APPROVED TREE AND PLANT LIST.
- FRONT YARD TREE MUST BE PLANTED 5' MIN AWAY FROM EDGE OF SIDEWALK.
- PROVIDE DRIP IRRIGATION TO ALL PLANTS AND PLANTERS.
- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ.FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA.
- INSTALL CLIMATE ADAPTED PLANTS THE REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- A MINIMUM THREE-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.
- TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA.
- TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH.
- IRRIGATION CONTROLLER PROGRAMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- PRESSURE REGULATORS ARE INSTALLED TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
- MANUAL SHUT OFF VALVES ARE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY.
- AREAS LESS THAN TEN (10) FEET IN ANY DIRECTION UTILIZE SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- A MAXIMUM 20% OF LANDSCAPE/HARDSCAPE AREA CAN HAVE HIGH WATER USAGE PLANTS AS DEFINED BY WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) FOR REGION 3.



I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO MWELO

CONTRACTOR / OWNER DATE



## PERMEABLE PAVER DETAIL

SCALE: 3/4" = 1'-0"

**NOTES:**  
 SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 0.3 INCHES PER HOUR). INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY.  
 ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS. SLOPE IS NOT GREATER THAN 3 PERCENT.  
 FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.  
 PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURER'S SPECIFICATIONS. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.  
 SEE PERMEABLE PAVERS FACT SHEET FOR MORE INFORMATION.

## SOFTSCAPE LEGEND

PATTERN	NAME	TOTAL AREA
[Pattern]	DARK MULCH W/ LIVE PLANTING	720 SF
[Pattern]	LIVE GRASS OR TURF	180 SF 180 / (880 * 720) * 100 = 20%
		900 SF TOTAL

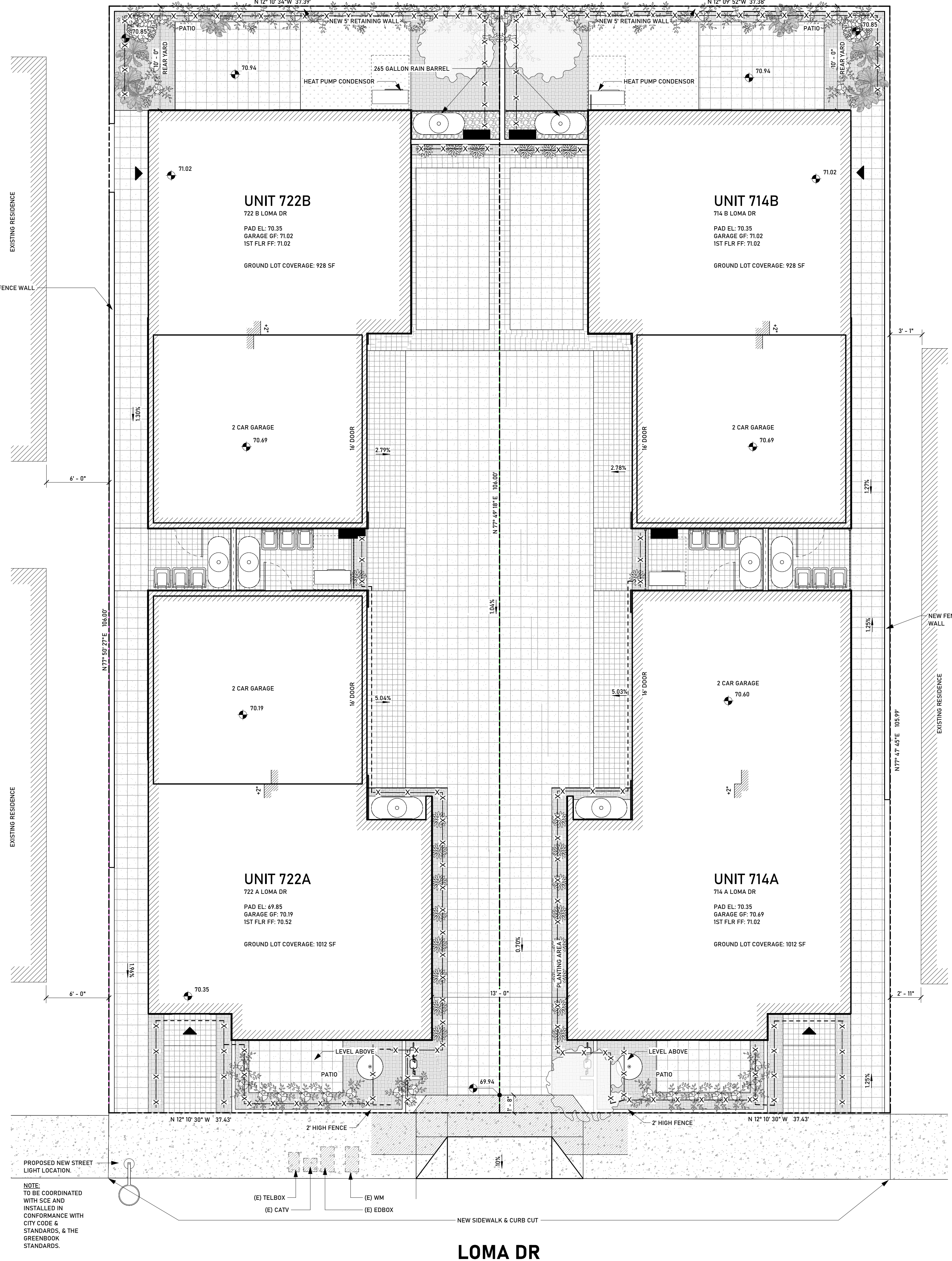
## HARDSCAPE LEGEND

PATTERN	NAME	TOTAL AREA
[Pattern]	CONC2 - CONCRETE - CITY MIX @ SIDEWALK	TBD
[Pattern]	PPAV - 12 x 12 PERVIOUS PAVERS. COLOR TBD. PATTERN TBD	2544 SF
[Pattern]	PPAV2 - 6 x 6 PERVIOUS PAVERS. COLOR TBD. PATTERN TBD	1850 SF
		4414 SF TOTAL

## PLANTING SCHEDULE

TYPE MARK	COMMON NAME	LATIN NAME	MATURE HEIGHT	MAX SPREAD	WATER USAGE	DROUGHT TOLERANT	NATIVE	REMARKS
[Symbol]	[varies]							[varies]

PLANTING SCHEDULE IN PROGRESS



## LOMA DR

LANDSCAPE PLANTING PLAN  
 SCALE: 3/16" = 1'-0"

1  
 L100

BUILDING DEPT STAMP

PLANNING DEPT STAMP

ENG. STAMP

DESIGNER



CONTRACTOR



PROJECT NUMBER: 20250504  
 PROJECT DESIGNER: A. IODA  
 PROJECT ENGINEER: M. NAMVAR  
 DESIGNER SIGNATURE: \_\_\_\_\_

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT PHASE

SCHEMATIC DESIGN SET

CLIENT / PROJECT

MAL LOMA, LLC  
 326 S PACIFIC COAST  
 HIGHWAY #206, REDONDO  
 BEACH, CA 90277

## UNIT NUMBER LOMA DRIVE CONDOS

722 & 714 Loma Drive  
 Hermosa Beach, CA 90254

SHEET NAME

## LANDSCAPE PLANTING PLAN

SHEET NUMBER

L100

PLOT DATE: 10/7/2025 2:17:20 PM