

# TODD/COAKLEY RESIDENCE

Hermosa Beach, California



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**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

## PROJECT DATA

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

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# TODD / COAKLEY RESIDENCE

## Hermosa Beach, California

### PROJECT STATISTICS

#### SITE STATISTICS:

ADDRESS: 960 6TH STREET  
HERMOSA BEACH, CA 90254

APN: 4186-015-007

LOT AREA: 6,538 SF (0.15 ACRES)

LOCAL ZONING: R-2B (LIMITED MULTIPLE FAMILY RESIDENTIAL)

DWELLINGS:  
ALLOWED 2 DWELLINGS  
EXISTING 1 DWELLING  
PROPOSED 2 DWELLINGS

SETBACKS:	REQ'D	EXISTING	PROPOSED
FRONT YARD	5'-0"	11'-2"	11'-2" (no change)
SIDE YARD (EAST)	5'-0"	8'-2"	8'-2" (no change)
SIDE YARD (WEST)	5'-0"	7'-0"	7'-0" (no change)
REAR YARD (SOUTH)	5'-0"	23'-0"	26'-0"

DISTANCE BETWEEN BUILDINGS  
REQUIRED: 6'-0" MINIMUM  
PROPOSED: 9'-6"

OPEN SPACE:  
ALLOWED 600 SF MINIMUM  
300 SF MIN. PER DWELLING  
100 SF MAX. AT ROOF PER DWELLING

EXISTING 1,852 SF (312 SF @ ROOF)  
PROPOSED 1,504 SF (305 SF @ ROOF)

LOT COVERAGE:  
ALLOWED 65% (4,225 SF) MAXIMUM  
EXISTING 45.3% (2,943 SF)  
PROPOSED 49.6% (3,227 SF)

PARKING SPACES:  
REQUIRED (2) OFF-STREET PER DWELLING  
+ (1) GUEST

EXISTING 4 SPACES (2 GARAGE, 2 DRIVEWAY)  
PROPOSED 5 SPACES (4 GARAGE, 1 DRIVEWAY)

#### BUILDING STATISTICS:

CONSTRUCTION TYPE TYPE V-B  
FIRE SPRINKLERS REQ'D? YES, NFPA-13D

NUMBER OF STORIES:  
ALLOWED NO RESTRICTION  
EXISTING 2 STORIES  
PROPOSED 2 STORIES @ DWELLING #1  
3 STORIES @ DWELLING #2

BUILDING HEIGHT:  
ALLOWED 30'-0" MAXIMUM  
EXISTING 29'-0"  
PROPOSED 29'-0" (no change)

SEE SHEET A0.02 FOR CRITICAL POINTS CALCULATIONS

BUILDING AREA:	EXISTING	PROPOSED	ADDED
GARAGE	642 SF	990 SF	+348 SF
<b>DWELLING #1 (REMODEL)</b>			
1ST LEVEL	1,412 SF	1,388 SF	-24 SF
2ND LEVEL	2,045 SF	1,256 SF	-789 SF
3RD LVL (ROOF)	0 SF	0 SF	+0 SF
TOTAL LIVING	3,457 SF	2,644 SF	-813 SF
<b>DWELLING #2 (NEW ADDITION)</b>			
2ND LVL PATIOS	580 SF	125 SF	-455 SF
3RD LVL PATIOS	312 SF	100 SF	-212 SF
TOTAL PATIOS	798 SF	434 SF	-667 SF
# BEDROOMS	4 BEDRMS	4 BEDRMS	+0
# BATHROOMS	4 BATHS	3.5 BATHS	-0.5

BUILDING AREA:	EXISTING	PROPOSED	ADDED
<b>DWELLING #2 (NEW ADDITION)</b>			
1ST LEVEL		99 SF	
2ND LEVEL		1,124 SF	
3RD LEVEL		589 SF	
TOTAL LIVING		1,812 SF	
<b>DWELLING #2 (NEW ADDITION)</b>			
2ND LVL PATIOS		235 SF	
3RD LVL PATIOS		0 SF	
TOTAL PATIOS		235 SF	
# BEDROOMS		1 BEDROOM	
# BATHROOMS		1.5 BATHROOMS	

### PROJECT DESCRIPTION

THIS PROJECT PROPOSES THE RENOVATION AND EXPANSION OF THE EXISTING SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE/STUDIO WORKSHOP TO TWO SEPARATE SINGLE FAMILY RESIDENCES (DETACHED DUPLEX) AS ALLOWED PER THIS R-2B ZONING.

SCOPE INCLUDES DEMOLITION OF THE EXISTING DWELLING; NEW FOUNDATION AND FRAMING, PLUMBING, HVAC, ELECTRICAL, AND LIGHTING FOR DWELLING #1 (REMODEL/EXPANSION) AND DWELLING #2 (ADDITION/CONVERSION FROM EXISTING WORKSHOP OVER GARAGE).

### SHEET INDEX

A0.00	COVER SHEET
A0.01	PROJECT DATA
A0.02	CRITICAL HEIGHT POINTS
A0.10	LOT COVERAGE & OPEN SPACE DIAGRAMS
A0.11	LOT COVERAGE & OPEN SPACE DIAGRAMS
A1.00	EXISTING SITE PLAN
A1.01	PROPOSED SITE PLAN
A1.02	PROPOSED LANDSCAPE PLAN
A1.10	EXISTING / DEMOLITION PLAN: 1ST FLOOR
A1.11	PROPOSED PLAN: 1ST FLOOR
A1.20	EXISTING / DEMOLITION PLAN: 2ND FLOOR
A1.21	PROPOSED PLAN: 2ND FLOOR
A1.30	EXISTING / DEMOLITION PLAN: ROOF DECK
A1.31	PROPOSED PLAN: ROOF DECK & LOFT
A1.32	PROPOSED ROOF PLAN
A2.00	CONCEPTUAL RENDERING
A2.01	CONCEPTUAL RENDERING
A2.02	CONCEPTUAL RENDERING
A2.03	CONCEPTUAL RENDERING
A2.04	CONCEPTUAL RENDERING
A3.00	EXTERIOR ELEVATIONS
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A3.03	EXTERIOR ELEVATIONS
A4.00	COLOR & MATERIAL BOARD
SHT 1	SURVEY & TOPOGRAPHICAL MAP

#### CIVIL SHEETS

C-1	TITLE SHEET
C-2	GRADING & DRAINAGE PLAN
C-3	GRADING & DRAINAGE PLAN
C-4	PUBLIC IMPROVEMENTS
C-5	DETAILS
C-6	DRIVEWAY PROFILES
C-7	EROSION CONTROL PLAN

### PROJECT TEAM

#### OWNER

**TODD / COAKLEY FAMILY**  
ADDRESS: 960 6TH STREET  
HERMOSA BEACH, CA 90254

CONTACT: DUSTIN TODD  
PHONE: (805) 215-8103  
EMAIL: todd.dustin@gmail.com

#### ARCHITECT

**GERI OOI SANDAHL ARCHITECT**  
ADDRESS: 4328 SE CLINTON STREET  
PORTLAND, OREGON 97206

CONTACT: GERI OOI SANDAHL  
PHONE: (408) 887-2596  
EMAIL: geri.ooi84@gmail.com

#### CIVIL ENGINEER

**PERU CONSULTANTS, INC.**  
ADDRESS: 5061 ROCKVALLEY RD  
RANCHO PALOS VERDES, CA 90275

CONTACT: CHRISTIAN PEREZ  
PHONE: (424) 404-7692 / (310) 270-0811  
EMAIL: peruconsultants@live.com

#### STRUCTURAL ENGINEER

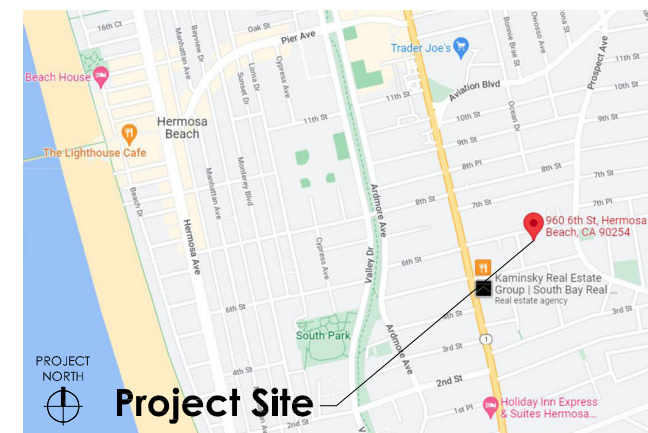
**T.B.D.**  
CONTACT:

#### SURVEYOR

**DENN ENGINEERS**  
ADDRESS: 3914 DEL AMO BLVD, SUITE 921  
TORRANCE, CA 90503

CONTACT: MARK CONRAD  
PHONE: (310) 542-9433  
EMAIL: mconrad@denn.com

### VICINITY MAP



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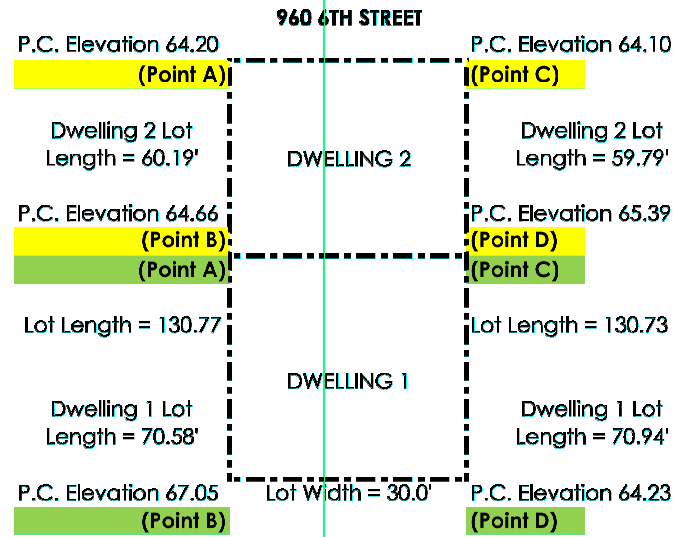
**TODD/COAKLEY  
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5	10/20/2025

Sheet

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Dotted Lines = Property Lines

**Critical Height Calculation For: 960 6TH STREET - DWELLING 2**

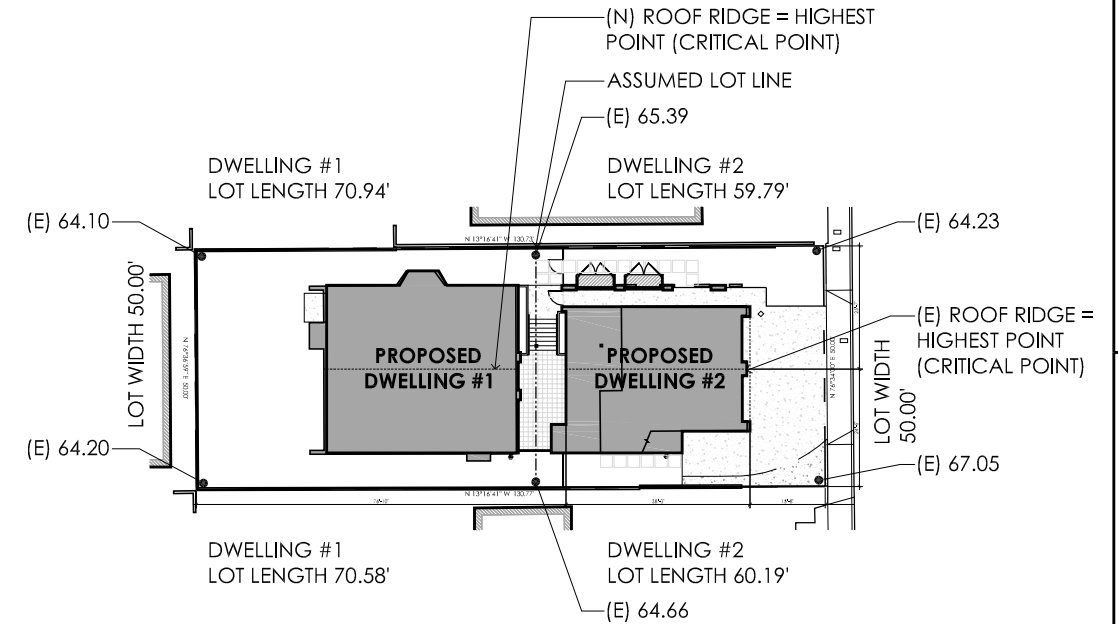
Elev. Pt. A	64.2
Elev. Pt. B	64.66
Length A-B	60.19
Length A-AB'	17
Elev. AB':	64.329922
Elev. Pt. C	65.39
Elev. Pt. D	64.23
Length C-D	59.79
Length C-CD'	17
Elev. CD':	65.060179
Length AB'-CD'	30
Length AB'-CP1	25.5
Elev. CP1:	64.95064
Height Limit	30
Max. Ht. @ CP1:	94.95
Prop. Ht. @ CP1:	92

Lowest property corner (PC) elevation, this elevation will be reference as A from hereon  
 PC elevation of corner at end of length, this elevation point will be reference as B  
 Distance from A to B (lot length)  
 Distance from A to Critical Point along Line AB  
 PC elevation of corner across width of A, this elevation point will be reference as C from hereon  
 PC elevation of corner at end of length of C, this elevation point will be reference as D  
 Distance from C to D (lot length)  
 Distance from C to Critical Point along Line CD  
 Lot width at Critical Point  
 Distance from Line AB to Critical Point (width)  
 Allowable height limit in the R-3 zone (25' limit for R-1 zone)

**Critical Height Calculation For: 960 6TH STREET - DWELLING 1**

Elev. Pt. A	64.66
Elev. Pt. B	67.05
Length A-B	70.58
Length A-AB'	3.5
Elev. AB':	64.778518
Elev. Pt. C	64
Elev. Pt. D	64.23
Length C-D	59.79
Length C-CD'	3.5
Elev. CD':	64.013464
Length AB'-CD'	30
Length AB'-CP1	25.5
Elev. CP1:	64.128222
Height Limit	30
Max. Ht. @ CP1:	94.13
Prop. Ht. @ CP1:	88

Lowest property corner (PC) elevation, this elevation will be reference as A from hereon  
 PC elevation of corner at end of length, this elevation point will be reference as B  
 Distance from A to B (lot length)  
 Distance from A to Critical Point along Line AB  
 PC elevation of corner across width of A, this elevation point will be reference as C from hereon  
 PC elevation of corner at end of length of C, this elevation point will be reference as D  
 Distance from C to D (lot length)  
 Distance from C to Critical Point along Line CD  
 Lot width at Critical Point  
 Distance from Line AB to Critical Point (width)  
 Allowable height limit in the R-3 zone (25' limit for R-1 zone)



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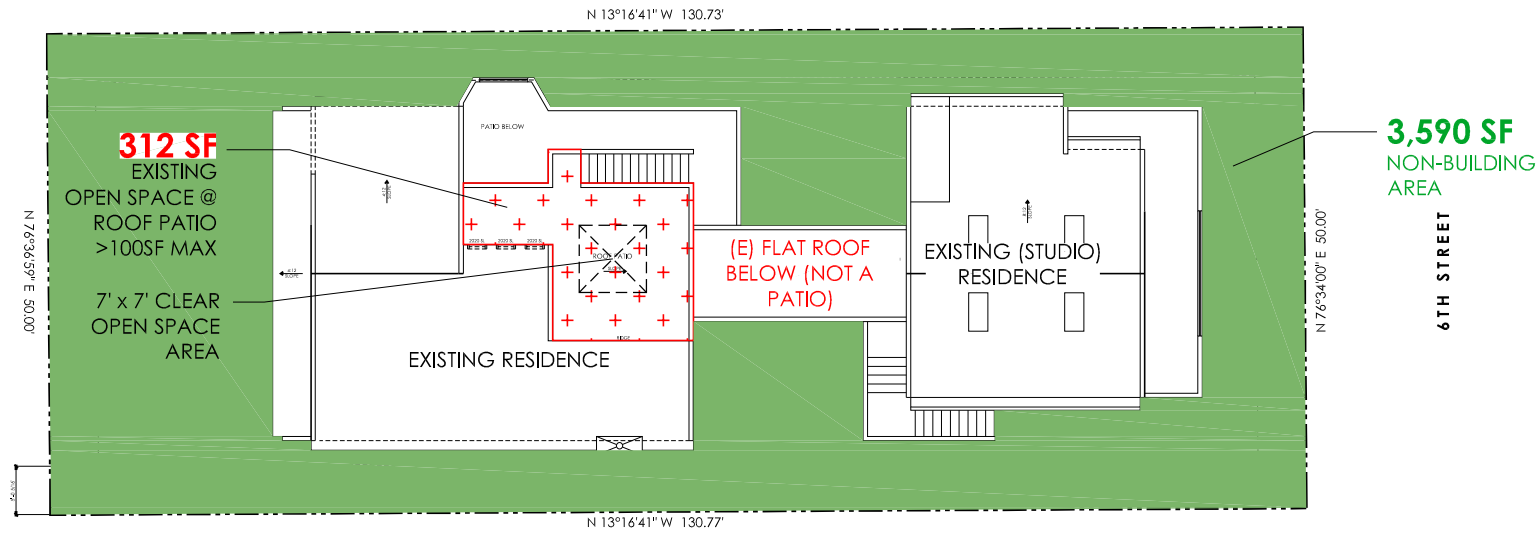
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**CRITICAL  
 HEIGHT POINTS**

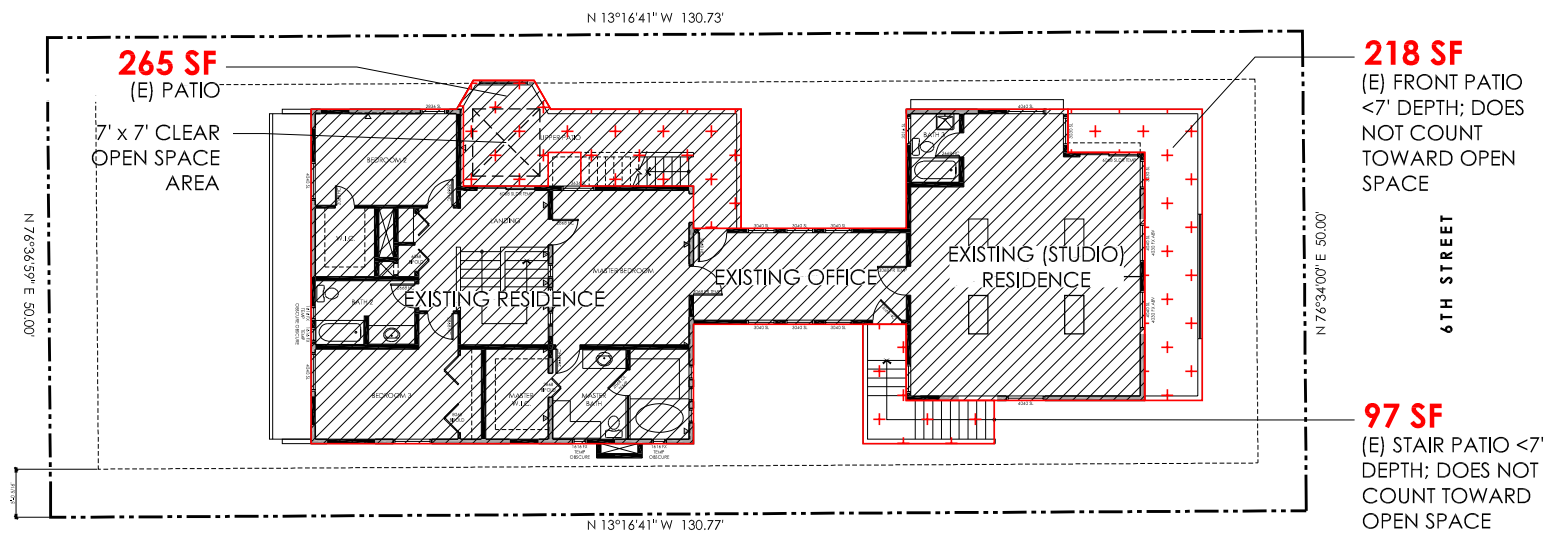
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2	11/25/2024
3	07/04/2025
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Sheet

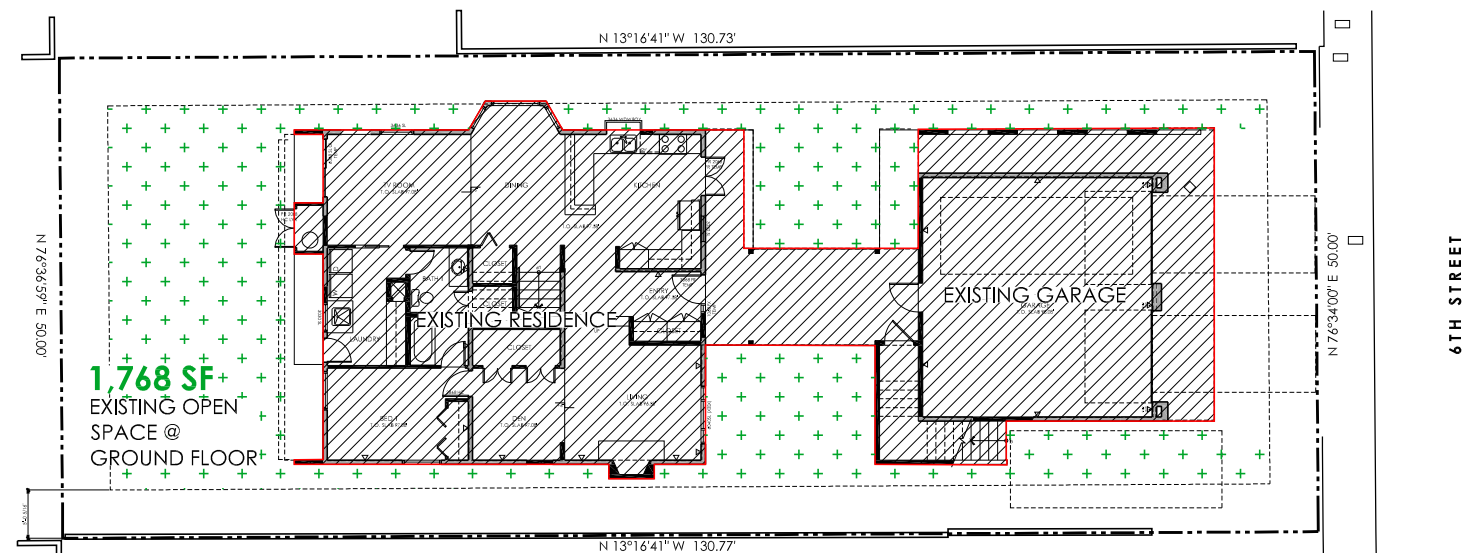
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**LOT COVERAGE & OPEN SPACE DIAGRAM - EXISTING ROOF**



**LOT COVERAGE & OPEN SPACE DIAGRAM - EXISTING 2ND FLOOR**



**LOT COVERAGE & OPEN SPACE DIAGRAM - PROPOSED GROUND FLOOR**

**LOT AREA** 6,500 SF

<b>LOT COVERAGE</b>	
ALLOWED MAXIMUM	4,225 SF (65%)
EXISTING	2,910 SF (44.8%)
PROPOSED	3,210 SF (49.3%)

**OPEN SPACE**  
 TOTAL REQUIRED MINIMUM 600 SF  
 (REQ'D PER DWELLING 300 SF)  
 MAX. ROOF PER DWELLING 100 SF

<b>EXISTING OPEN SPACE</b>	
GROUND FLOOR	1,768 SF
2ND FLOOR PATIOS	265 SF
ROOF PATIOS	312 SF
<b>TOTAL EXISTING</b>	<b>2,345 SF</b>

**LOT COVERAGE & OPEN SPACE DIAGRAMS - EXISTING**

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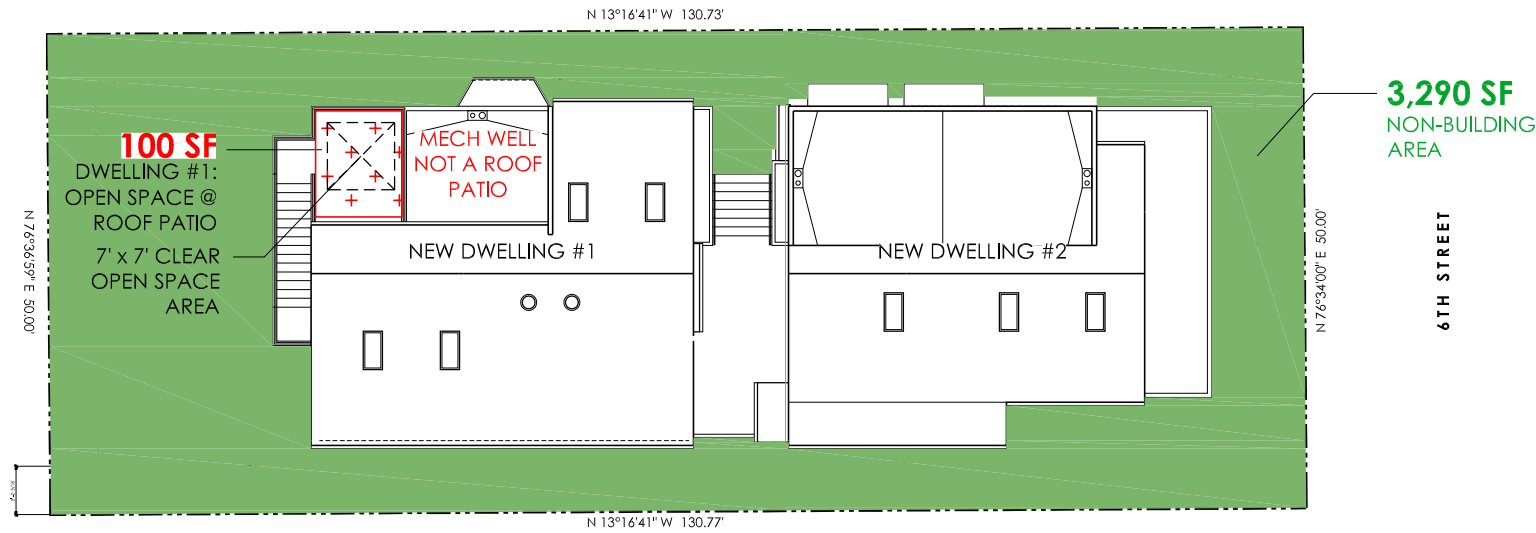
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**LOT COVERAGE & OPEN SPACE DIAGRAMS-EXISTING**

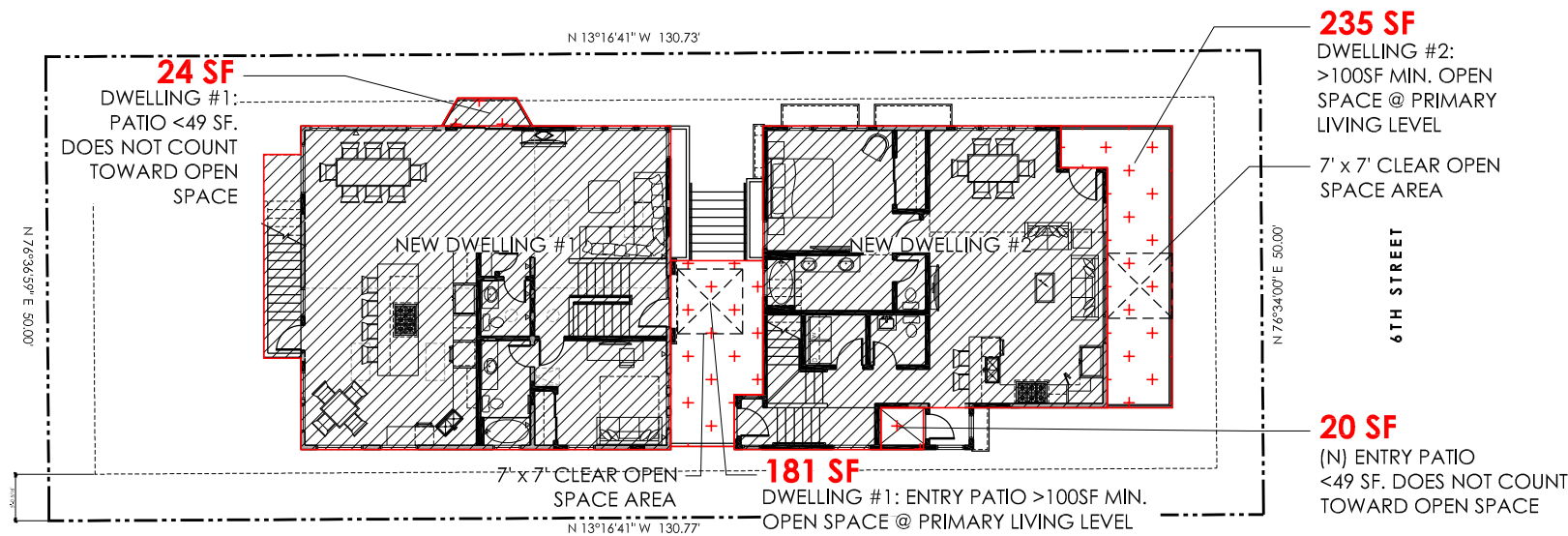
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2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

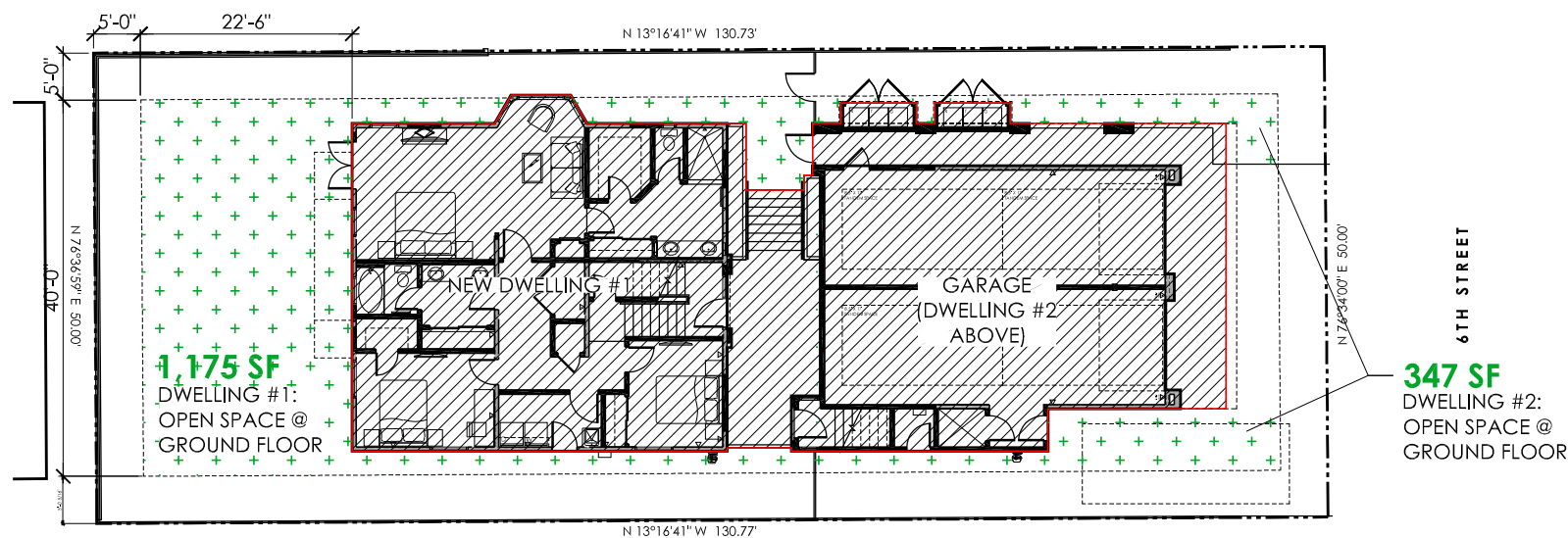
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**LOT COVERAGE & OPEN SPACE DIAGRAM - PROPOSED ROOF**



**LOT COVERAGE & OPEN SPACE DIAGRAM - PROPOSED 2ND FLOOR ("PRIMARY LIVING" LEVEL)**



**LOT COVERAGE & OPEN SPACE DIAGRAM - PROPOSED GROUND FLOOR**

**LOT AREA** 6,500 SF

<b>LOT COVERAGE</b>	
ALLOWED MAXIMUM	4,225 SF (65%)
EXISTING	2,910 SF (44.8%)
PROPOSED	3,210 SF (49.3%)

<b>OPEN SPACE</b>	
TOTAL REQUIRED MINIMUM	600 SF
(REQ'D PER DWELLING)	300 SF
MAX. ROOF PER DWELLING	100 SF

<b>EXISTING OPEN SPACE</b>	
GROUND FLOOR	1,768 SF
2ND FLOOR PATIOS	265 SF
ROOF PATIOS	312 SF
<b>TOTAL EXISTING</b>	<b>2,345 SF</b>

<b>PROPOSED OPEN SPACE</b>	
<b>DWELLING #1</b>	
GROUND FLOOR	1,175 SF
2ND FLOOR	181 SF
ROOF PATIO	100 SF
<b>TOTAL DWELLING #1</b>	<b>1,456 SF &gt; 300 SF COMPLIES</b>

<b>DWELLING #2</b>	
GROUND FLOOR	347 SF
2ND FLOOR	235 SF
ROOF PATIO	0 SF
<b>TOTAL DWELLING #2</b>	<b>582 SF &gt; 300 SF COMPLIES</b>

**LOT COVERAGE & OPEN SPACE DIAGRAMS - PROPOSED**

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**LOT COVERAGE & OPEN SPACE DIAGRAMS- PROPOSED**

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**LANDSCAPING**

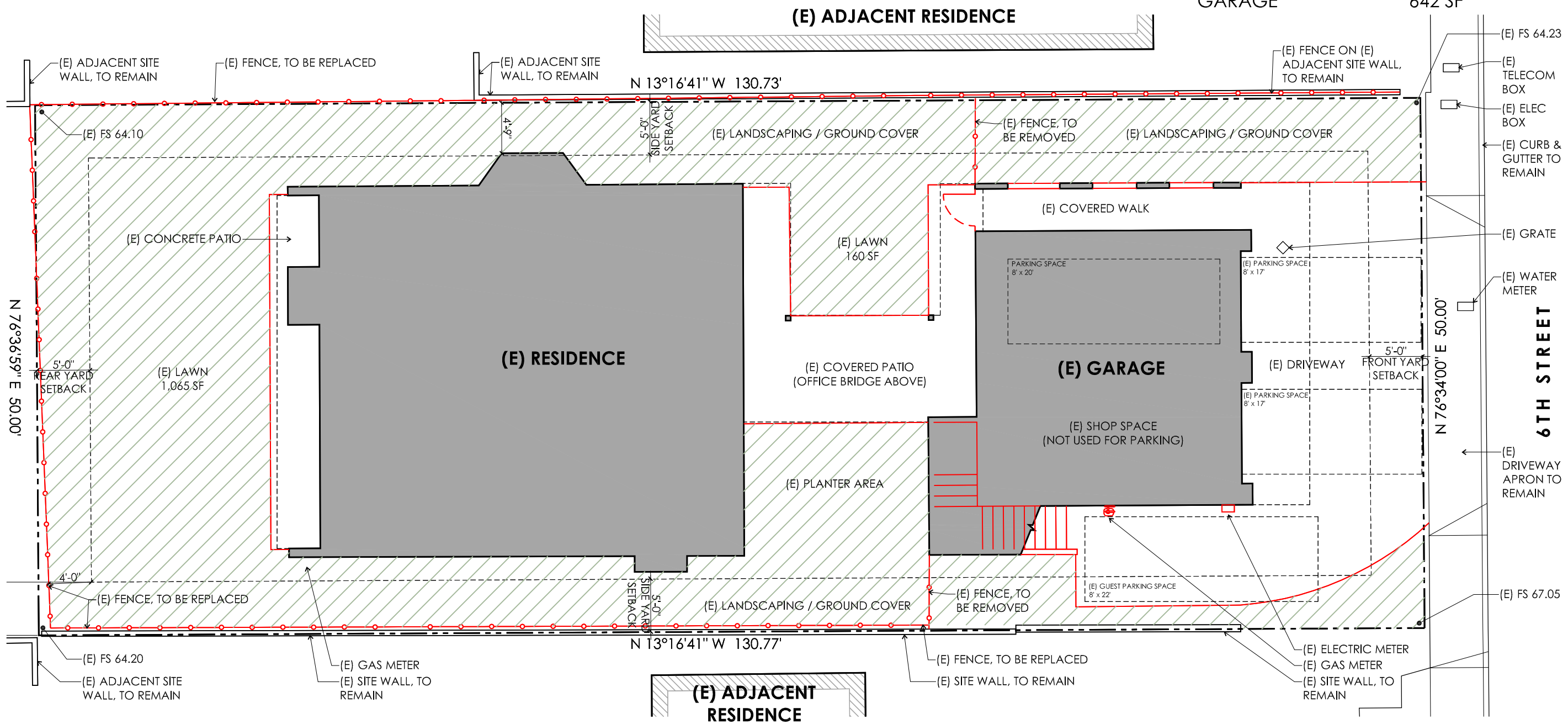
TURF	1,225 SF
GROUND COVER	1,646 SF
TOTAL	2,871 SF

**EXISTING RESIDENCE**

LOWER FLOOR	1,412 SF
UPPER FLOOR	1,106 SF
OFFICE BRIDGE	222 SF
STUDIO	717 SF
TOTAL	3,457 SF

2ND FLR PATIO	265 SF
2ND FLR SIDE STR PATIO	97 SF
2ND FLR FRONT PATIO	218 SF
ROOF PATIO	312 SF

GARAGE 642 SF



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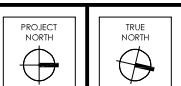
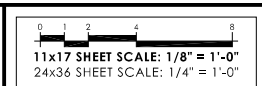
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**EXISTING SITE PLAN**

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1	07/22/2024
2	11/25/2024
3	07/04/2025
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5	10/20/2025

**EXISTING SITE PLAN**



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**MAIN RESIDENCE (DWELLING #1)**

LOWER FLOOR	1,388 SF
UPPER FLOOR	1,256 SF
TOTAL	2,644 SF

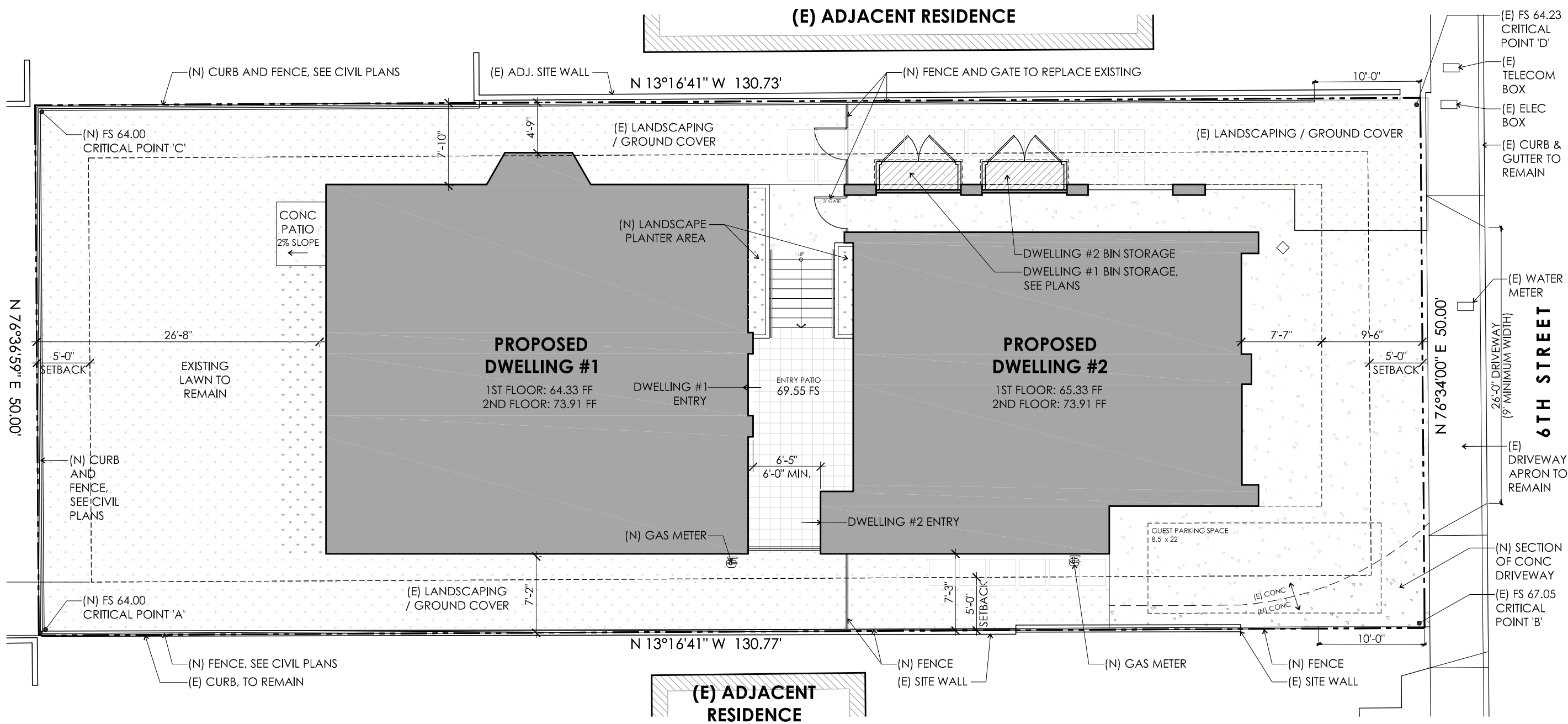
ENTRY PATIO	101 SF
2ND FLR SMALL PATIO	24 SF
ROOF PATIO	100 SF

**SECOND RESIDENCE (DWELLING #2):**

CARRIAGE UNIT	1,175 SF
LOFT	225 SF
TOTAL	1,400 SF

ENTRY PATIO	20 SF
FRONT PATIO	235 SF

GARAGE	1,054 SF
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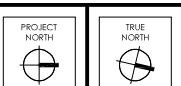
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**PROPOSED SITE PLAN**

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**PROPOSED SITE PLAN**

11x17 SHEET SCALE: 1" = 10'-0"  
 24x36 SHEET SCALE: 1" = 5'-0"



**A1.01**

**I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.**

**NOTES:**

1. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
2. AT TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
3. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6-INCHES INTO THE SOIL.

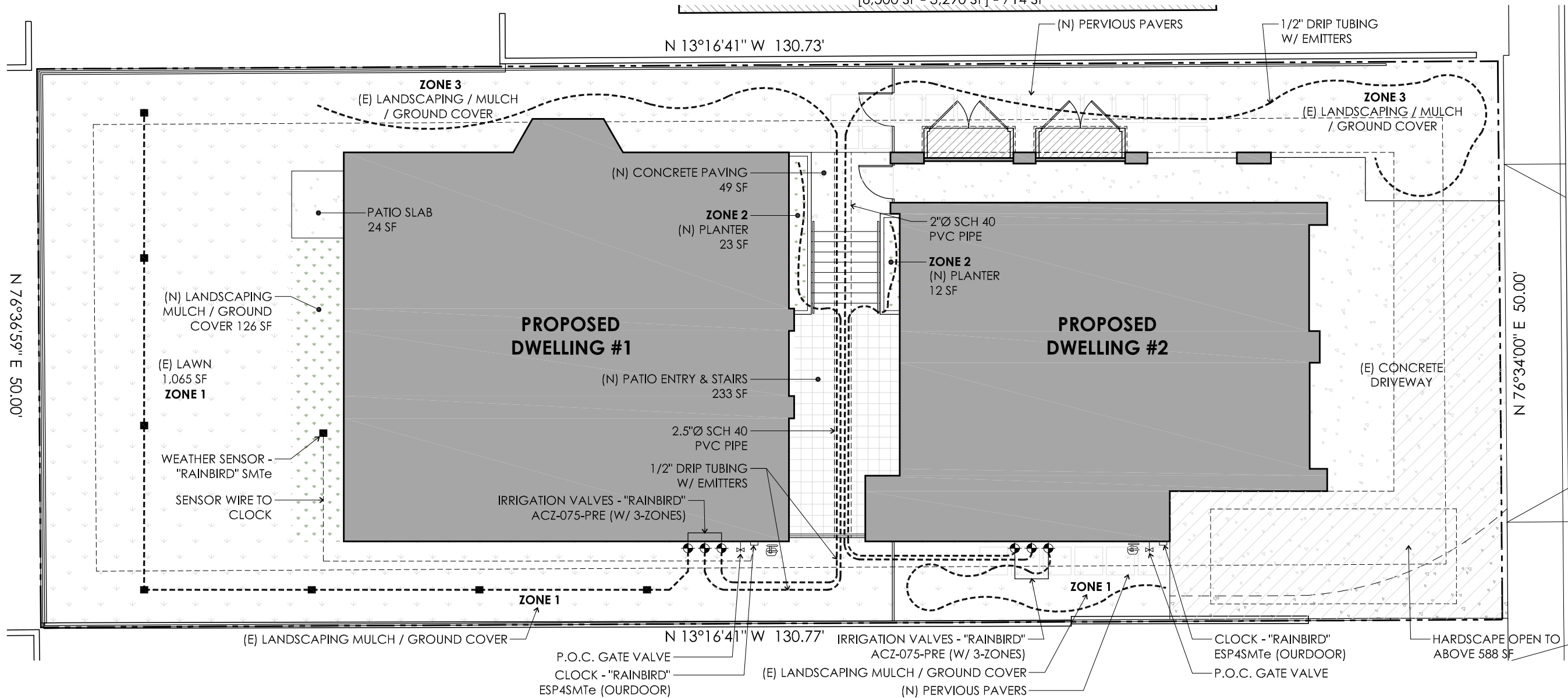
**LANDSCAPING DATA**

PROJECT TYPE: NEW CONSTRUCTION  
 APPLICANT: GERI OOI SANDAHL, ARCHITECT  
 WATER SUPPLY TYPE: POTABLE  
 WATER SUPPLIER: CITY OF HERMOSA BEACH

TOTAL LANDSCAPE AREA: **2,625 SF**  
 NEW / REHABILITATED LANDSCAPING 161 SF <500 SF\*  
 EXISTING LANDSCAPING 2,464 SF  
 \*NEW OR REHABILITATED AGGREGATE LANDSCAPE AREA LESS THAN 500 SF IS EXEMPT FROM MWEO REQUIREMENTS

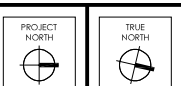
PERMEABILITY CALCULATIONS:  
 REQUIRED PERMEABLE AREA: 1,645 SF MIN. REQUIRED  
 PER HBMC 8.44.095(F)(1): MIN. PERMEABLE SUFACES = [LOT AREA - BUILDING SF] x 50% = 3,290 SF x 50%

PROPOSED PERMEABLE AREA: 2,576 SF PROVIDED  
 [LOT AREA - BUILDING SF] - HARDSCAPE AREA  
 [6,500 SF - 3,290 SF] - 714 SF



**PROPOSED LANDSCAPING PLAN**

11x17 SHEET SCALE: 1" = 10'-0"  
 24x36 SHEET SCALE: 1" = 5'-0"



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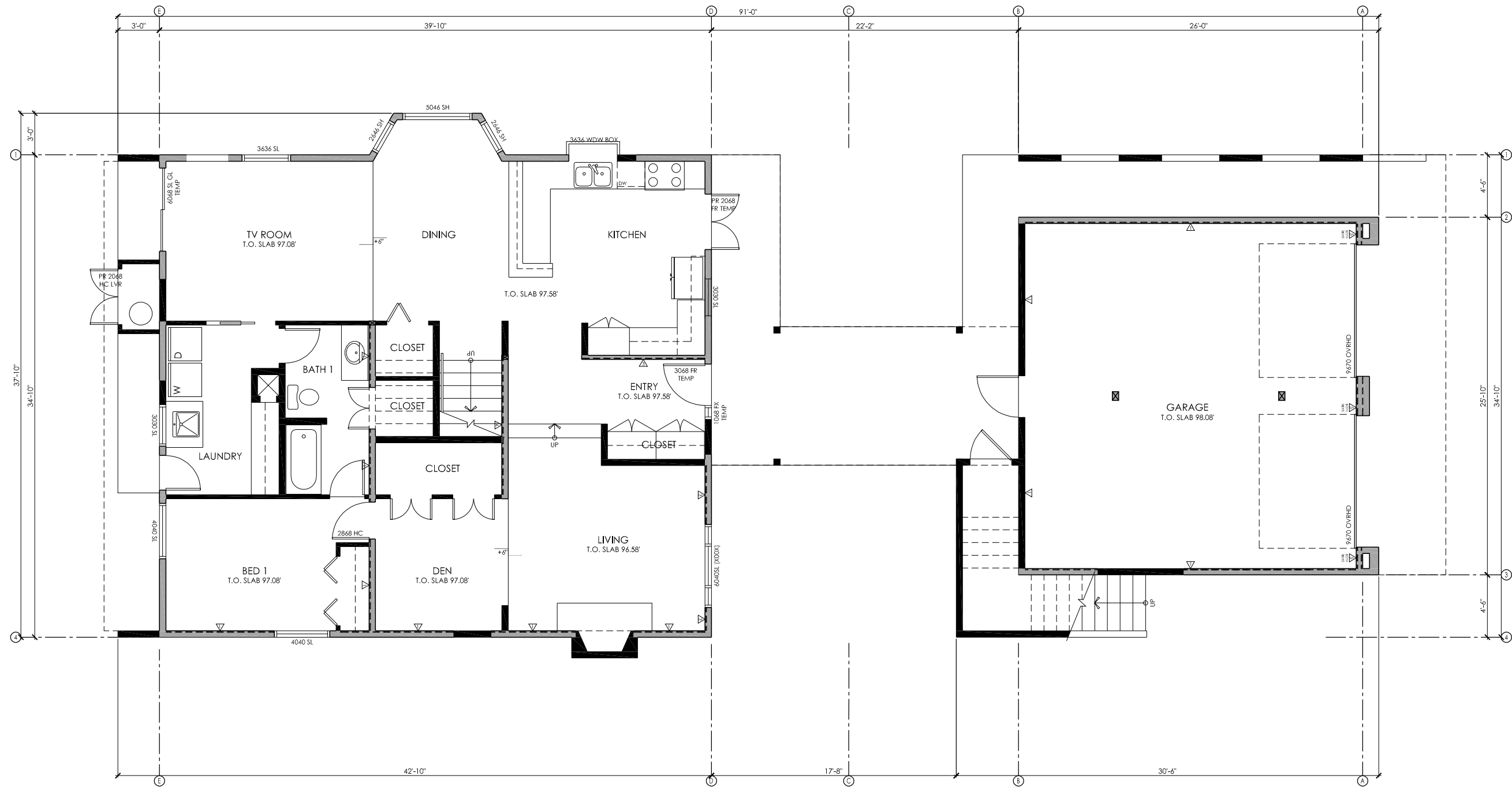
**PROPOSED LANDSCAPING PLAN**

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**A1.02**





**EXISTING / DEMO PLAN: FIRST FLOOR**



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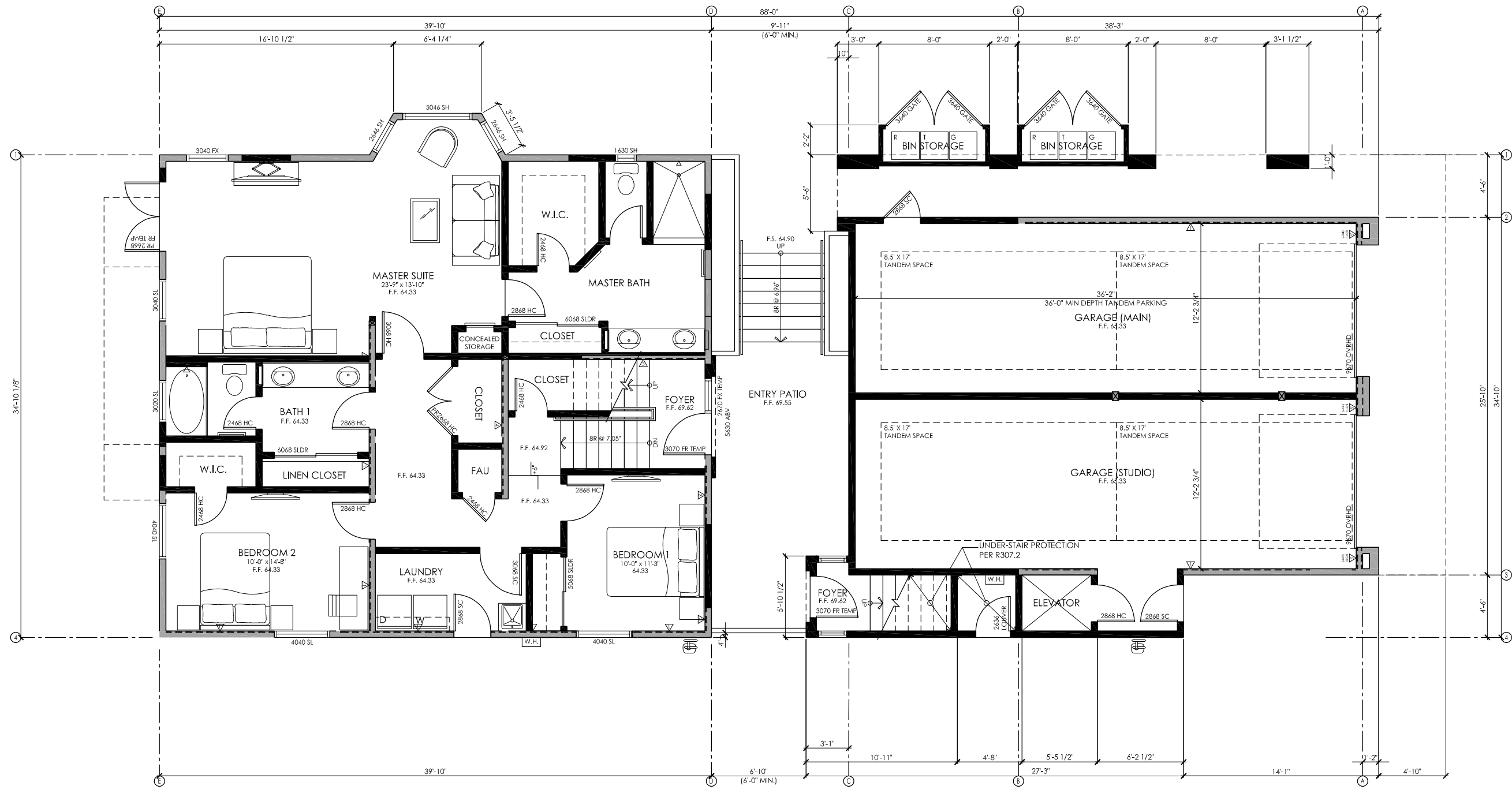
**Dustin Todd**  
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 (805) 215-8103  
 todd.dustin@gmail.com

**TODD/COAKLEY RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**PROPOSED PLAN FIRST FLOOR**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

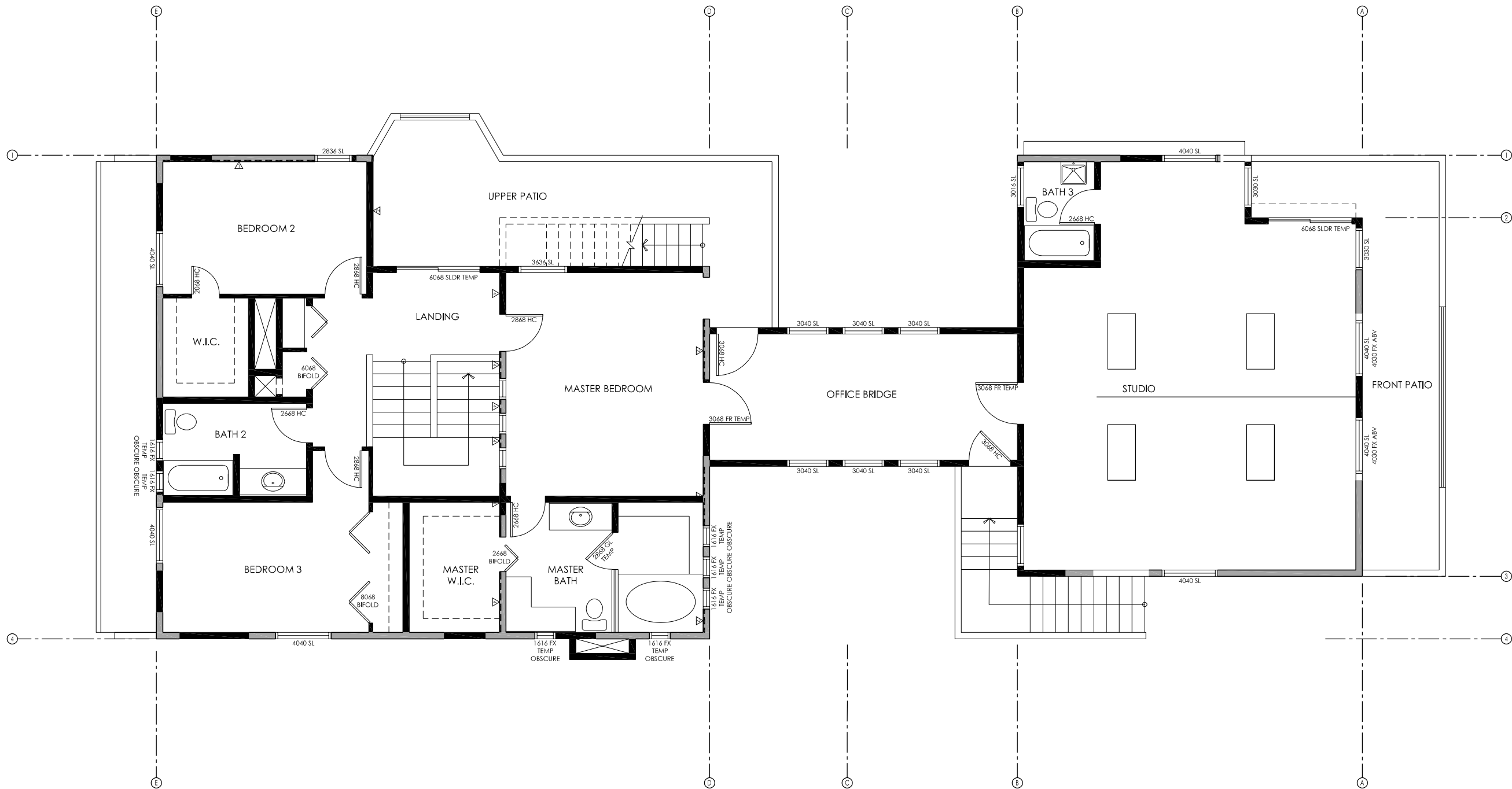
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**A1.11**



**PROPOSED PLAN: FIRST FLOOR**

11x17 SHEET SCALE: 1/8" = 1'-0"  
 24x36 SHEET SCALE: 1/4" = 1'-0"





**EXISTING / DEMO PLAN: SECOND FLOOR**



Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

**A1.20**

**TODD/COAKLEY  
RESIDENCE**  
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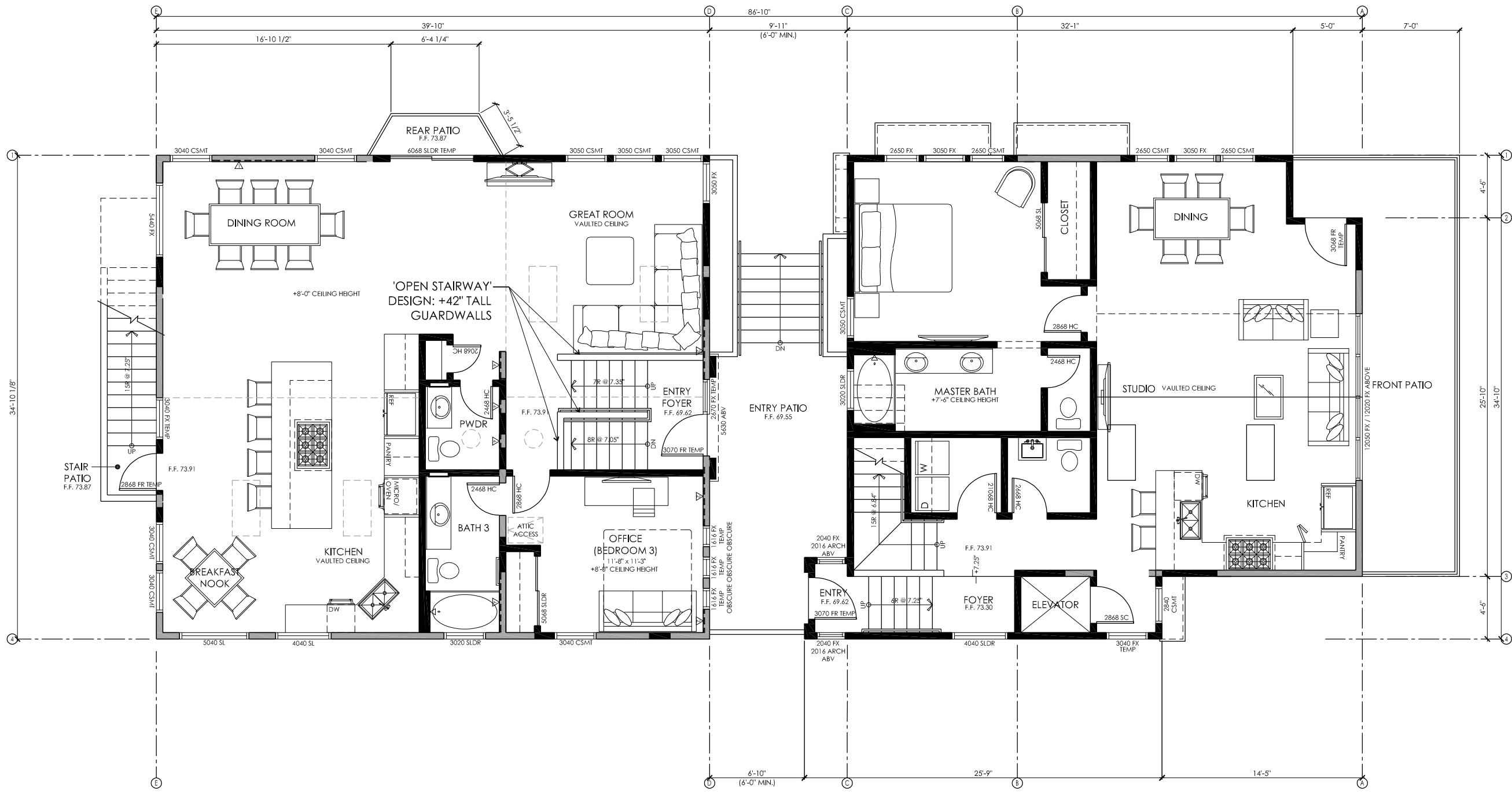
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**TODD/COAKLEY RESIDENCE**  
 960 6th Street  
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**PROPOSED PLAN SECOND FLOOR**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

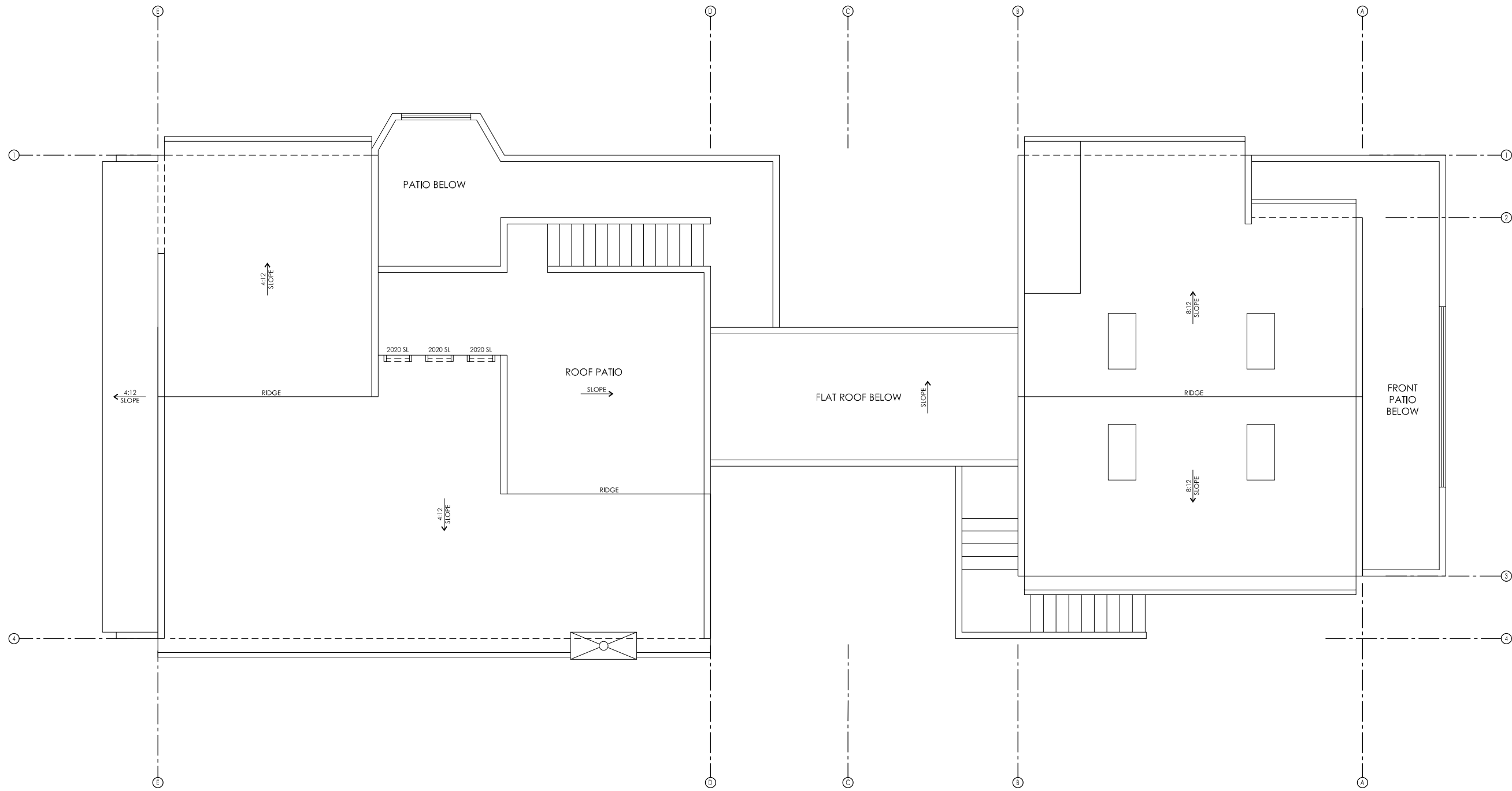
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**A1.21**



**PROPOSED PLAN: SECOND FLOOR**

11x17 SHEET SCALE: 1/8" = 1'-0"  
 24x36 SHEET SCALE: 1/4" = 1'-0"





**EXISTING / DEMO PLAN: ROOF DECK**

0 1 2 4 8  
 11x17 SHEET SCALE: 1/8" = 1'-0"  
 24x36 SHEET SCALE: 1/4" = 1'-0"



Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

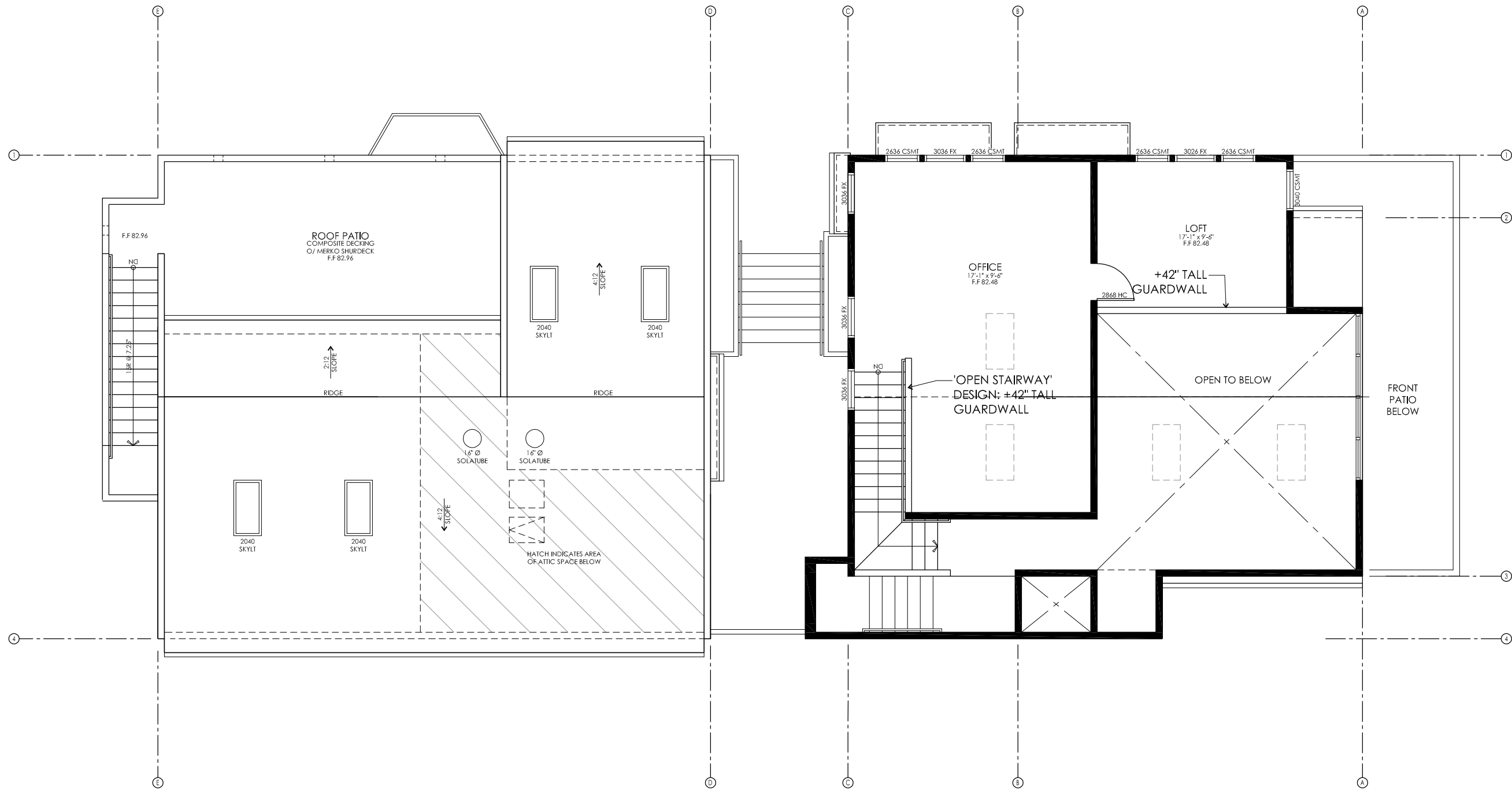
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**PROPOSED PLAN: ROOF DECK & LOFT LEVEL**



Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

**A1.31**

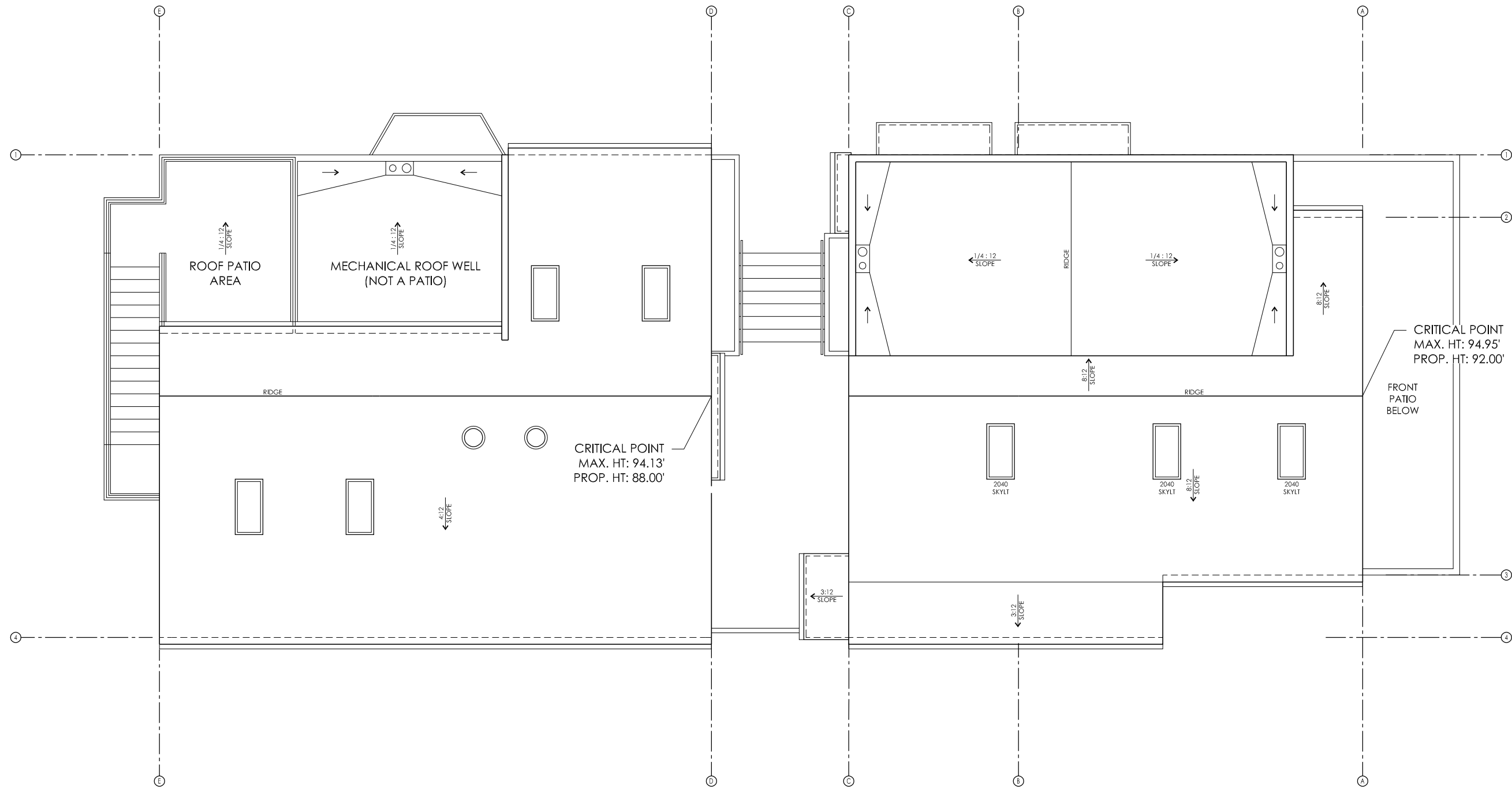
**TODD/COAKLEY  
RESIDENCE**  
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**CRITICAL HEIGHT CALCULATIONS**  
SEE SHEET A0.02



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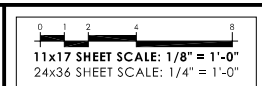
**TODD/COAKLEY RESIDENCE**  
960 6th Street  
Hermosa Beach, California

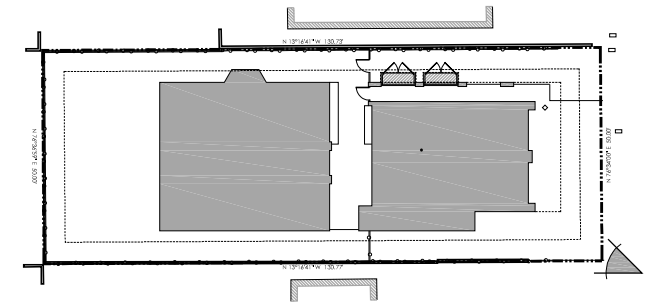
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Rev	Date
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2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

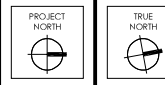
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**PROPOSED ROOF PLAN**



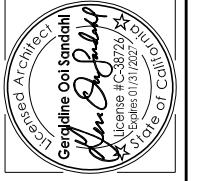


**KEY PLAN**



**CONCEPTUAL RENDERING: NORTH EAST (FRONT) CORNER**

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 Portland, OR 97206  
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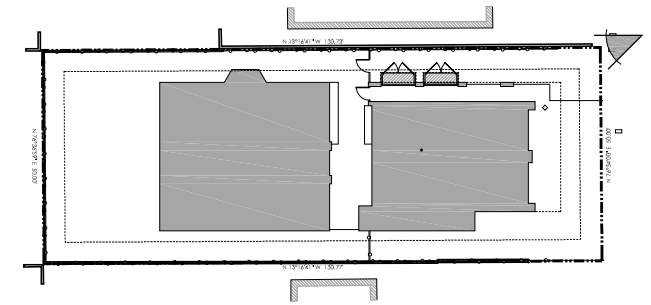
**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**CONCEPTUAL  
 RENDERING**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet  
**A2.00**





**CONCEPTUAL RENDERING: NORTH WEST (FRONT) CORNER**

**Gerri Ooi Sandahl Architect**  
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 gerri.ooi84@gmail.com



**Dustin Todd**  
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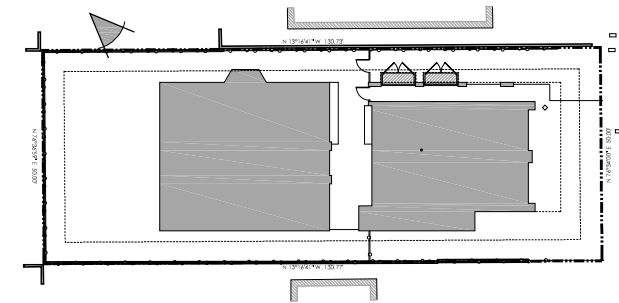
**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**CONCEPTUAL  
 RENDERING**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

**A2.01**



**KEY PLAN**



**CONCEPTUAL RENDERING: SOUTH WEST (REAR) CORNER**

**Gerri Ooi Sandahl Architect**  
 4328 SE Clinton Street  
 Portland, OR 97206  
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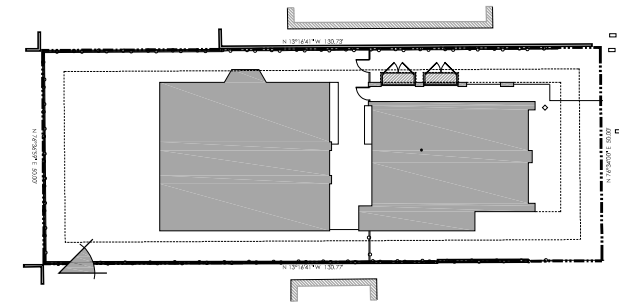
**Dustin Todd**  
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 (805) 215-8103  
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**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**CONCEPTUAL  
 RENDERING**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet  
**A2.02**



**KEY PLAN**



**CONCEPTUAL RENDERING: SOUTH EAST (REAR) CORNER**

**Geri Ooi Sandahl Architect**  
 4328 SE Clinton Street  
 Portland, OR 97206  
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 geri.ooi84@gmail.com



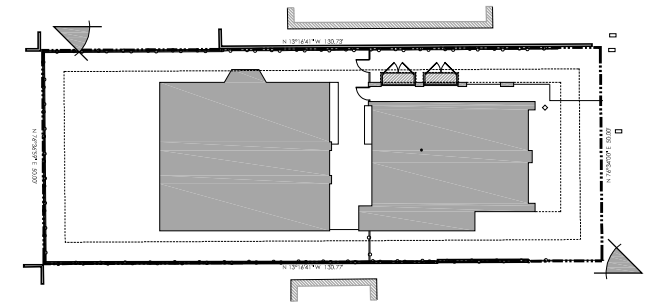
**Dustin Todd**  
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 (805) 215-8103  
 todd.dustin@gmail.com

**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**CONCEPTUAL  
 RENDERING**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet  
**A2.03**



**KEY PLAN**

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**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**CONCEPTUAL  
 RENDERING**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

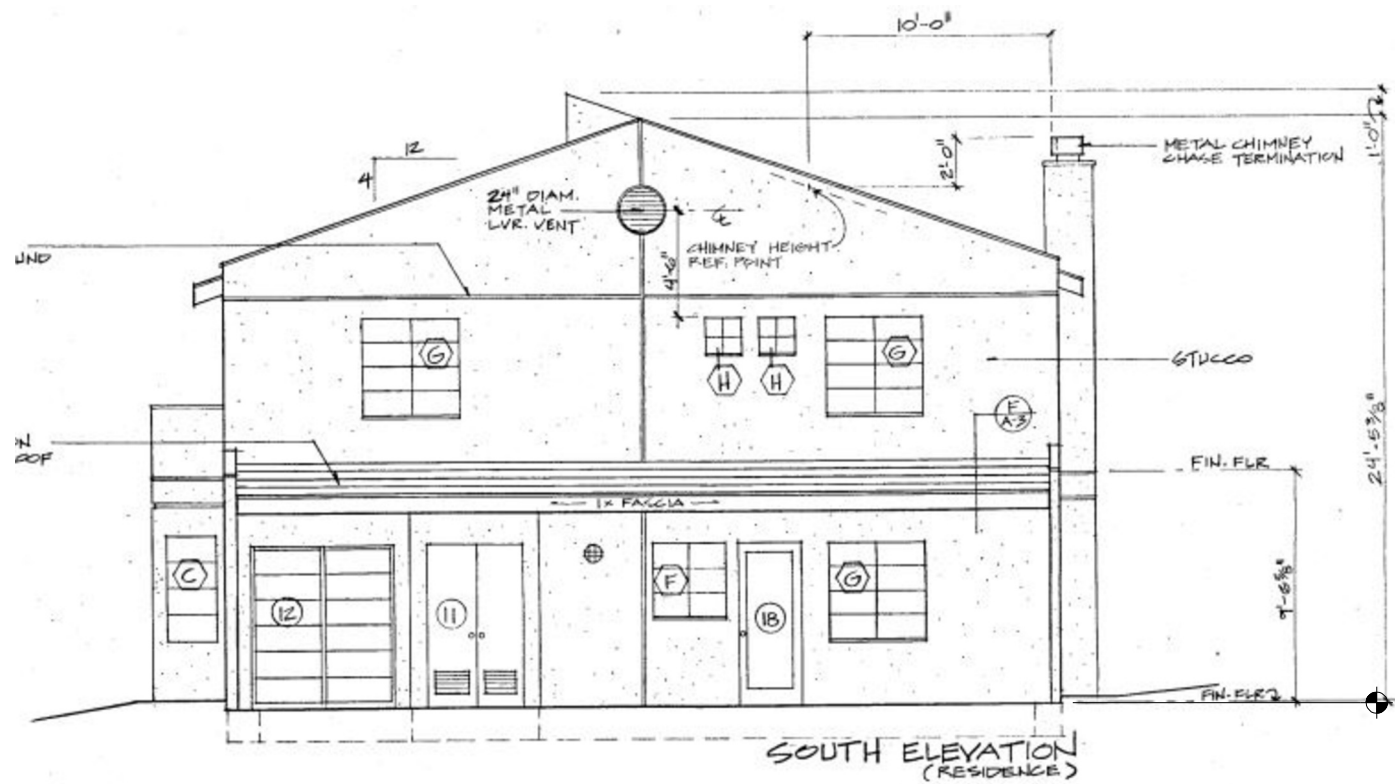
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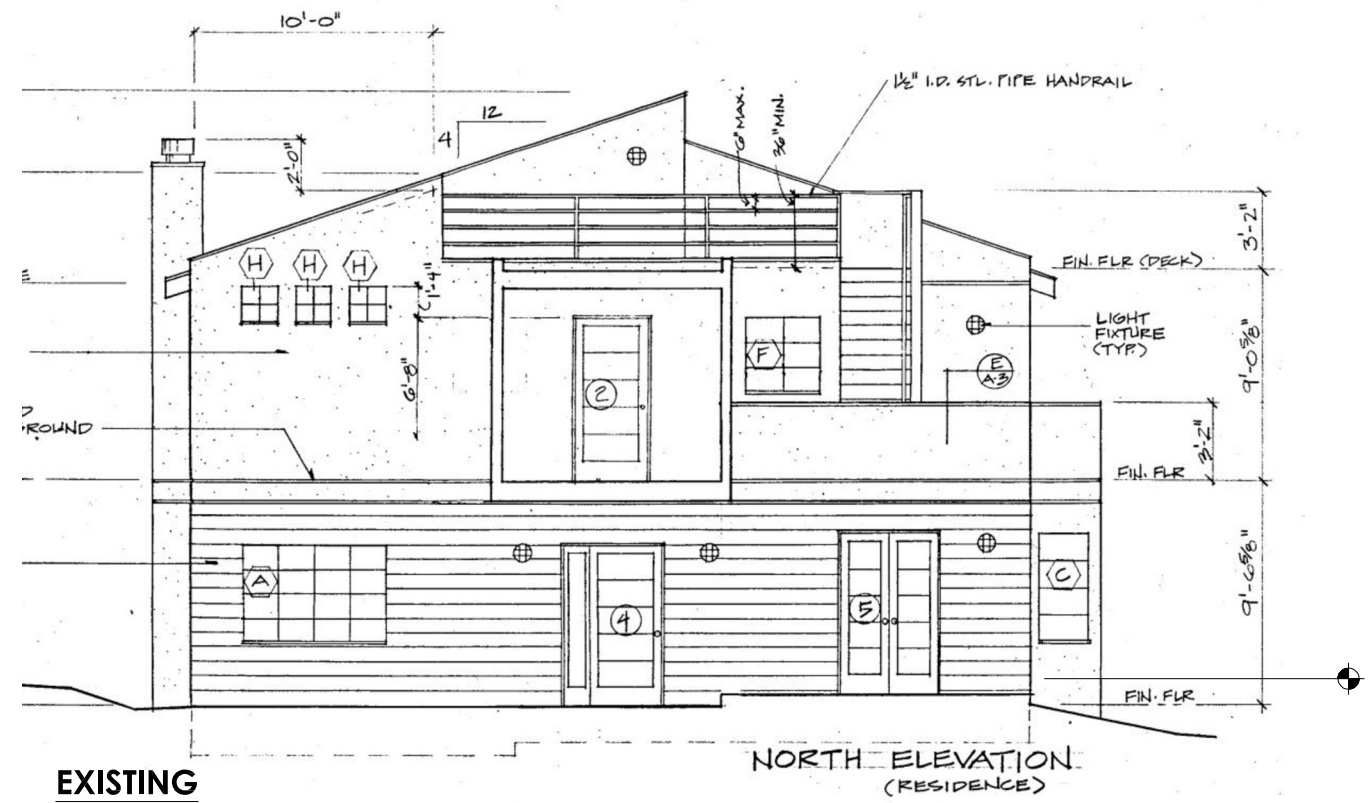
**CONCEPTUAL RENDERING: NORTH EAST AERIAL VIEW**



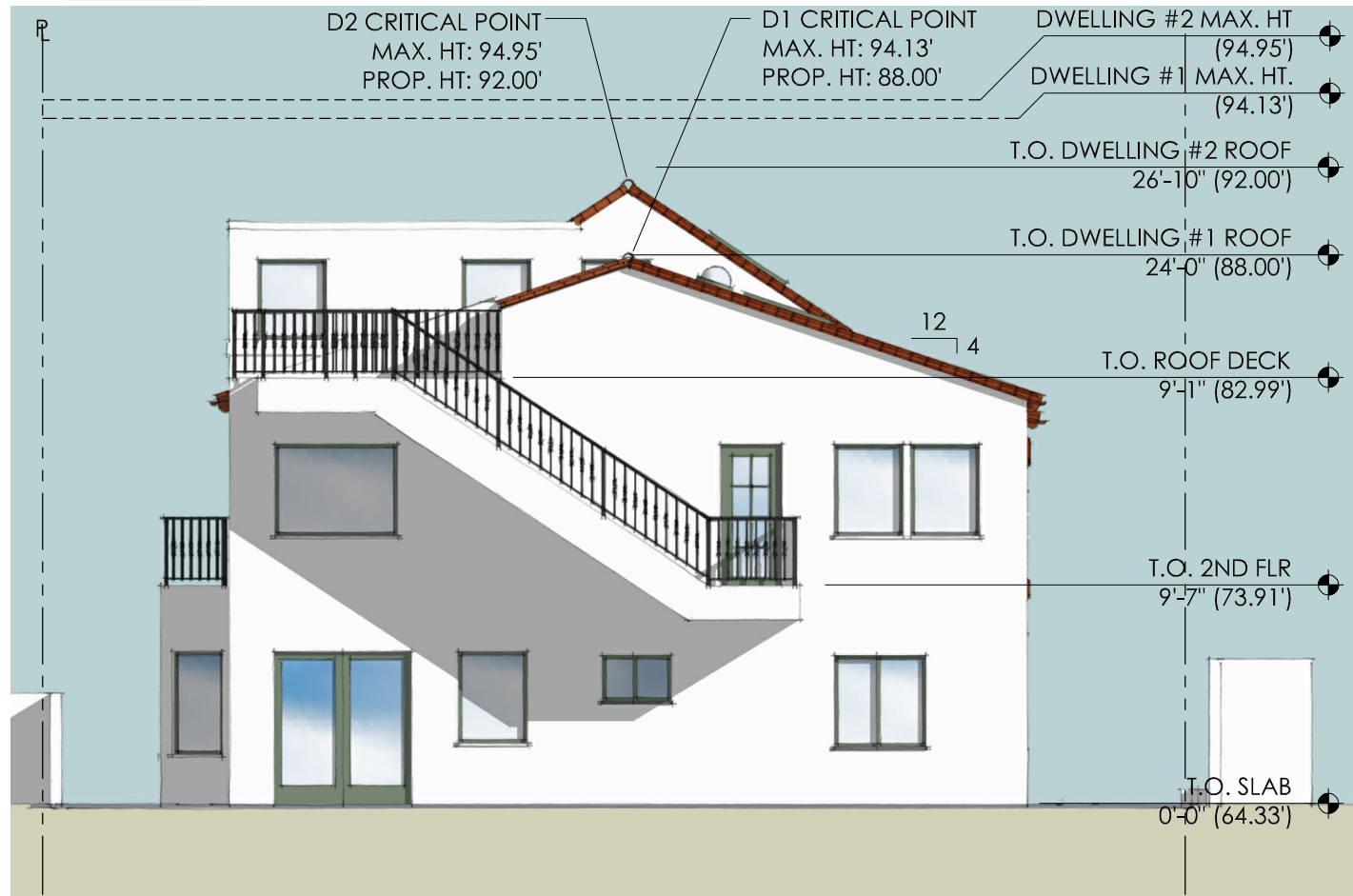
**CONCEPTUAL RENDERING: SOUTH WEST AERIAL VIEW**



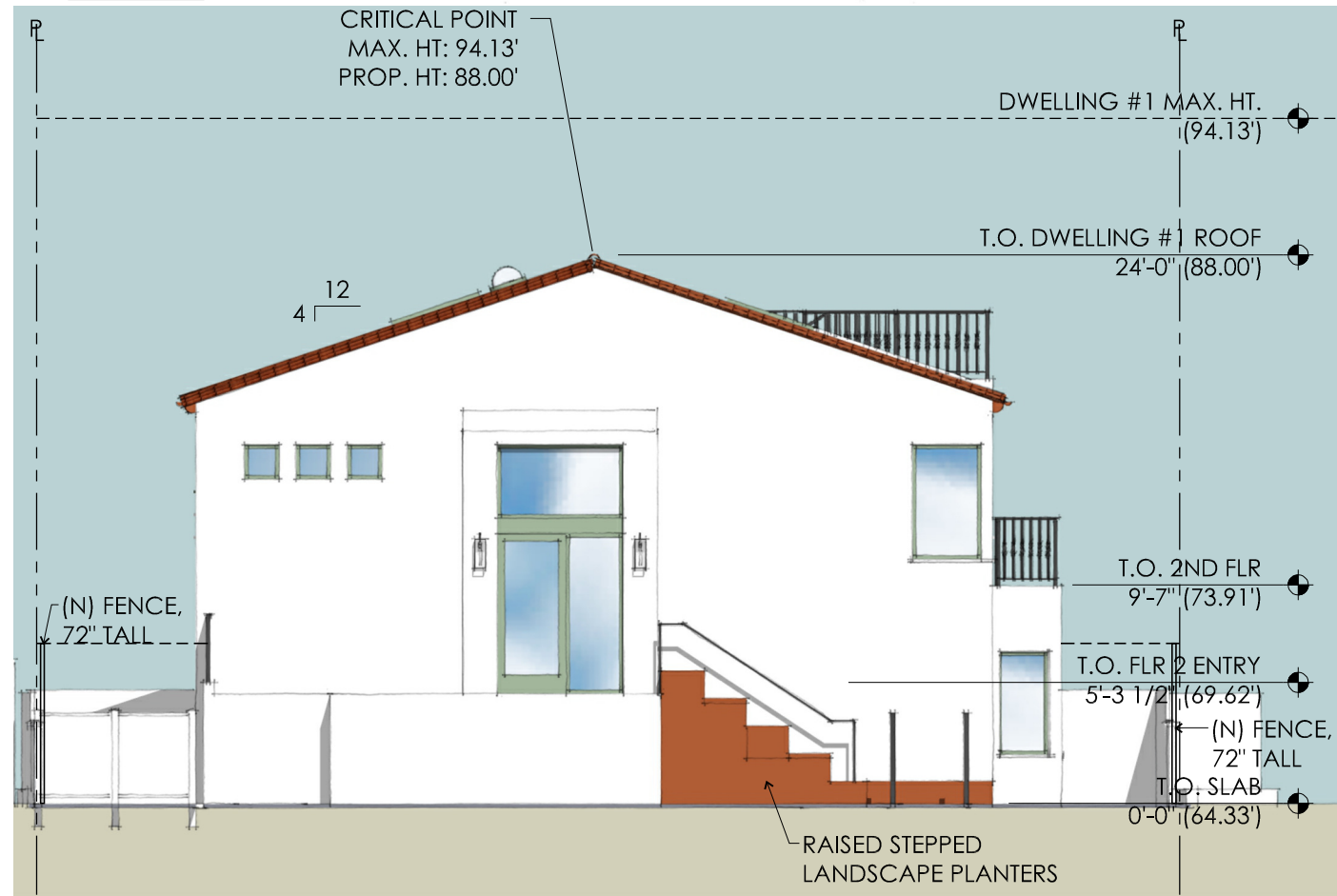
**EXISTING**



**EXISTING**



**PROPOSED**



**PROPOSED**

**EXT. ELEVS: DWELLING #1 REAR / SOUTH**

11x17 SHEET SCALE: 1/8" = 1'-0"  
24x36 SHEET SCALE: 1/4" = 1'-0"

**EXT. ELEVS: DWELLING #1 FRONT / NORTH**

11x17 SHEET SCALE: 1/8" = 1'-0"  
24x36 SHEET SCALE: 1/4" = 1'-0"

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Licensed Architect  
Gerri Ooi Sandahl  
License #C38724  
Exp. 01/31/2027  
Member of AIA, ASCE, and IBC

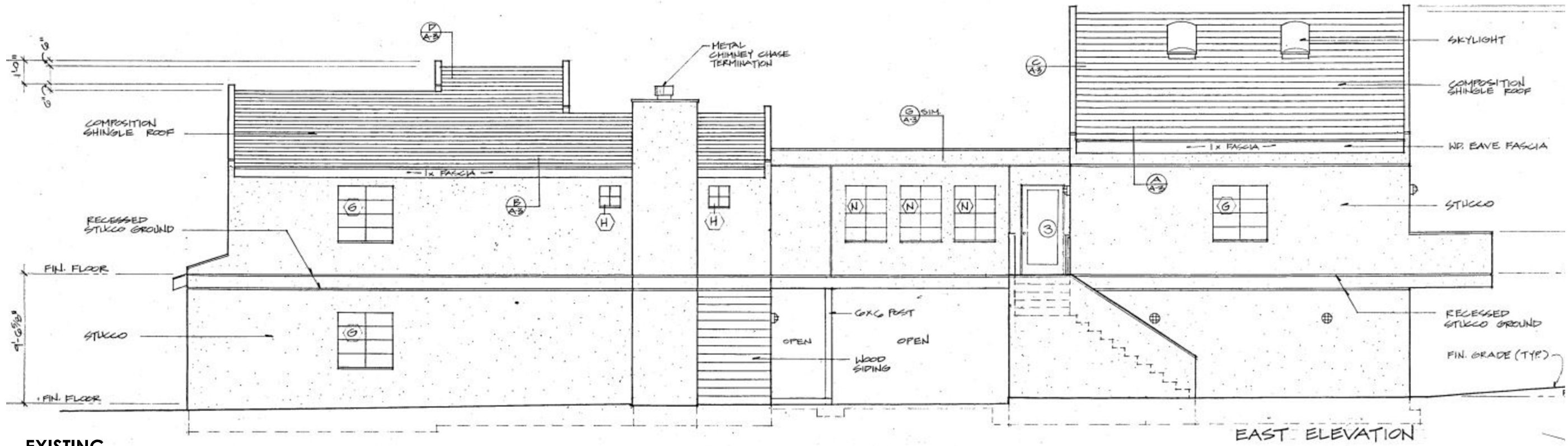
**Dustin Todd**  
960 6th Street  
Hermosa Beach, CA  
(805) 215-8103  
todd.dustin@gmail.com

**TODD/COAKLEY  
RESIDENCE**  
960 6th Street  
Hermosa Beach, California

**EXTERIOR ELEVATIONS  
DWELLING #1**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet  
**A3.00**



**EXISTING**

**EAST ELEVATION**



**PROPOSED**

**EXTERIOR ELEVATIONS: LEFT SIDE / EAST**

11x17 SHEET SCALE: 1/8" = 1'-0"  
24x36 SHEET SCALE: 1/4" = 1'-0"

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Exp. 01/31/2027  
State of Oregon

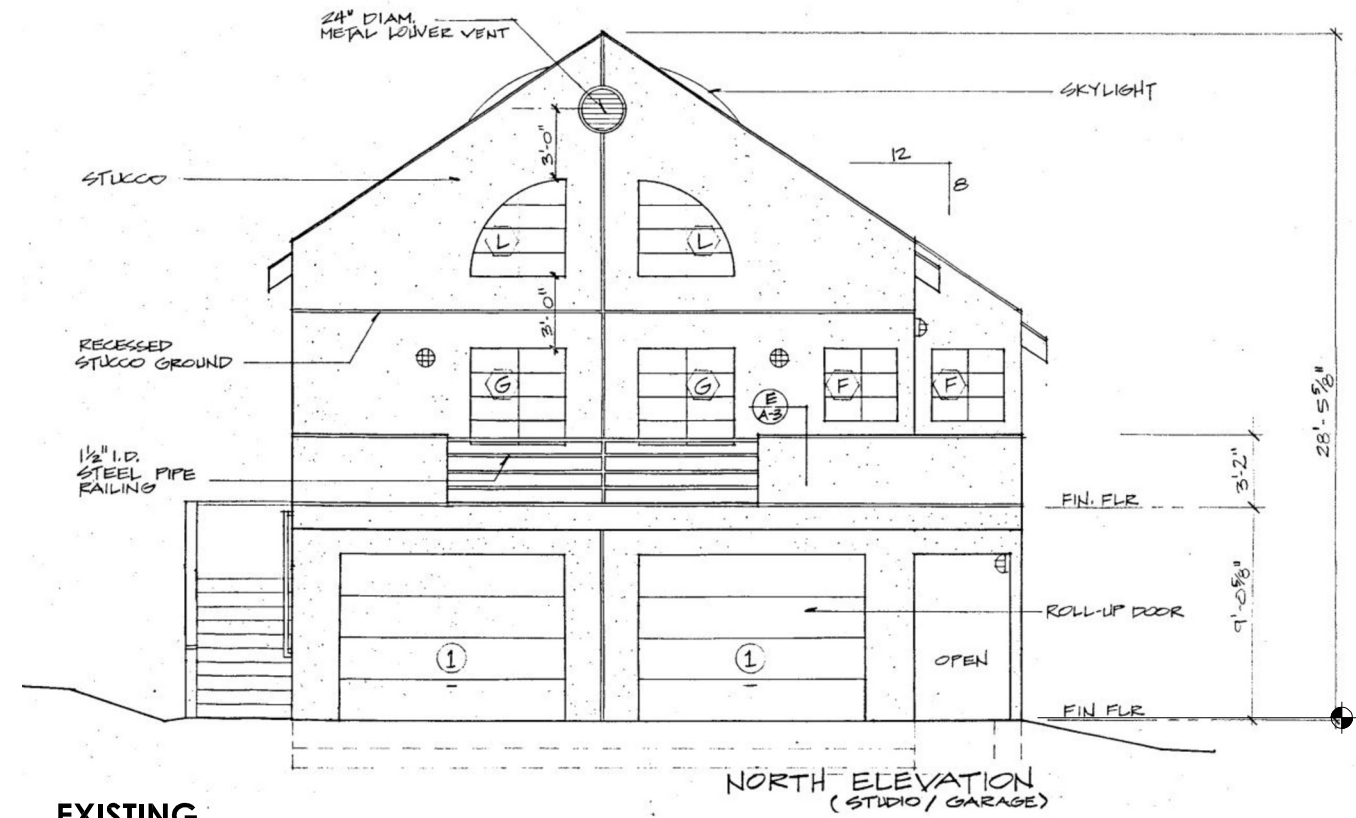
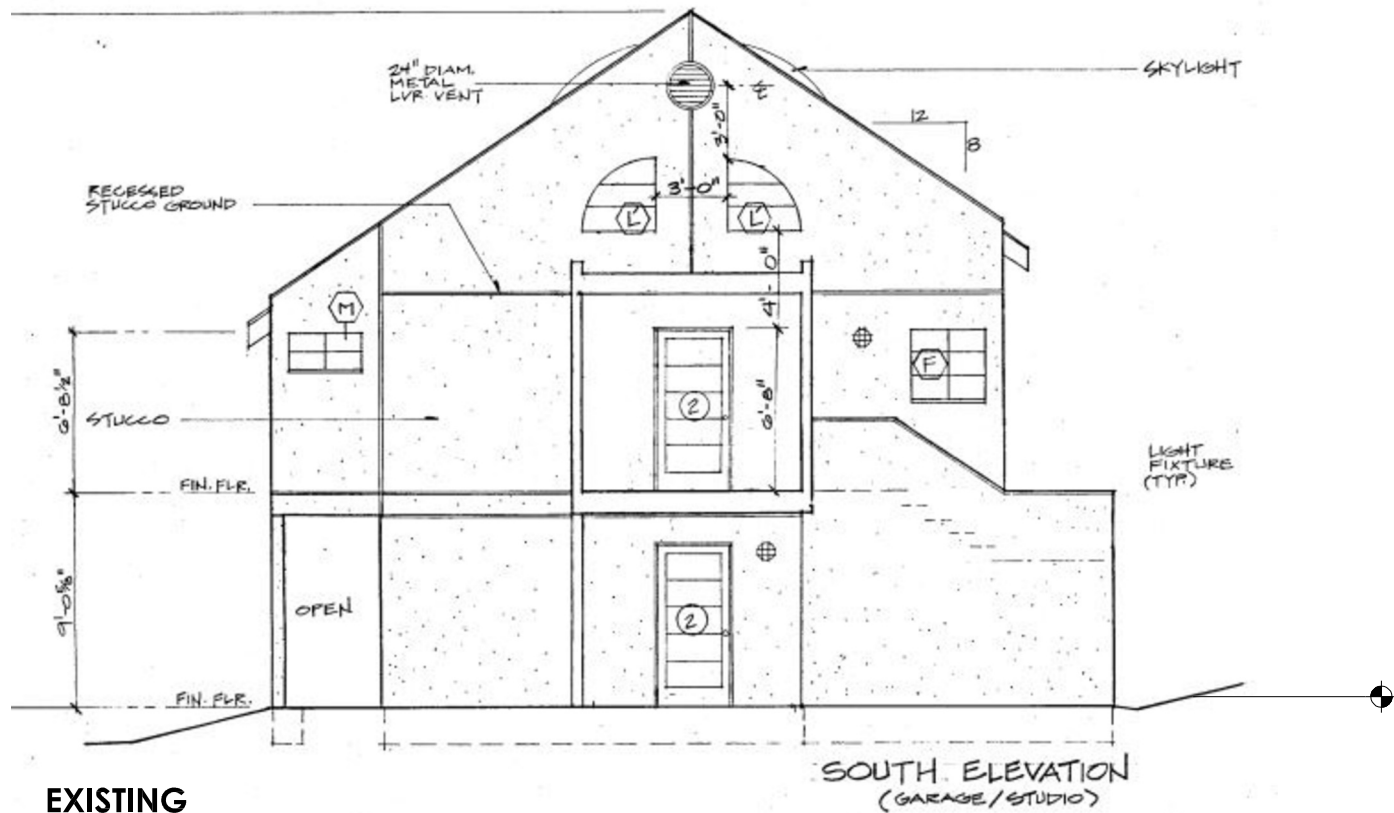
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todd.dustin@gmail.com

**TODD/COAKLEY RESIDENCE**  
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Hermosa Beach, California

**EXTERIOR ELEVATIONS EAST**

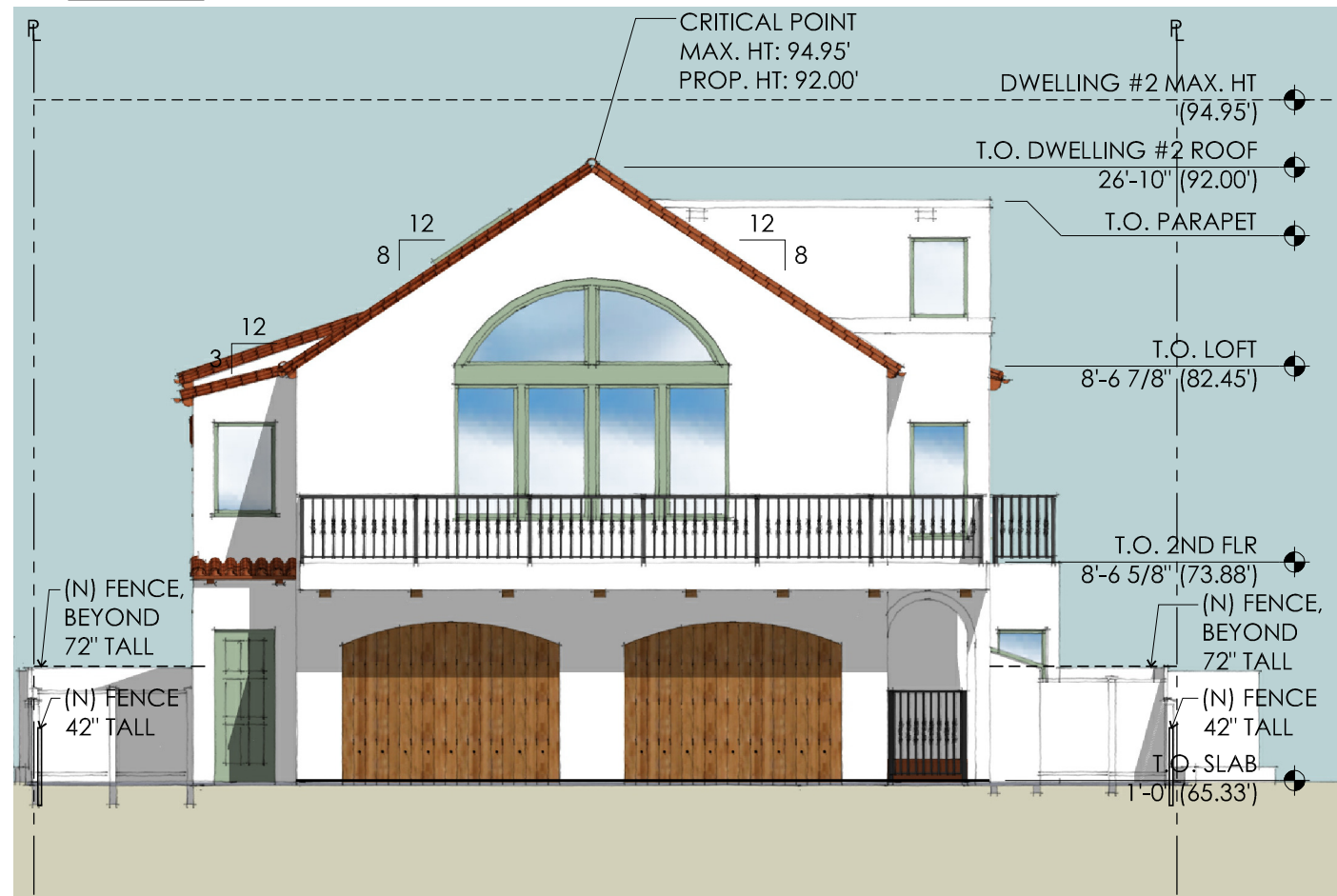
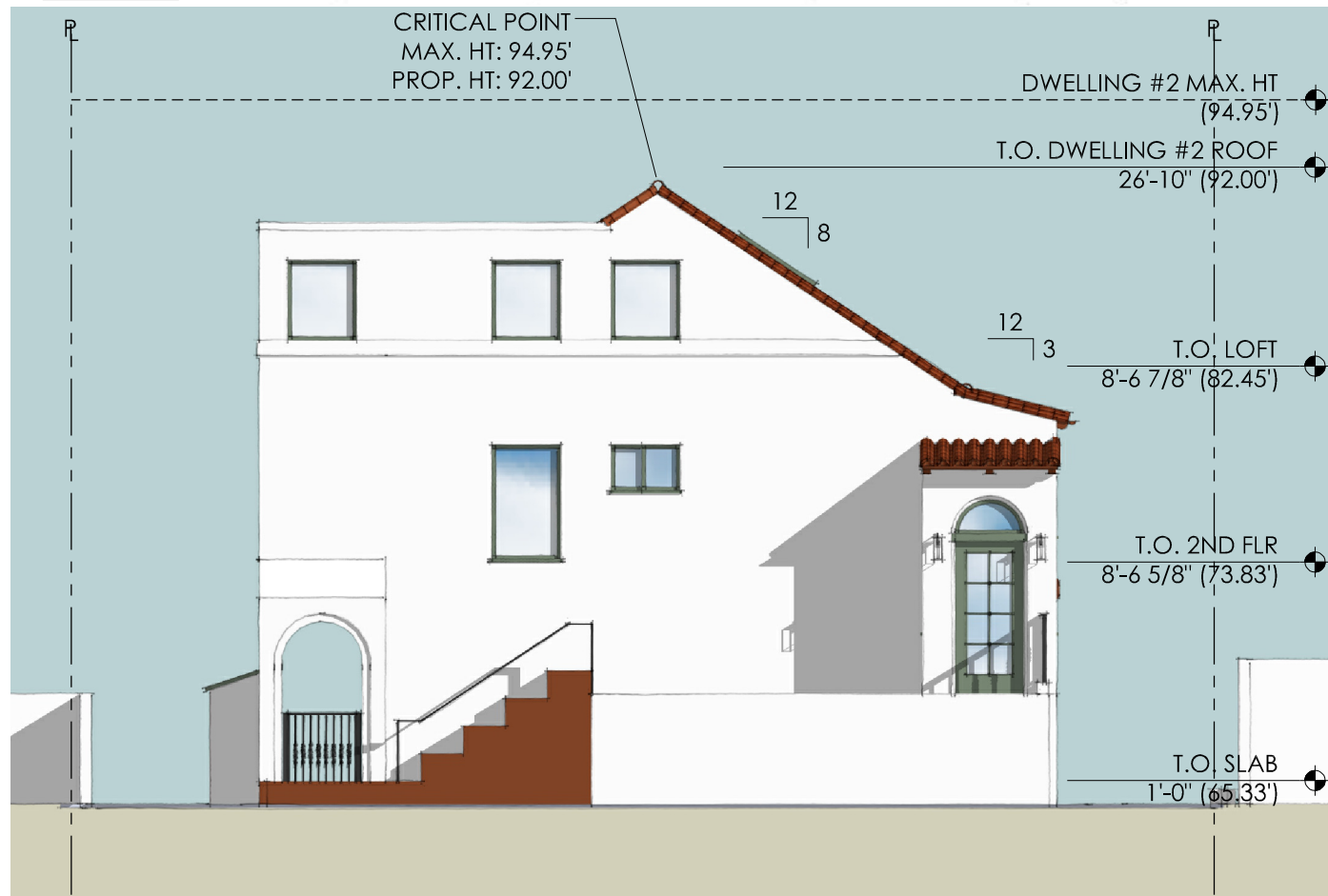
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1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet  
**A3.01**



EXISTING

EXISTING



PROPOSED

PROPOSED

EXT. ELEVS: DWELLING #2 REAR / SOUTH



EXT. ELEVS: DWELLING #2 FRONT / NORTH



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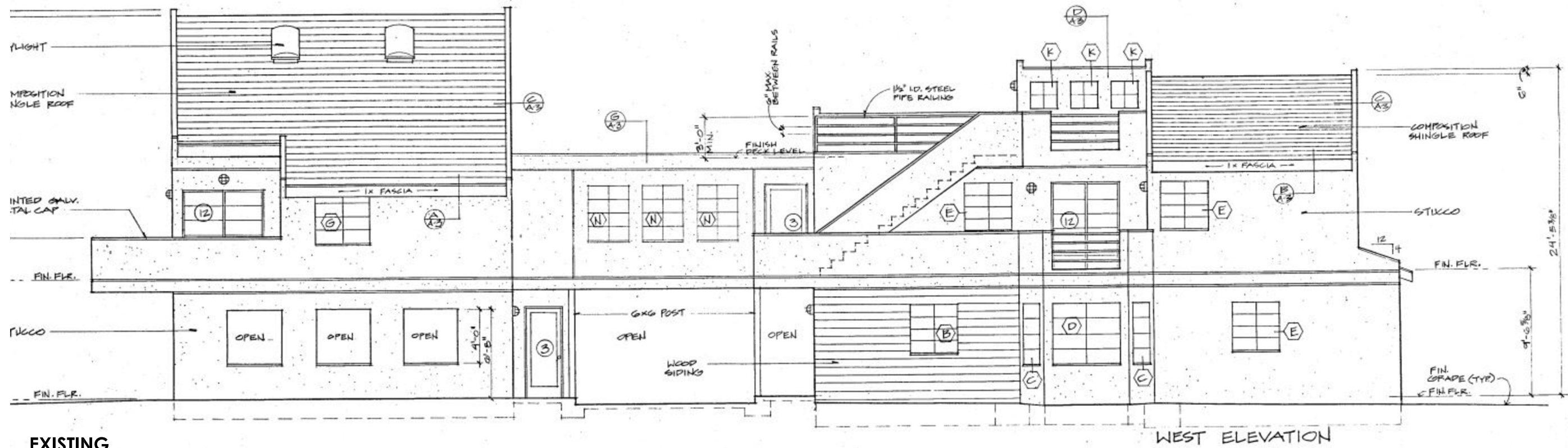
TODD/COAKLEY  
RESIDENCE  
960 6th Street  
Hermosa Beach, California

EXTERIOR ELEVATIONS  
DWELLING #2

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet

A3.00



**EXISTING**



**PROPOSED**

**EXTERIOR ELEVATIONS: RIGHT SIDE / WEST**



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 State of Oregon 01/22/22

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**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
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**EXTERIOR ELEVATIONS  
 WEST**

Rev	Date
0	12/27/2022
1	07/22/2024
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3	07/04/2025
4	09/15/2025
5	10/20/2025





**ROOF**  
 R1 - CLAY TILE ROOF  
 BORAL 'S'-TILE 1-PIECE  
 COLOR: MALLORCA

**WALL FINISH**  
 W1 - SMOOTH EXTERIOR STUCCO, PAINTED

**WINDOWS & DOORS**  
 F1 - MILGARD STYLELINE, PAINTED  
 F2 - SOLID SLAB DOOR, PAINTED

**PAINT**  
 BENJAMIN MOORE  
 EXTERIOR PAINT



**P1**  
 White Opulence  
 879

**P2**  
 Sherwood Green  
 HC-118

**P3 SEMI TRANSPARENT STAIN**  
 BENJAMIN MOORE  
 'CHESTNUT BROWN' ES-65

**METAL ACCENTS**  
 M1 - RAILS: BLACK WROUGHT IRON  
 M2 - BIN ENCLOSURE LID: TO MATCH BM HC-118  
 SHERWOOD GREEN. CORRUGATED METAL

**COLOR & MATERIAL BOARD**

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**TODD/COAKLEY  
 RESIDENCE**  
 960 6th Street  
 Hermosa Beach, California

**COLOR & MATERIAL  
 BOARD**

Rev	Date
0	12/27/2022
1	07/22/2024
2	11/25/2024
3	07/04/2025
4	09/15/2025
5	10/20/2025

Sheet  
**A4.00**

**SURVEY AND TOPOGRAPHY**

FOR  
DUSTIN TODD  
960 6TH STREET  
HERMOSA BEACH, CA 90254  
PHONE (213) 330-6813

**JOB ADDRESS**

960 6TH STREET  
HERMOSA BEACH, CA 90254

**LEGAL DESCRIPTION**

PORTION OF LOT 10, BLOCK 85  
SECOND ADDITION TO HERMOSA BEACH  
M.B. 3-11-12  
APN 4186-015-007  
A=6,538 SF

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY  
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF  
PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY: KW CHECK BY: TS

DRAWN ON: OCTOBER 19, 2022

REVISIONS  
TITLE UPDATE: SEPTEMBER 18, 2023  
FIELD SURVEY UPDATE: NOVEMBER 12, 2024

**LEGEND**

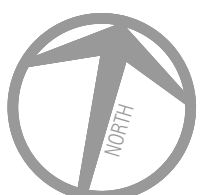
- EXISTING BUILDING
- BRICK
- CONCRETE
- WOOD DECK
- +106.76 EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- X EXISTING FENCE

- BCR BEGINNING OF CURB RETURN
- CATV CABLE TV PULL BOX
- CONC CONCRETE
- CHIMY CHIMNEY
- CFB CITY ENGINEERS FIELD BOOK
- CL CENTERLINE
- C/L / W/LF CHAIN LINK FENCE / WROUGHT IRON FENCE
- ELY EASTERLY
- EM EDGE OF GUTTER
- EM ELECTRIC METER
- FF FINISH FLOOR
- FR FIRE HYDRANT
- FL FLOWLINE
- GFF GARAGE FINISH FLOOR
- GM GAS METER
- GW GUY WIRE
- IP IRON PIPE MONUMENT
- L&T LEAD AND TRACK TAG MONUMENT
- MH MANHOLE (SANITARY SEWER / STORM DRAIN)
- NLY NORTHERLY
- N&T NAIL AND TAG MONUMENT
- PE PULL BOX (EDISON / TRAFFIC) / STREET LIGHT
- PE (CONT) TELEPHONE / CABLE TV
- PC PROPERTY CORNER / PROP. CORNER
- PL PROPERTY LINE / PROP. LINE
- PP / UP POWER POLE / UTILITY POLE
- PFR PARAPET
- PWFB PUBLIC WORKS FIELD BOOK
- R/R RAIL ROAD
- RFB ROAD DEPARTMENT FIELD BOOK
- R/S RECORD OF SURVEY
- SPN / SAW SPIKE / SPRING AND WASHER MONUMENT
- SLY SOUTHERLY
- SSOD SANITARY SEWER CLEANOUT
- STY / STR&T STAKE / STAKE AND TAG MONUMENT
- STY / LT STREET LIGHT POLE / LIGHT POLE
- TC TOP OF CURB
- TX / BX TOP OF APRON / BOTTOM OF APRON
- WLY WESTERLY
- WM WATER METER

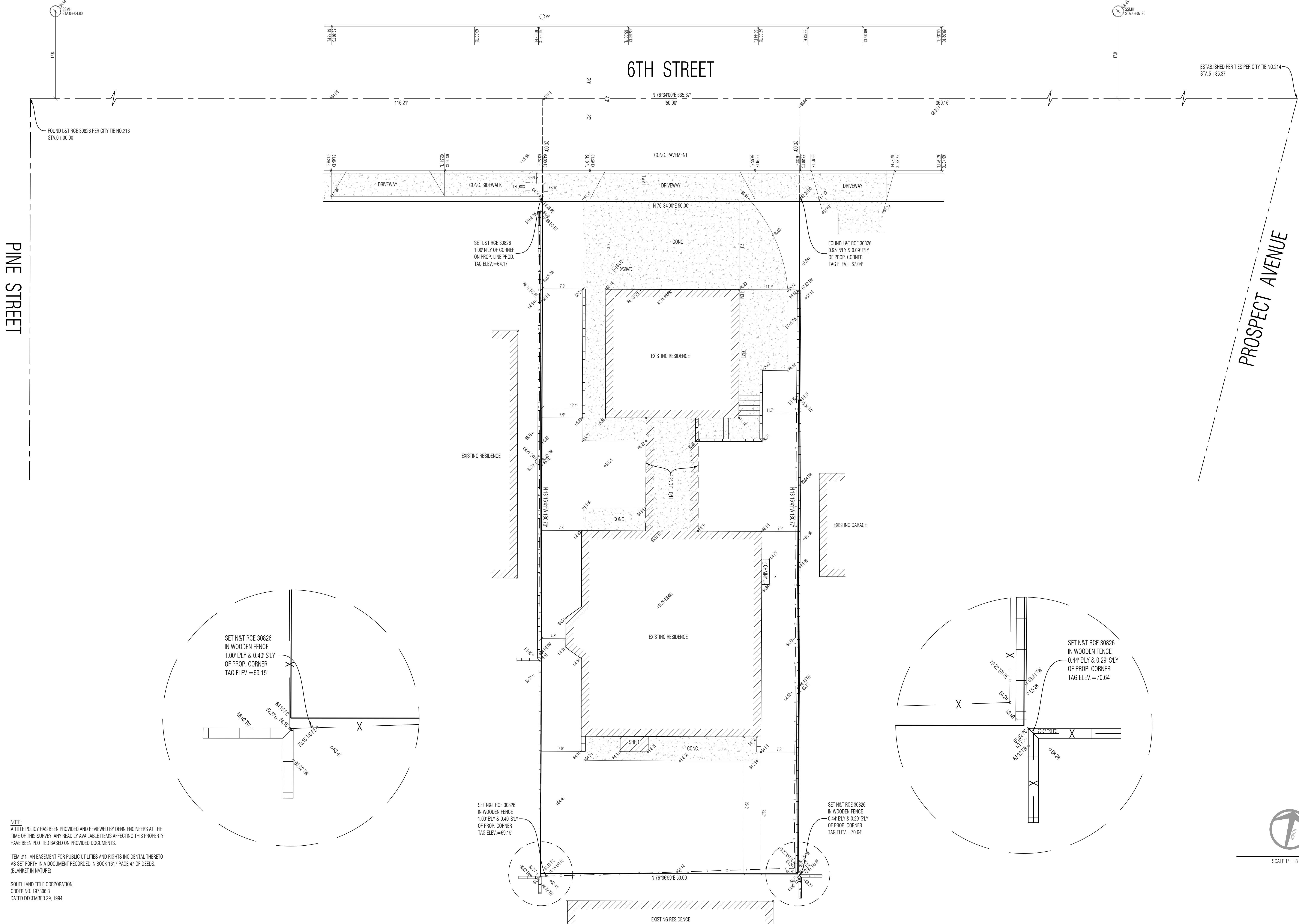
NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATIONS ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433 M-F 8:00 AM TO 5:00 PM.

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SCALE 1" = 8'



PINE STREET

6TH STREET

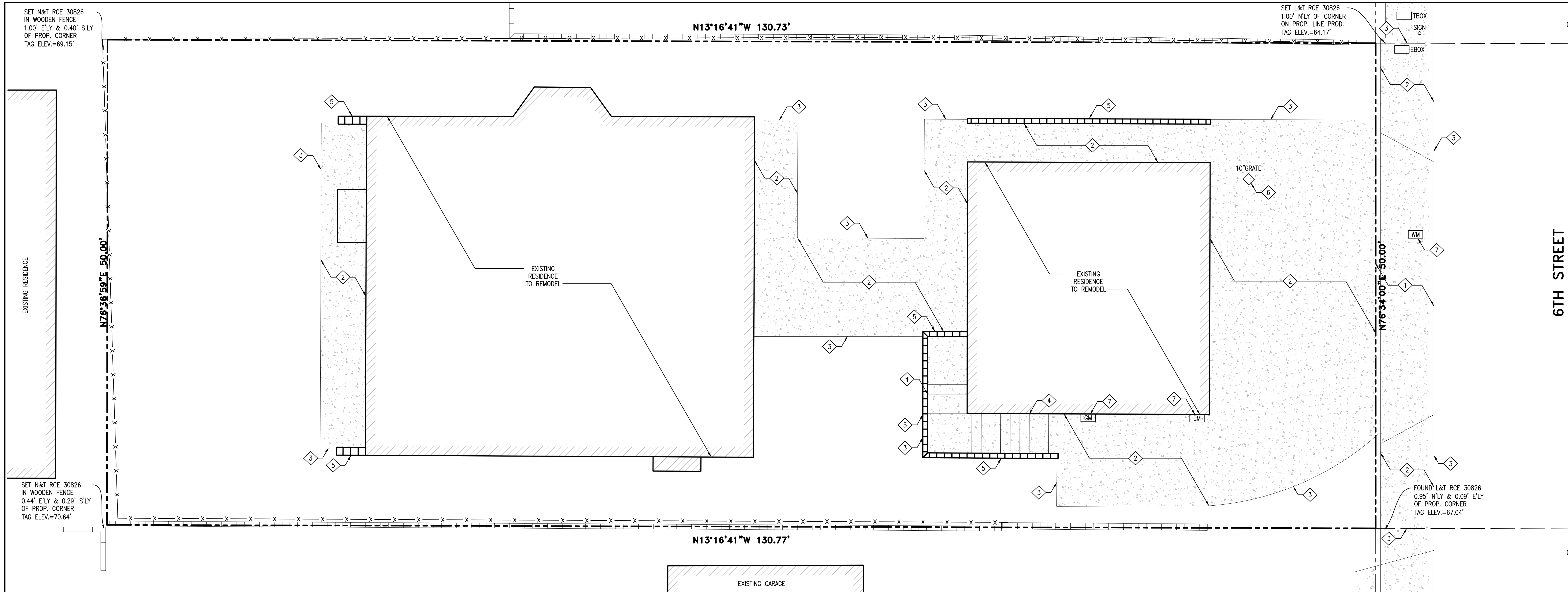
PROSPECT AVENUE

NOTE:  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

ITEM #1 - AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 1617 PAGE 47 OF DEEDS. (BLANKET IN NATURE)

SOUTHLAND TITLE CORPORATION  
ORDER NO. 197306.3  
DATED DECEMBER 29, 1994





SET N&T RCE 30826  
IN WOODEN FENCE  
1.00' E'LY & 0.40' S'LY  
OF PROP. CORNER  
TAG ELEV.=69.15'

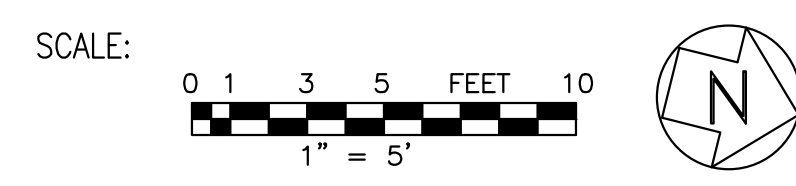
N13°16'41"W 130.73'

SET L&T RCE 30826  
1.00' N'LY OF CORNER  
ON PROP. LINE PROD.  
TAG ELEV.=64.17'

SET N&T RCE 30826  
IN WOODEN FENCE  
0.44' E'LY & 0.29' S'LY  
OF PROP. CORNER  
TAG ELEV.=70.64'

N13°16'41"W 130.77'

FOUND L&T RCE 30826  
0.95' N'LY & 0.09' E'LY  
OF PROP. CORNER  
TAG ELEV.=67.04'



**DEMOLITION KEYNOTES:**

- ① DEMOLISH/REMOVE EXISTING DRIVEWAY & ASSOCIATED CURB & GUTTER
- ② DEMOLISH/REMOVE EXISTING PAVING.
- ③ LIMIT OF DEMOLITION.
- ④ DEMOLISH/REMOVE EXISTING STAIRS.
- ⑤ DEMOLISH/REMOVE PORTION OF EXISTING WALL & ASSOCIATED FOUNDATION.
- ⑥ DEMOLISH/REMOVE EXISTING GRATE.
- ⑦ DEMOLISH/REMOVE EXISTING UTILITY.

**DEMOLITION GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR POTHOLE TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OR PROTECTION OF ALL EXISTING UTILITY LINES.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF THE SITE AND SHALL REMOVE AND DISPOSE OF ALL STRUCTURES ABOVE AND OR BELOW GROUND UNLESS OTHERWISE NOTED. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE HANDLED AND REMOVE AS REQUIRED BY LOCAL AND/OR STATE LAWS AT NO COST TO THE OWNER.
3. THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DAMAGE TO EXISTING HARDSCAPE IMPROVEMENTS, UTILITY FACILITIES, AND LANDSCAPING FEATURES THAT ARE NOT AFFECTED BY THESE PLANS.
4. ALL JOIN LINES SHALL BE SAWCUT ON A NEAT, STRAIGHT LINE PARALLEL WITH THE JOIN. THE CUT EDGE SHALL BE PROTECTED FROM CRUSHING AND ALL BROKEN EDGES SHALL BE RE-CUT PRIOR TO JOINING.
5. ALL EXISTING OBJECTIONABLE MATERIALS THAT CONFLICT WITH PROPOSED IMPROVEMENT INCLUDING, BUT NOT LIMITED TO, BUILDING FOUNDATIONS, UTILITIES AND APPURTENANCES, TREES, SIGNS, AND STRUCTURES, ETC. SHALL BE REMOVE AND DISPOSED BY THE CONTRACTOR AT NO COST TO THE OWNER, UNLESS OTHERWISE INDICATED HEREIN, OR AS DIRECTED BY THE CONSTRUCTION MANAGER.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING STREETS FROM DAMAGES CAUSED BY HIS OPERATIONS. ANY CURBS DAMAGE DURING HIS OPERATIONS SHALL BE SAWCUT AND REPLACED AT NO COST TO THE OWNER. ANY EXISTING PAVING IDENTIFIED AS POTENTIALLY NEEDING TO BE REPLACED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
7. THE CONTRACTOR SHALL PERFORM AND BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING OPERATIONS AS NECESSARY TO COMPLETE THE WORK, INCLUDING TRANSPORTATION AND DISPOSAL OF ALL REMOVE MATERIALS, AND ALL ASSOCIATED COSTS.

BENCH MARK:

SET L&T RCE 30826  
1.00' N'LY OF CORNER  
ON PROP. LINE PRODS.  
TAG ELEV. = 64.17'

SEE KEYNOTE ⑤ ON C-3.



REVISIONS		
No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	04/12/2024
2	2ND SUBMITTAL	06/16/2025

5061 Rockvalley Rd, Rancho Palos Verdes, CA 90275  
PH: (424) 404-7692, cell: (310)-270-0811  
email: peruconsultants@live.com

PLANS PREPARED BY:



CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

06/16/2025

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

DATE

**PRIVATE IMPROVEMENT PLANS**

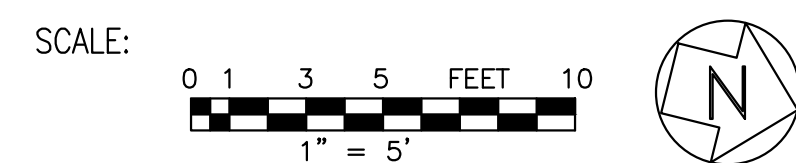
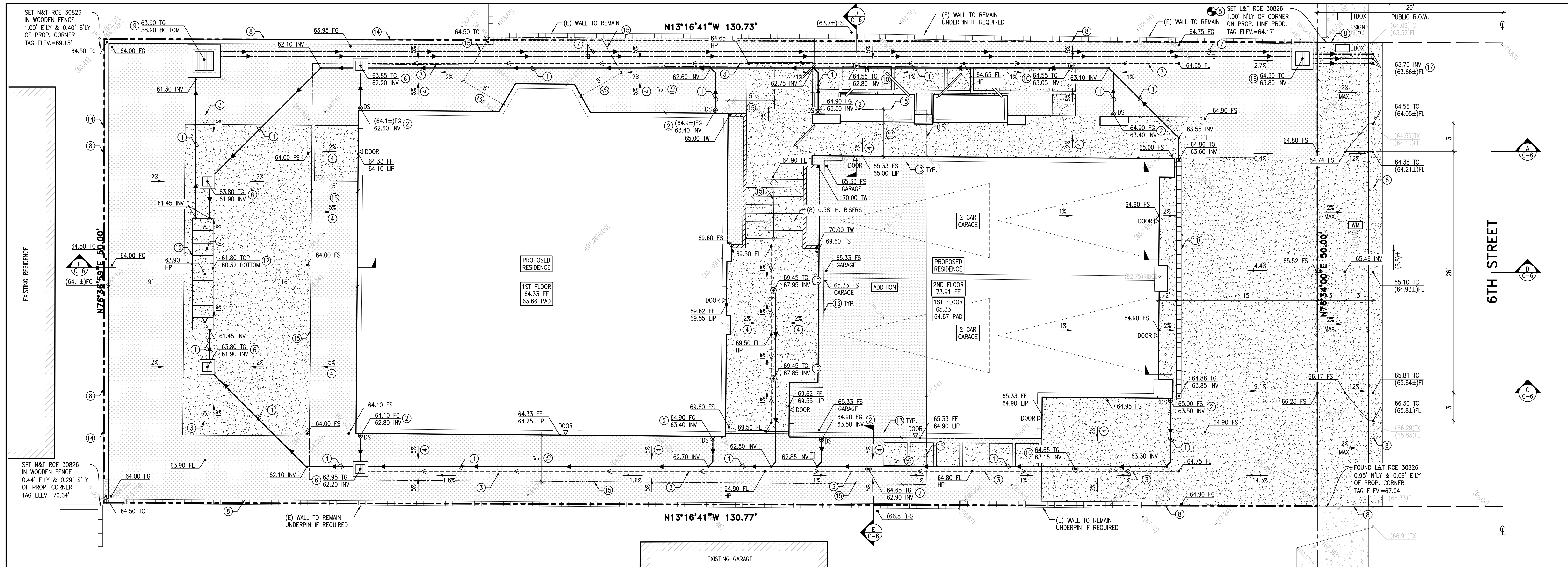
**960 6TH STREET  
RENOVATION AND EXPANSION  
CIVIL PLANS**

**GRADING & DRAINAGE PLAN**

FILE NUMBER  
24013-CIVIL

BUILDING #:

**C-2**  
SHT. 2 OF 7



**CONSTRUCTION NOTES**

- ① INSTALL 4" PVC SDR-35 STORM DRAIN PIPE. SLOPE=0.01 MIN.
- ② DOWNSPOUT CONNECTED UNDERGROUND.
- ③ FLOWLINE TO DRAIN.
- ④ 5% MIN. SLOPE AWAY FROM BUILDING FOR UNPAVED/LANDSCAPE ADJACENT TO BUILDING AND 2% MIN. SLOPE AWAY FROM BUILDING FOR PAVEMENT ADJACENT TO BUILDING.
- ⑤ TEMPORARY BENCHMARK (TBM). SET L&T RCE 30826 1.00' NLY OF CORNER ON PROP. LINE PROD. TAG ELEV. = 64.17'
- ⑥ 12" X 12" CATCH BASIN WITH FILTER INSERT.
- ⑦ 3" DIA. SCH-80 FORCE MAIN PIPE.
- ⑧ LIMIT OF WORK.
- ⑨ 2.5'x2.5'x5' DEEP SUMP PIT. INSTALL (2) ZOELLER SUMP PUMPS MODEL 95.
- ⑩ 6" DIA. AREA DRAIN.
- ⑪ 6" WIDE TRAFFIC RATED TRENCH DRAIN.
- ⑫ INSTALL 2.25'x12.06'x1.48' DEEP INFILTRATION PIT. (9) SINGLE ECORAIN TANK.
- ⑬ FOUNDATION ELEVATION SHALL EXTEND ABOVE FLOWLINE A MINIMUM OF 12 INCHES PER CBC 1808.7.4.
- ⑭ NEW CURB WALL, PER SEPARATE PERMIT.
- ⑮ OVEREXCAVATION AND RECOMPACTION LIMIT. SEE SECTIONS FOR DEPTH.
- ⑯ 18"x18" CATCH BASIN.
- ⑰ (3) 3" DIA. CAST IRON PIPES PER SPPWC STD No 150-3.

**ABBREVIATIONS:**

- BOTT BOTTOM OF BASIN ELEVATION.
- DS DOWNSPOUT
- (E) EXISTING ELEVATION
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FL FLOW LINE
- FS FINISH SURFACE
- FG FINISH GRADE
- GM GAS METER
- GTEPB GTE PULLBOX
- GB GRADE BREAK
- H HEIGHT
- HP HIGH POINT
- INV INVERT ELEVATION
- PC PROPERTY CORNER
- P.O.C. POINT OF CONNECTION
- PP POWER POLE
- RIM RIM ELEVATION
- SD STORM DRAIN
- TBM TEMPORARY BENCHMARK
- TVPB TELEVISION PULL BOX
- TC TOP OF CURB
- TOF TOP OF FOOTING
- TG TOP OF GRATE
- TW TOP OF WALL
- TYP. TYPICAL
- TT. TOP OF TANK
- ± APPROXIMATE

**LEGEND:**

- CATCH BASIN.
- EXISTING WALL
- PROPOSED WALL
- GRASS/LANDSCAPE SURFACE
- CONCRETE SURFACE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- 4" DIA. PVC SDR-35 STORM DRAIN PIPE
- 3" DIA. SCH-80 FORCE MAIN PIPE
- FLOWLINE
- SUBDRAIN PIPE
- POINT OF CONNECTION

**NOTE:**

IF THE CITY REQUIRES GRADING AND/OR DRAINAGE CERTIFICATIONS, IT IS RECOMMENDED THAT SITE INSPECTIONS BE PERFORMED BY A REPRESENTATIVE OF THIS FIRM DURING ALL DRAINAGE INSTALLATION (OPEN TRENCH) AND GRADING OF THE DEVELOPMENT TO VERIFY THE SITE IS CONSTRUCTED PER THE RECOMMENDATIONS DOCUMENTED ON THESE PLANS.

TO SCHEDULE A SITE INSPECTION, CONTACT OUR OFFICE AT (310) 270-0811 OR PERUCONSULTANTS@LIVE.COM.

PERU CONSULTANTS IS NOT RESPONSIBLE OF SIGNING DRAINAGE AND/OR GRADING CERTIFICATIONS IF SITE INSPECTIONS WERE NOT CONDUCTED DURING CONSTRUCTION.

BENCH MARK:  
SET L&T RCE 30826  
1.00' NLY OF CORNER  
ON PROP. LINE PRODS.  
TAG ELEV. = 64.17'

SEE KEYNOTE ⑤ ON C-3.



REVISIONS		
No.	DESCRIPTION	DATE
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2	2ND SUBMITTAL	06/16/2025

**PERU CONSULTANTS, INC.**  
CIVIL ENGINEERING & DRAFTING SERVICES  
5061 Rockvalley Rd, Rancho Palms Verdes, CA 90275  
PH: (424) 404-7692, cell: (310) 270-0811  
email: peruconsultants@live.com

PLANS PREPARED BY:  
  
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680  
DATE: 06/16/2025

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**

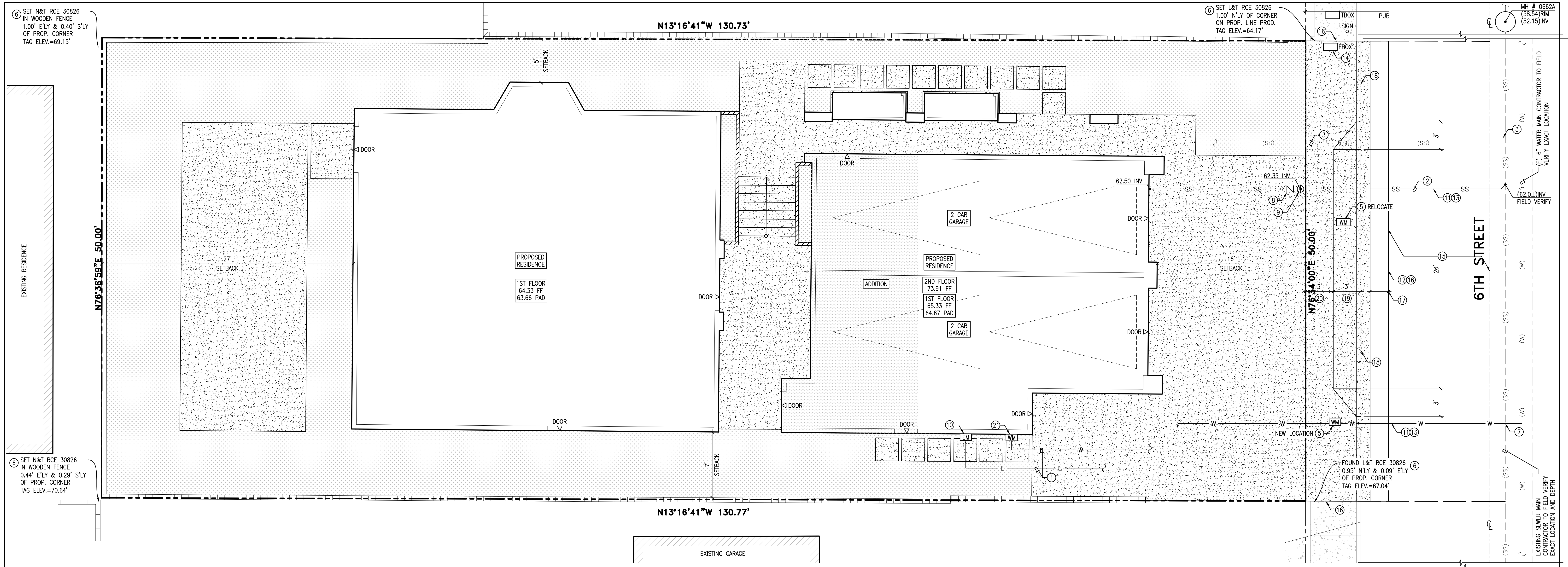
RECOMMENDED FOR PERMIT ISSUANCE:  
DATE: \_\_\_\_\_

**PRIVATE IMPROVEMENT PLANS**

**960 6TH STREET  
RENOVATION AND EXPANSION  
CIVIL PLANS**

**GRADING & DRAINAGE PLAN**

FILE NUMBER: 24013-CIVIL  
BUILDING #: \_\_\_\_\_  
**C-3**  
SHT. 3 OF 7



⑥ SET N&T RCE 30826  
IN WOODEN FENCE  
1.00' E'LY & 0.40' S'LY  
OF PROP. CORNER  
TAG ELEV.=69.15'

⑥ SET L&T RCE 30826  
1.00' N'LY OF CORNER  
ON PROP. LINE PROD.  
TAG ELEV.=64.17'

MH # 0662A  
(58.54)RIM  
(52.15)INV

⑥ SET N&T RCE 30826  
IN WOODEN FENCE  
0.44' E'LY & 0.29' S'LY  
OF PROP. CORNER  
TAG ELEV.=70.64'

⑥ FOUND L&T RCE 30826  
0.95' N'LY & 0.09' E'LY  
OF PROP. CORNER  
TAG ELEV.=67.04'

MH # 0662  
(69.45)RIM  
(82.38)INV



### CONSTRUCTION NOTES

- ① ALL OVERHEAD UTILITIES IN 21ST STREET SHALL BE UNDERGROUNDED. OBTAIN PLAN FROM SCE FOR UG. APPLY FOR PERMIT FROM THE CITY. ABANDONED UTILITY WIRES SHALL BE CLEANED UP. CONTACT UTILITY COMPANY.
- ② CONSTRUCT 6" VCP SEWER LATERAL PER APWA STD PLAN N 222-1. CONNECTION IN TO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW "WYE". SADDLES SHALL NOT BE ALLOWED. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- ③ EXISTING SEWER LATERAL SHALL BE CAPPED AT MAIN IF SEWER LATERAL REPLACEMENT IS NOT AT SAME LOCATION. OBTAIN A PERMIT FROM PUBLIC WORKS FOR THE SEWER CAP. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- ④ NO TRASH AREA IS PERMITTED WITHIN THE PUBLIC RIGHT OF WAY.
- ⑤ NO METER BOXES ARE PERMITTED WITHIN 2 FT OF DRIVEWAY APPROACH. COORDINATE WITH CAL WATER TO RELOCATE, IF REQUIRED.
- ⑥ PROTECT SURVEY MONUMENT PER NOTE #10 OF THE GENERAL CONSTRUCTION NOTES HEREON IF REQUIRED.
- ⑦ TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENTS OF HEALTH SERVICES, "CRITERIA FOR THE SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES." TRENCHING SHALL BE PER CITY OF HERMOSA BEACH STANDARD PLAN No. 117. IF THE SEWER LATERAL CROSSES OVER WATER MAIN OR LESS THAN 12" VERTICAL CLEARANCE IS PROVIDED, 6" CONCRETE ENCASEMENT SHALL BE PROVIDED.
- ⑧ BACKFLOW PREVENTION VALVE.
- ⑨ 6" CLEANOUT.
- ⑩ ELECTRIC METER LOCATION.
- ⑪ UTILITY LINES SHALL BE PERMANENTLY IDENTIFIED ON CURB FACE. FONT 2" HEIGHT AND 1/4" DEPTH.
- ⑫ SAWCUT (E) PAVING.
- ⑬ INSTALL UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND DEPTH OF EXISTING MAIN UTILITY LINES (CONTACT DIG ALERT). COORDINATE WITH THE UTILITY COMPANY & PUBLIC WORKS PRIOR TO INSTALLATION. REPAIR PAVING TO MATCH EXISTING, PER CITY STANDARD PLAN No. 117. IF INSTALLATION IS IN A MORATORIUM STREET, PUBLIC WORKS WILL DETERMINE THE EXTENT OF THE AREA TO BE REPAVED. SEE GENERAL CONSTRUCTION NOTES ON C-1.
- ⑭ PROTECT IN PLACE EXISTING UTILITY.
- ⑮ GRIND AND CONSTRUCT 2" AC OVERLAY REMOVE AND REPLACE DETERIORATED PAVEMENT REPLACEMENT SHALL BE PER CITY STANDARD PLANS, PL TO PL TO CL, OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- ⑯ JOIN TO MATCH EXISTING JOINT.
- ⑰ 24" AC PATCHBACK.
- ⑱ CONSTRUCT 6" CURB HIGH & 18" WIDE GUTTER PER CITY STANDARD PLAN No. 101, TYPE A, FROM PL TO PL OR NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- ⑲ CONSTRUCT DRIVEWAY APPROACH PER CITY STANDARD No. 102 (W=26', X=3', Y=3').
- ⑳ CONSTRUCT SIDEWALK PER CITY STANDARD No. 106, CASE No. 3, FROM PL TO PL OR NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- ㉑ GAS METER LOCATION.

NOTE:  
FOR GRADING & DRAINAGE PLAN, SEE DRAWING C-3.

BENCH MARK:  
  
SET L&T RCE 30826  
1.00' N'LY OF CORNER  
ON PROP. LINE PRODS.  
TAG ELEV. = 64.17'  
  
SEE KEYNOTE ⑤ ON C-3.



REVISIONS		
No.	DESCRIPTION	DATE
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2	2ND SUBMITTAL	06/16/2025

**PERU CONSULTANTS, INC.**  
CIVIL ENGINEERING & DRAFTING SERVICES  
50641 Rockvalley Rd, Rancho Palos Verdes, CA 90275  
PH: (424) 404-7692, cell: (310)-270-0811  
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PLANS PREPARED BY:  
  
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

06/16/2025  
DATE

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**  
  
RECOMMENDED FOR PERMIT ISSUANCE:  
  
DATE

**PRIVATE IMPROVEMENT PLANS**  
  
**960 6TH STREET  
RENOVATION AND EXPANSION  
CIVIL PLANS**  
  
**PUBLIC IMPROVEMENTS**

FILE NUMBER  
24013-CIVIL  
  
BUILDING #:  
**C-4**  
SHT. 4 OF 7

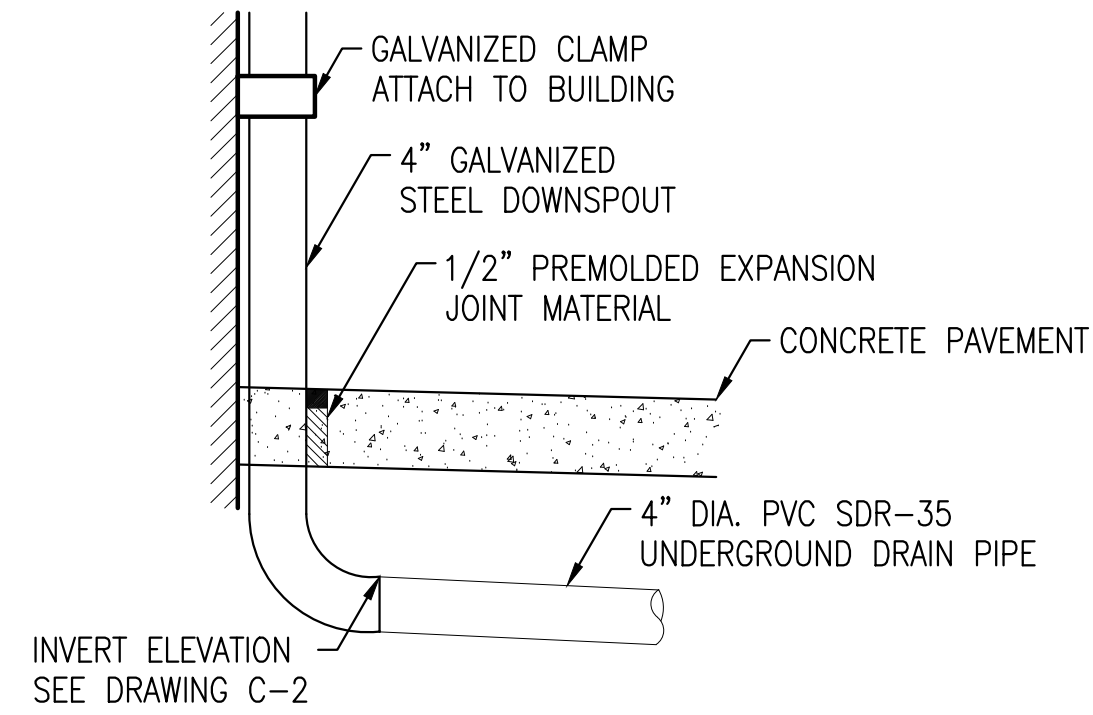
We put water in its place

### CATCH BASINS

#### 12" Catch Basin Series

Part No.	Description	Color	Pkg. Qty.	Wt. (Lbs.)	Product Class	Specifications
1200FF	12" Catch Basin Filter	Black Finish	8	5.10	196D	Polystyrene Frame, Filter to be removed per ASSE 900.1.3.1.1
1200GG	12" x 12" Catch Basin, 2 Open Sides	Black	4	4.85	196D	Adjustable Outlet Catch Basin. Sides adjust to 9 different outlet elevations.
1200GB	12" x 12" Catch Basin, 2 Open Sides	Black	4	5.45	196D	Polystyrene Frame, Filter to be removed per ASSE 900.1.3.1.1
1200G	Open Sides for 1200GB	Black	8	0.80	196D	Polystyrene Sides and Filter Sides
1200G	Plug Sides for 1200GB	Black	8	0.78	196D	Polystyrene Sides and Filter Sides
1200GG200	12" x 12" Catch Basin with 200 Mesh	Black	4	5.28	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200GG200	12" x 12" Catch Basin, 2 Open Sides	Green Grate	4	7.30	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200GG200	12" x 12" Catch Basin, 2 Open Sides	Black Grate	4	7.30	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200GG200	12" Basin with Water Decorative Grate	Black Grate	4	7.30	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200GG200	12" Basin with Water Decorative Grate	Green Grate	4	7.30	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 3 Openings	Black	4	4.25	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200S	12" x 12" Catch Basin, 3 Openings	Black	4	3.75	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200K	12" x 12" Catch Basin, 4 Openings	Black	4	3.75	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 2 Openings	Black	4	4.25	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 3 Openings	Black	4	3.75	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 4 Openings	Black	4	3.75	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 2 Openings	Black	4	4.25	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 3 Openings	Black	4	3.75	196D	12" x 12" Superior Catch Basin. Polystyrene.
1200	12" x 12" Catch Basin, 4 Openings	Black	4	3.75	196D	12" x 12" Superior Catch Basin. Polystyrene.

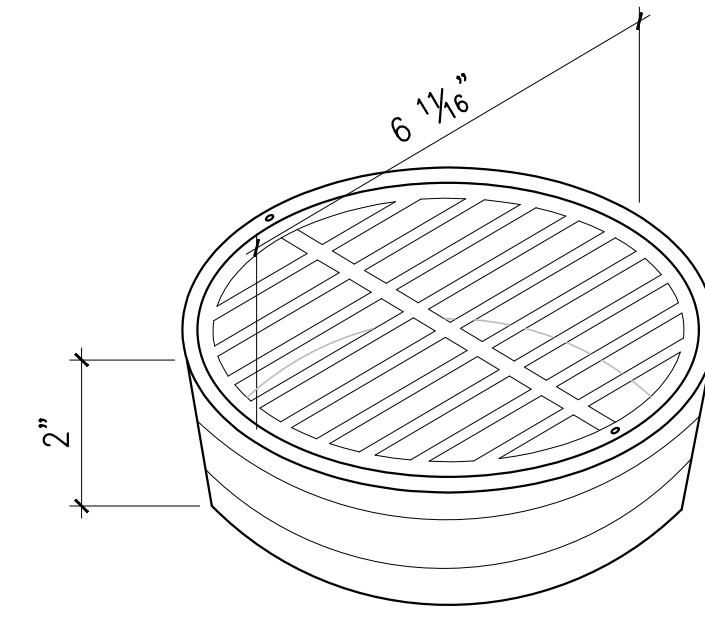
DRAINAGE



### DOWNSPOUT DETAIL

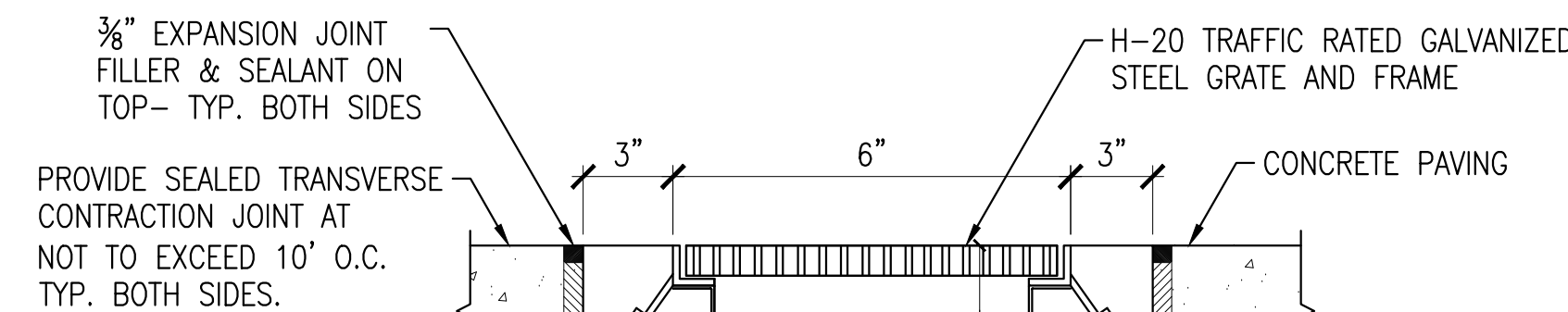
NOT TO SCALE

2  
C-5



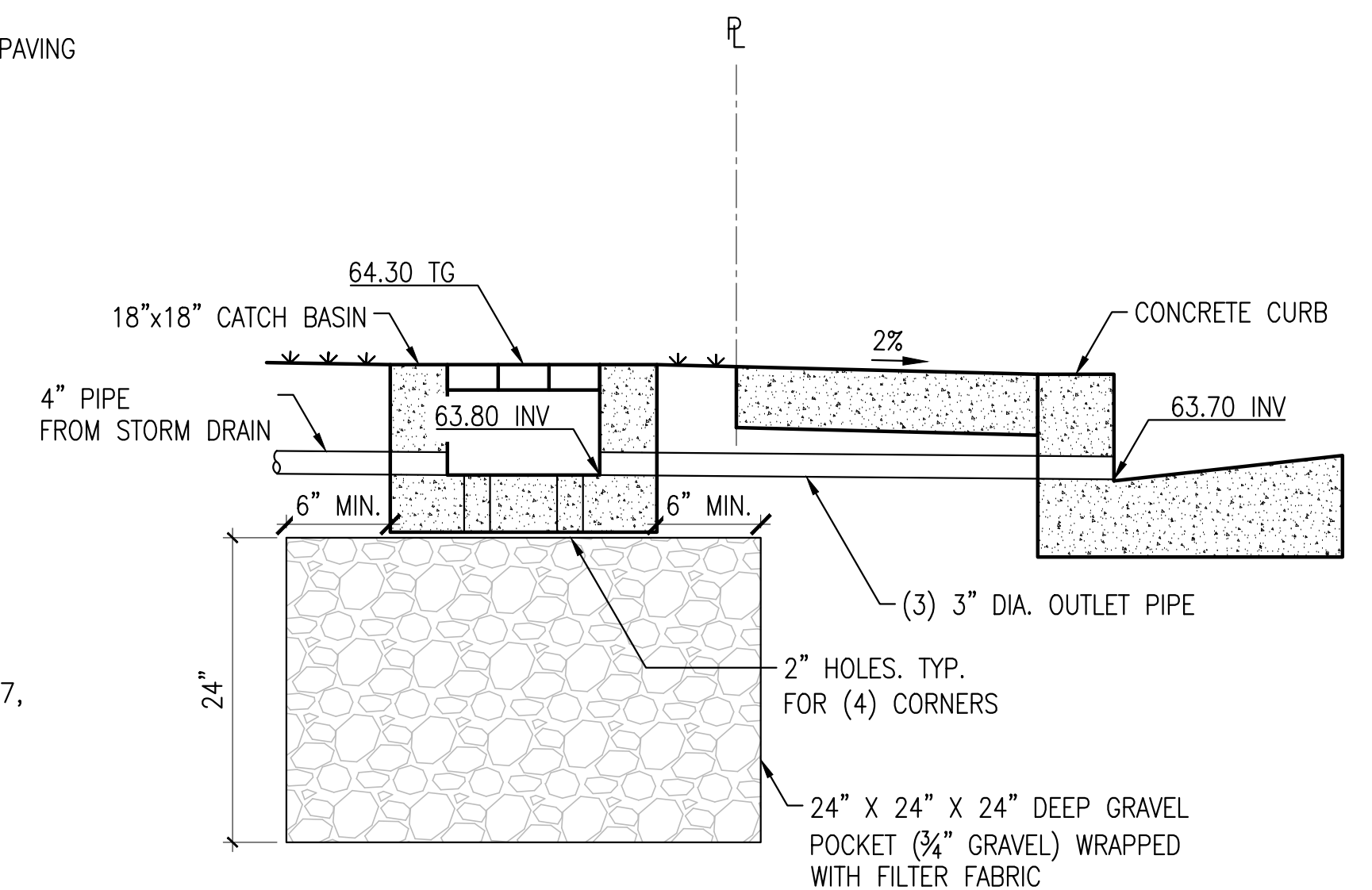
3/8" GRATE OPENING

FITS: USE WITH SPEE-D BASIN, 6" SEWER AND DRAIN FITTINGS, 6" CLASS 100 PIPE  
OPENING: 13.15 IN<sup>2</sup> OPEN SPACE WILL ACCOMMODATE 40.07 GALLONS PER MINUTE WITH 1/2" OF HEAD



FLOOR OF TRENCH DRAIN TO SLOPE MINIMUM 2% TO OUTLET PIPE

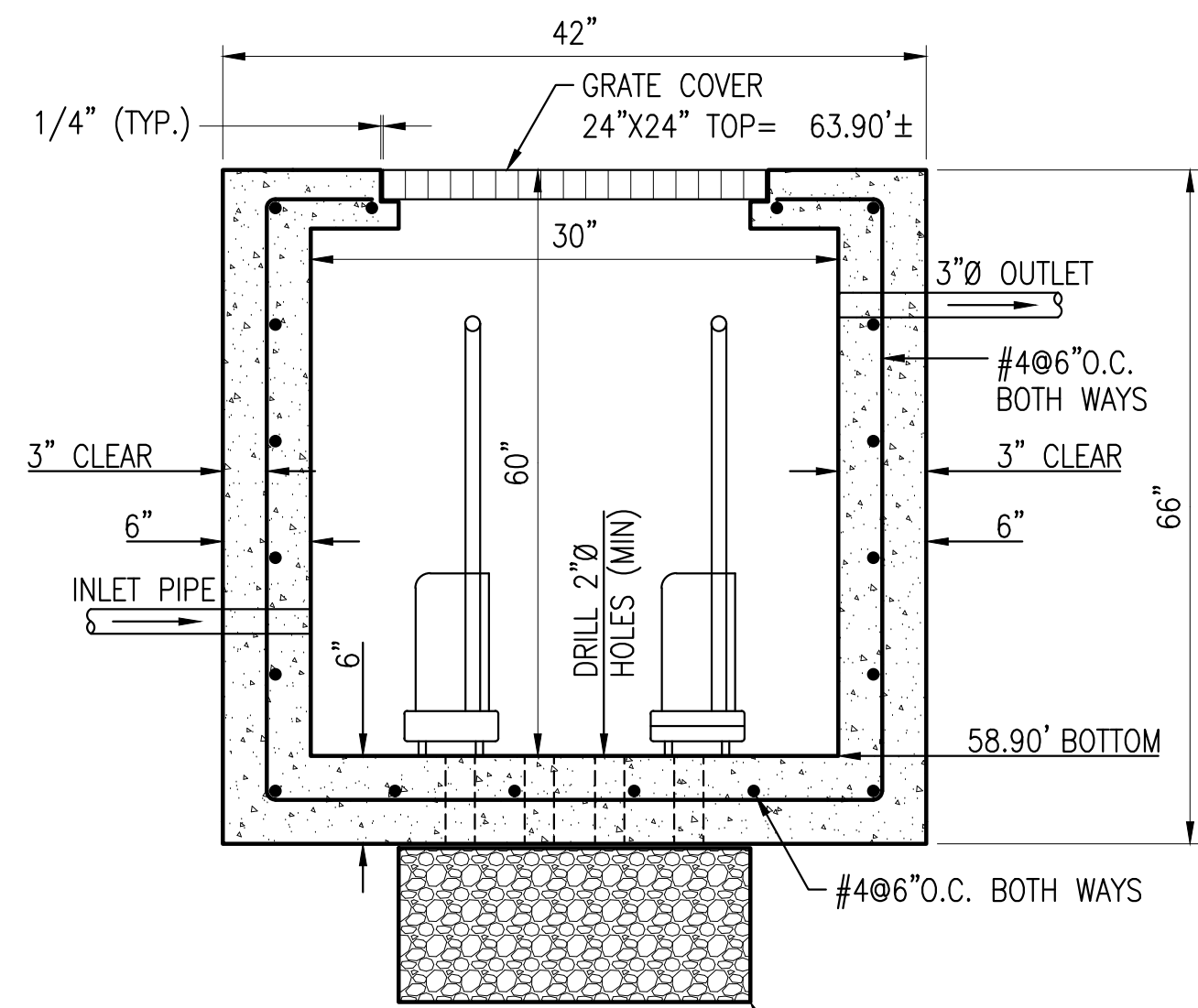
H2O TRAFFIC RATED TRENCH DRAIN PER NDS, CHANNEL MODEL DS-097, GRATE MODEL DS-2131 OR EQUAL.



### CATCH BASIN FILTER INSERT

NOT TO SCALE

1  
C-5



### SUMP BASIN DETAIL

INSTALL 24" DEEP DRYWELL WITH 3/4" ROCK WRAPPED IN FILTER FABRIC. (OR EQUAL)

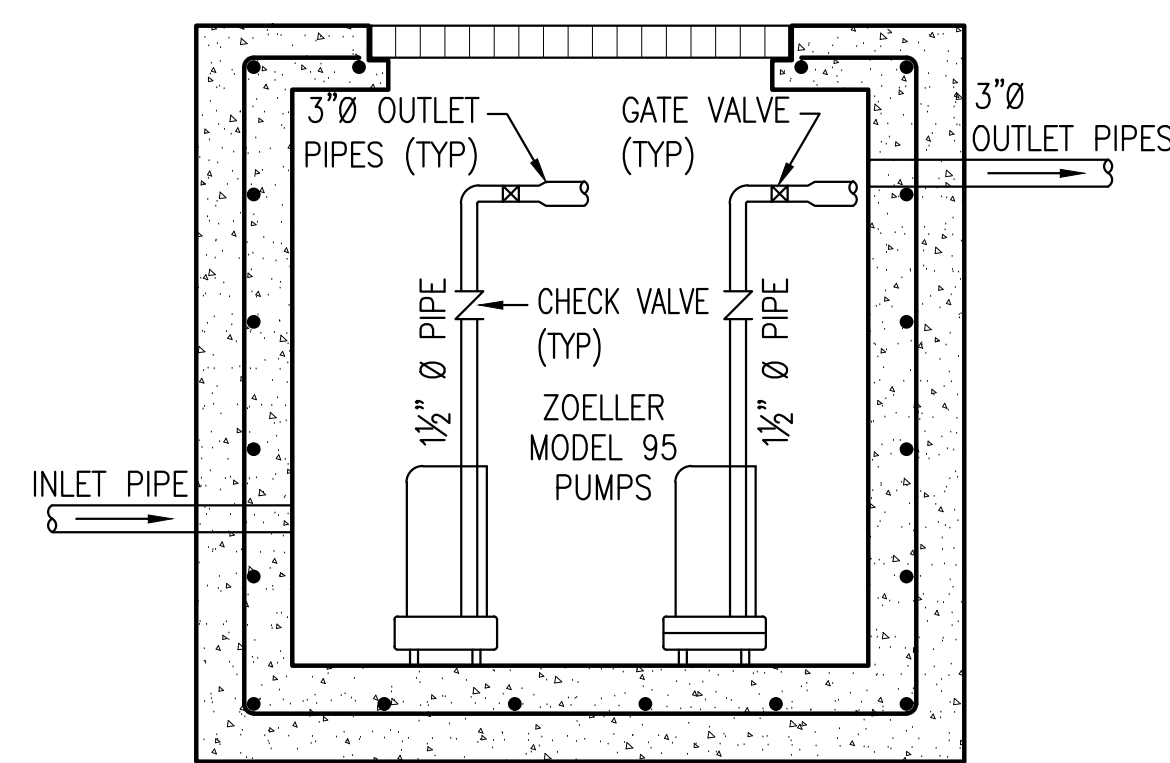
### SUMP PUMP DETAIL

NOT TO SCALE

### AREA DRAIN DETAIL

NOT TO SCALE

3  
C-5



NOTE:

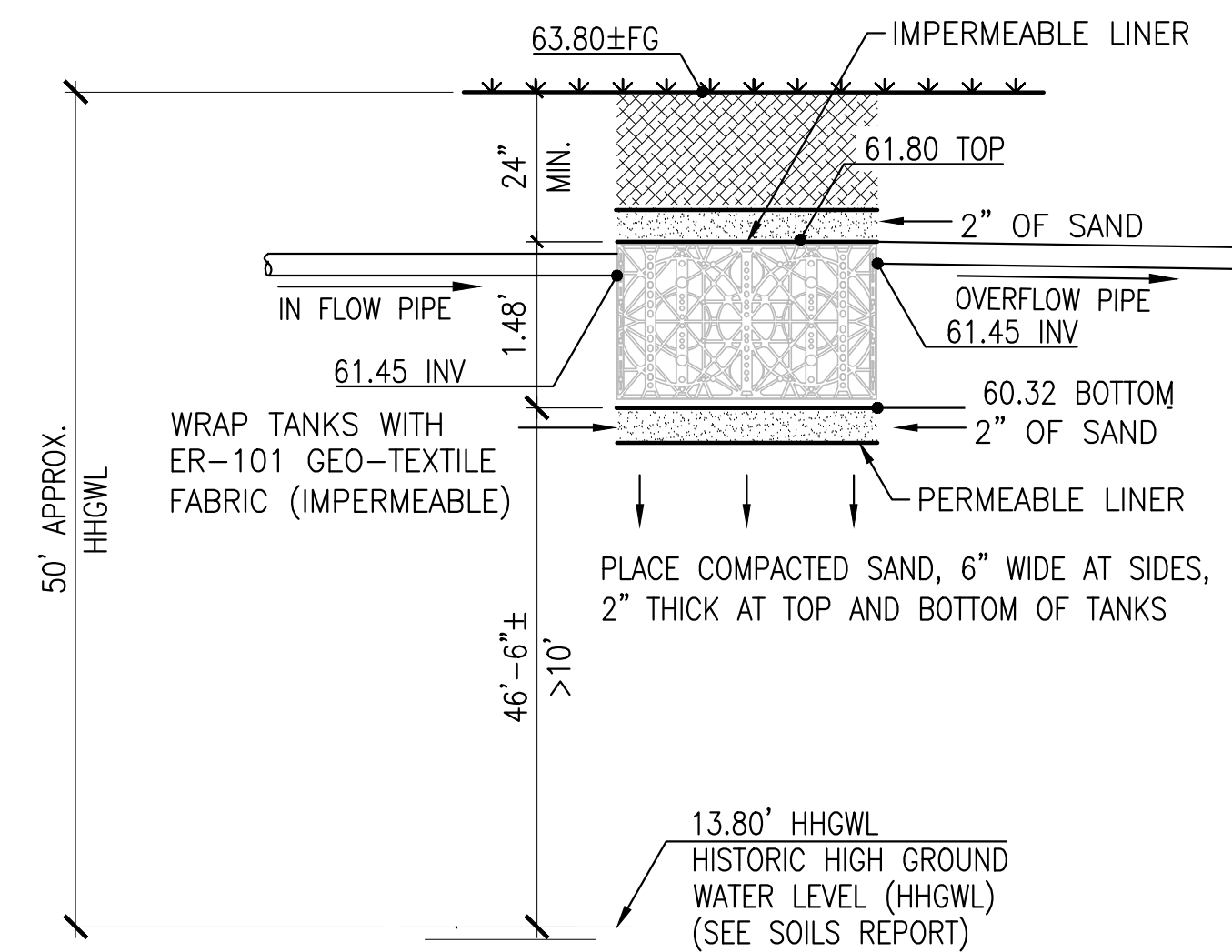
AN ALARM SYSTEM & MECHANICAL OR ELECTRICAL ALTERNATORS SHALL BE CONSIDERED FOR THE PUMP SYSTEM.

### PUMP INSTALL DETAIL

### TRENCH DRAIN

NOT TO SCALE

4  
C-5



SEE PLAN FOR DIMENSIONS.

### OUTLET PIPE THROUGH CURB

NOT TO SCALE

5  
C-5

#### INSTALLATION REQUIREMENTS:

- EXCAVATE TRENCH LARGER THAN SPECIFIED TANK SIZE.
- COMPACT BASE TO 35 PSI.
- ADD SAND TO BASE, COMPACT AND LEVEL WITH A STRAIGHT EDGE.
- LAY GEOTEXTILE MATERIAL IN BOTTOM AND ON SIDES OF TRENCH, ENOUGH TO FULLY WRAP TANK, WITH 12" SEAM OVERLAPS.
- INSTALL TANKS UPRIGHT FOR MAXIMUM STRENGTH.
- COVER ECORAIN TANKS WITH GEOTEXTILE MATERIAL-WRAP TIGHT, CUT AWAY EXCESS FOLDS, OVERLAP AND/OR SEAL JOINTS WITH TAPE.
- BACKFILL SIDES WITH SANDY FILL IN MAXIMUM 12" LAYER-COMPACTING EACH LAYER AT LEAST 95%.
- BACKFILL OVER TOP WITH 2" CLEAN SAND AND 6" MINIMUM TOP SOIL (60% SAND, 40% ORGANIC MATTER) AS SHOWN.

#### NOTE:

CONTACT STORMWATER SOLUTIONS REGARDING INSTALLATION.

### ECORAIN TANK DETAIL

NOT TO SCALE

7  
C-5

BENCH MARK:

SET L&T RCE 30826  
1.00' NLY OF CORNER  
ON PROP. LINE PRODS.  
TAG ELEV. = 64.17'

SEE KEYNOTE 5 ON C-3.



REVISIONS		
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PLANS PREPARED BY:  
  
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**PRIVATE IMPROVEMENT PLANS**

960 6TH STREET  
RENOVATION AND EXPANSION  
CIVIL PLANS

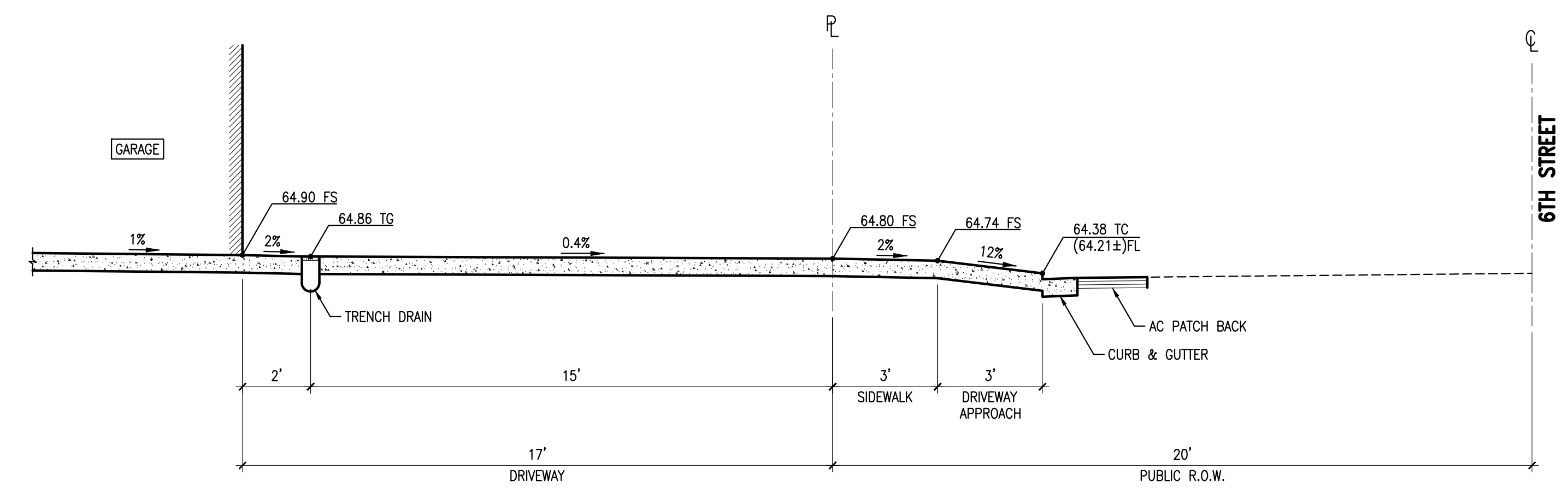
DETAILS

FILE NUMBER  
24013-CIVIL

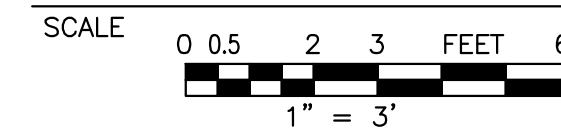
BUILDING #:

**C-5**

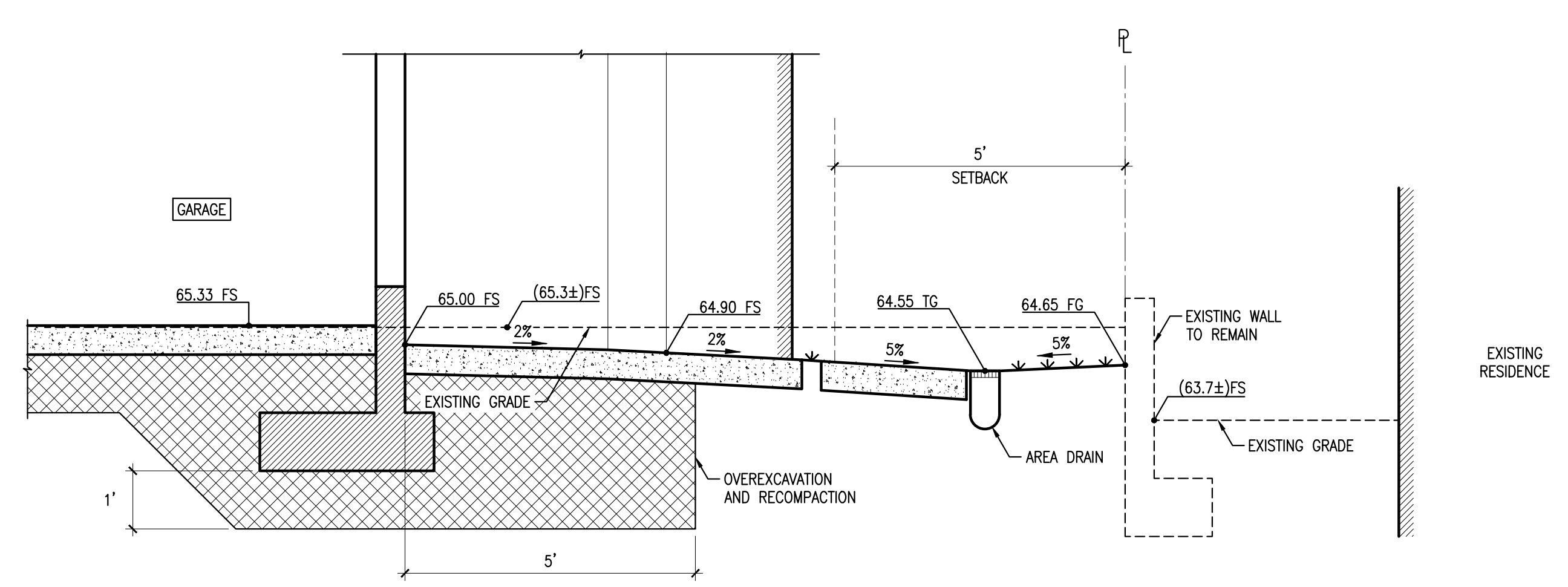
SHT. 5 OF 7



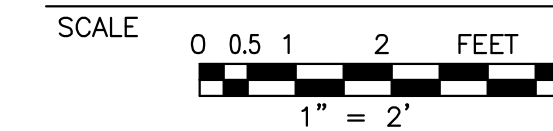
DRIVEWAY PROFILE



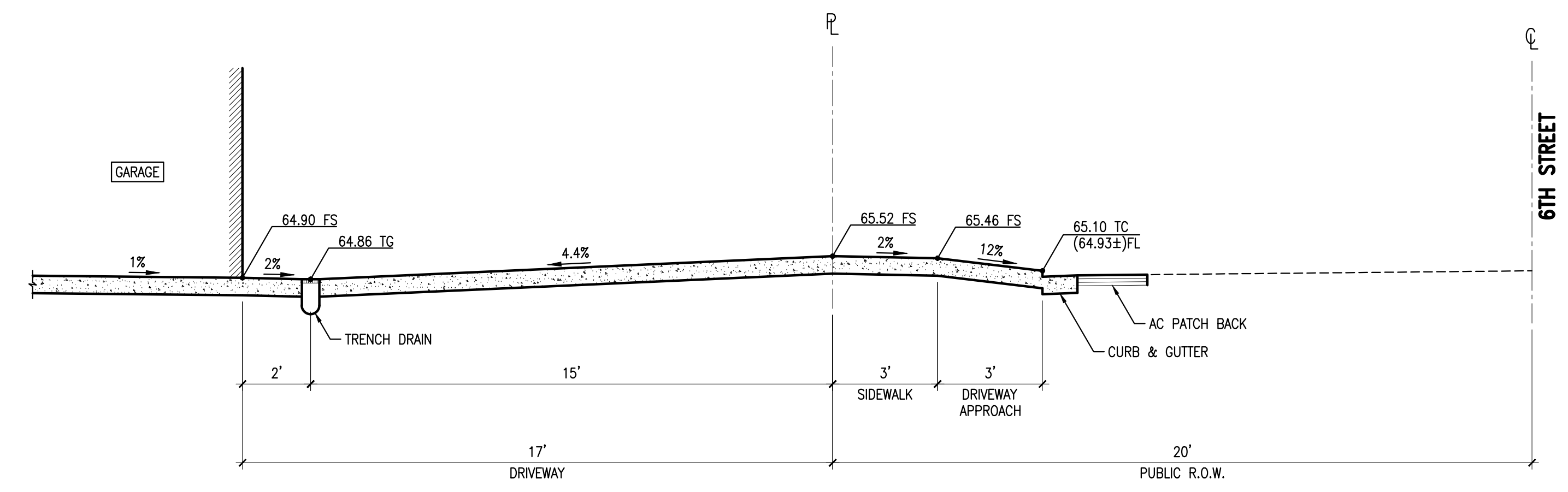
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C-6



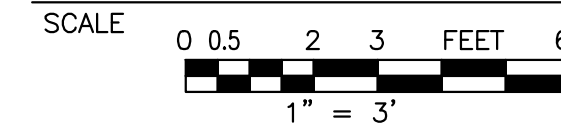
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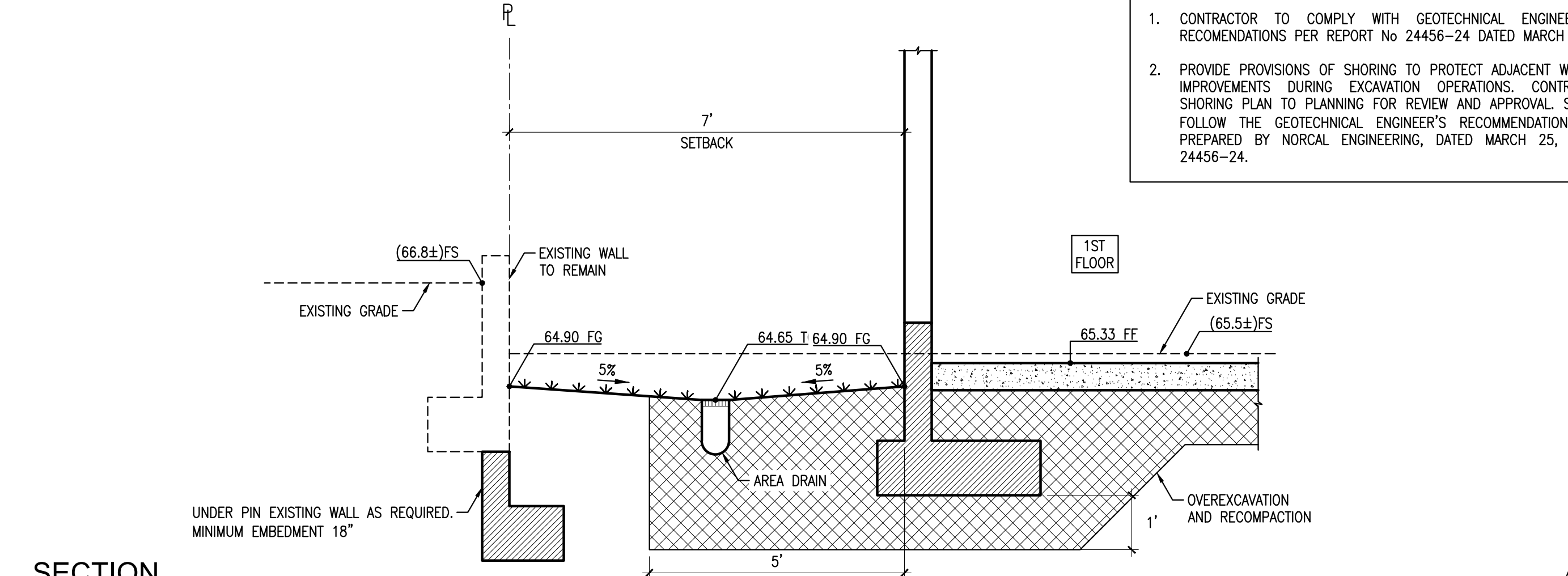
D  
C-6



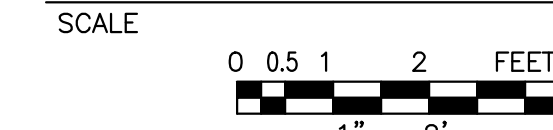
DRIVEWAY PROFILE



B  
C-6



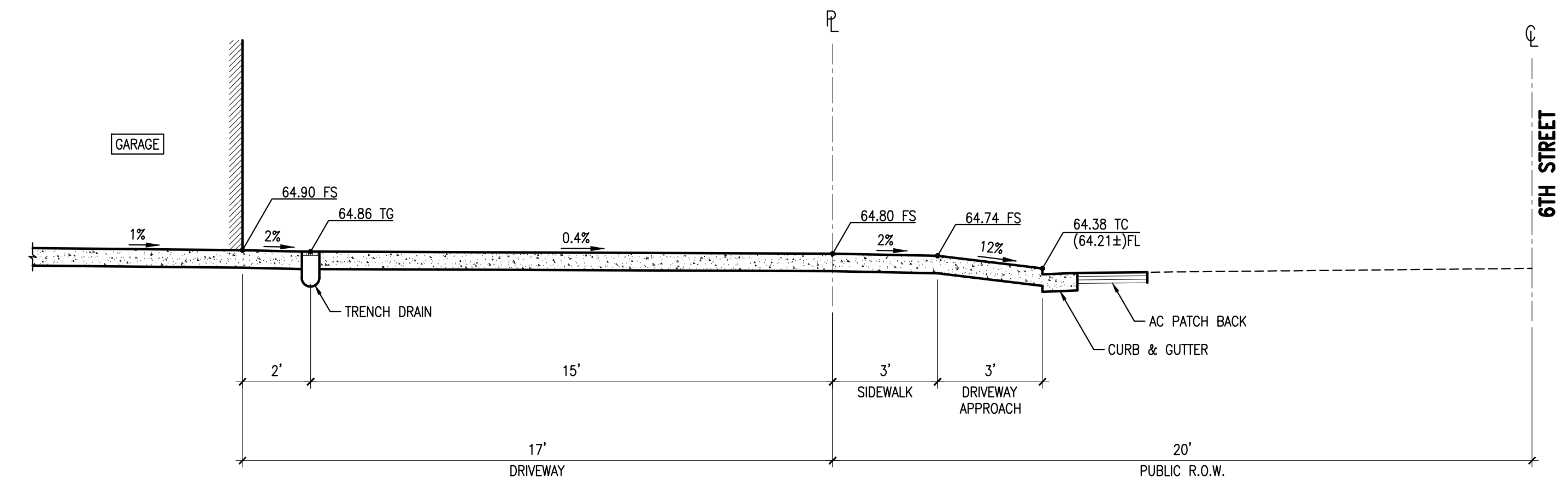
SECTION



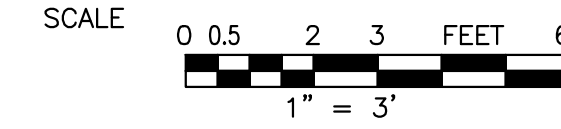
E  
C-6

**NOTE:**

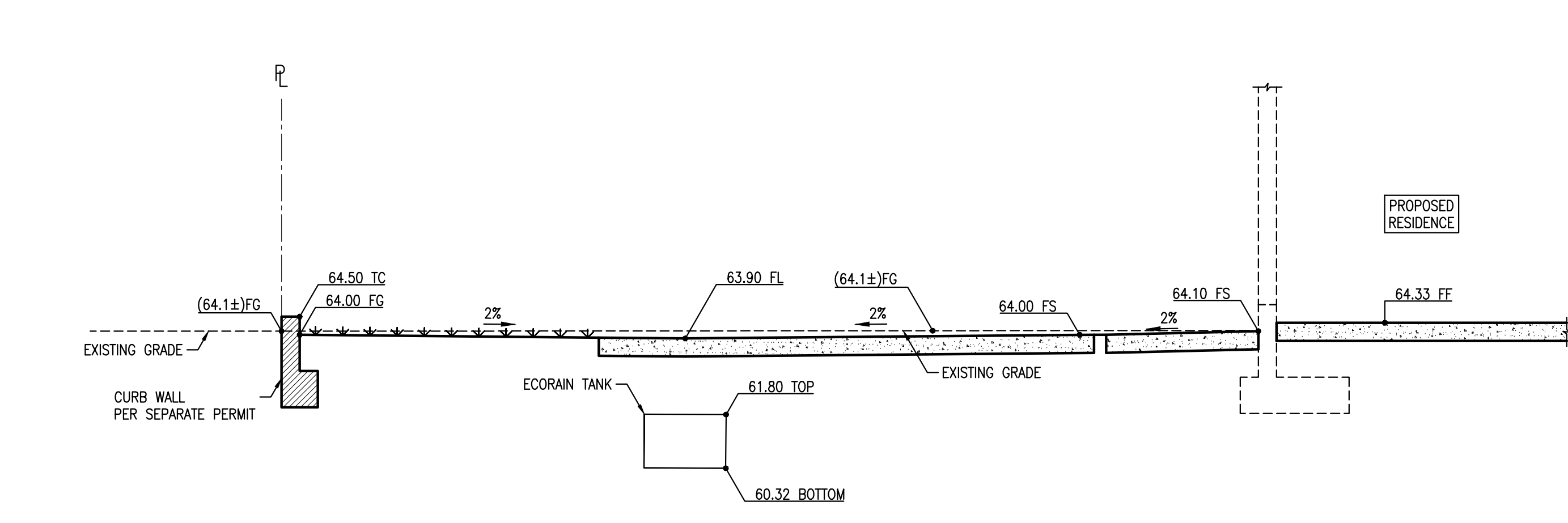
1. CONTRACTOR TO COMPLY WITH GEOTECHNICAL ENGINEER'S SITE GRADING RECOMMENDATIONS PER REPORT No 24456-24 DATED MARCH 25, 2024.
2. PROVIDE PROVISIONS OF SHORING TO PROTECT ADJACENT WALL AND ASSOCIATED IMPROVEMENTS DURING EXCAVATION OPERATIONS. CONTRACTOR TO SUBMIT SHORING PLAN TO PLANNING FOR REVIEW AND APPROVAL. SHORING PLAN SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS ON THE REPORT PREPARED BY NORCAL ENGINEERING, DATED MARCH 25, 2024, PROJECT No. 24456-24.



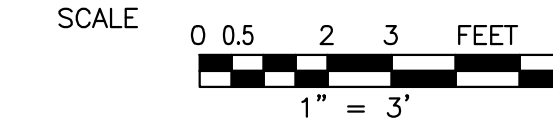
DRIVEWAY PROFILE



A  
C-6



SECTION



F  
C-6

BENCH MARK:  
SET L&T RCE 30826  
1.00' N'LY OF CORNER  
ON PROP. LINE PRODS.  
TAG ELEV. = 64.17'  
SEE KEYNOTE ⑤ ON C-3.



REVISIONS		
No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	04/12/2024
2	2ND SUBMITTAL	06/16/2025

**PERU CONSULTANTS, INC.**  
CIVIL ENGINEERING & DRAFTING SERVICES  
5061 Rockvalley Rd, Rancho Palos Verdes, CA 90275  
PH: (424) 404-7692, cell: (310) 270-0811  
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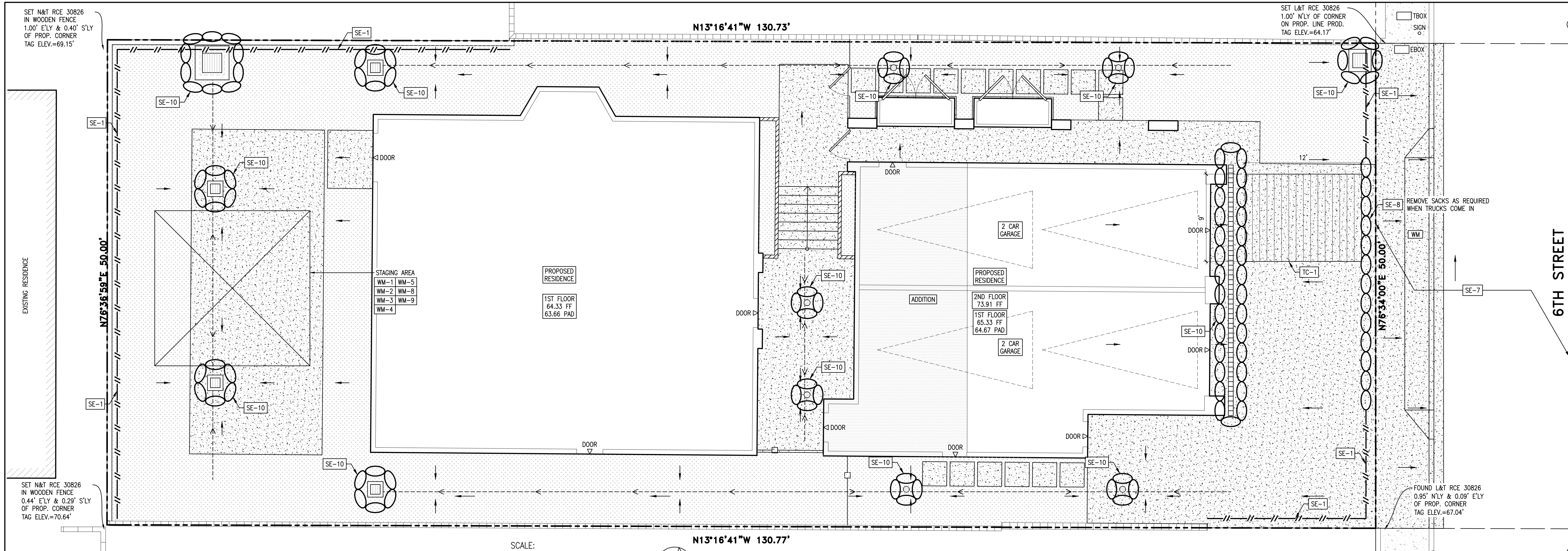
PLANS PREPARED BY:  
  
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680  
DATE: 06/16/2025

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**  
RECOMMENDED FOR PERMIT ISSUANCE:  
DATE

**PRIVATE IMPROVEMENT PLANS**  
**960 6TH STREET  
RENOVATION AND EXPANSION  
CIVIL PLANS**  
**DRIVEWAY PROFILES**

FILE NUMBER  
24013-CIVIL  
BUILDING #:  
**C-6**  
SHT. 6 OF 7

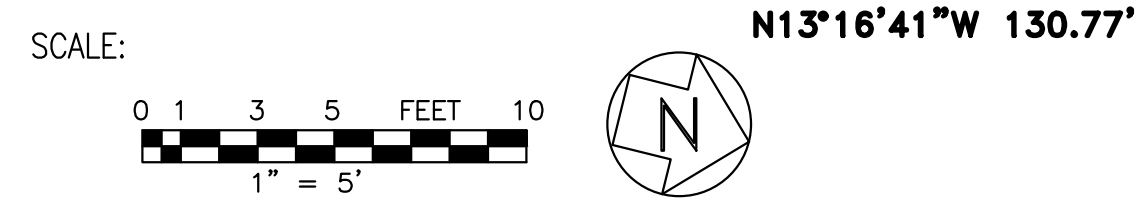




**OCEAN LAKE AND RIVER POLLUTION PREVENTION**

IT IS UP TO US. RAIN WATER OR URBAN RUN OFF MIXES WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE: OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PET WASTES, PESTICIDES AND LITTER. THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) WILL INSURE A CLEANER OCEAN AND CITY.

- GENERAL BUSINESS PRACTICES
  - AFTER BREAKING UP PAVING, STORE THEM UNDER COVER, WITH TEMPORARY ROOFS OR PLASTIC SHEETS, PROTECTED FROM RAINFALL, RUNOFF AND THE WIND.
  - SCHEDULE EXCAVATION AND GRADING WORK FOR DRY WEATHER.
  - DEVELOP AND IMPLEMENT EROSION AND SEDIMENT CONTROL PLANS FOR EMBANKMENTS.
- EQUIPMENT MAINTENANCE
  - MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY FOR LEAKS.
  - CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE AND REFUELING AT ONE LOCATION - AWAY FROM STORM DRAINS.
  - PERFORM MAJOR EQUIPMENT/VEHICLE REPAIRS AND WASHING WHERE IT IS PERMITTED.
  - DO NOT USE DIESEL OIL TO LUBRICATE OR CLEAN EQUIPMENT OR PARTS.
- ASPHALT AND CONCRETE REMOVAL
  - AFTER BREAKING UP PAVING, BE SURE TO REMOVE ALL CHUNKS AND PIECES. RECYCLE THEM AT A CRUSHING COMPANY. USE THE REFERRAL NUMBERS LISTED BELOW.
  - DISPOSE OF SMALL AMOUNTS OF DRY CONCRETE IN THE TRASH.
  - MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
  - SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT (888) 253-2652.
  - COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- ASPHALT AND CONCRETE DISPOSAL OPTIONS
  - USE A CRUSHING COMPANY LIKE THOSE LISTED BELOW TO RECYCLE CEMENT, ASPHALT AND PORCELAIN RATHER THAN TAKING THEM TO A LANDFILL.
    - BLUE DIAMOND, SOUTH GATE, (800) 371-8483
    - COPP CRUSHING, ANAHEIM, TEMECULA, CHINO AND SANTA FE SPRINGS, (714) 777-6400
    - RJ NOBLE, SANTA ANA, 714-637-1550
- DURING CONSTRUCTION
  - COVER CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
  - USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
  - NEVER WASH MATERIALS FROM EXPOSED AGGREGATE CONCRETE, ASPHALT, OR SIMILAR TREATMENTS INTO A STREET.
  - GUTTER OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF.
  - COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
  - AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
- SPILLS
  - NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND/OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION, CALL (888) 253-2652.
  - CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.



**DEWATERING NOTES:**

- UTILIZE APPROPRIATE DEWATERING SYSTEMS AND TECHNIQUES TO MAINTAIN THE EXCAVATED AREA SUFFICIENTLY DRY FROM GROUNDWATER AND/OR SURFACE RUNOFF SO AS NOT TO ADVERSELY AFFECT CONSTRUCTION PROCEDURES OR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND.
- PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC WHERE REQUIRED FOR UNDERDRAIN SYSTEMS. THE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
- WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SANITARY SEWER SYSTEM. SILTATION BARRIERS SHALL BE UTILIZED AS NECESSARY.
- WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL THE AREAS OF WORK IN SUITABLE DRY CONDITION.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW WORK FROM FLOODING DURING STORMS OR FROM OTHER CAUSES. GRADING IN THE AREAS SURROUNDING ALL EXCAVATIONS SHALL BE PROPERLY SLOPED TO PREVENT WATER FROM RUNNING INTO THE EXCAVATED AREA OR TO ADJACENT PROPERTIES. WHERE REQUIRED, TEMPORARY DITCHES SHALL BE PROVIDED FOR DRAINAGE. UPON COMPLETION OF THE WORK AND WHEN DIRECTED, ALL AREAS SHALL BE RESTORED IN A SATISFACTORY MANNER AND AS DIRECTED.
- ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
- UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED. WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET THE SUBGRADE DENSITY REQUIREMENTS DUE TO IMPROPER DEWATERING TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE INSPECTOR.

**BMP SELECTION AND LEGEND:**

BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CASQA.ORG.

THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:

- EC-1 PROJECT SCHEDULE
- EC-2 PRESERVATION OF EXISTING VEGETATION
- NS-1 WATER CONSERVATION
- NS-3 PAVING AND GRINDING
- NS-6 DISCHARGE REPORTING
- NS-7 POTABLE WATER/IRRIGATION
- NS-8 VEHICLE CLEANING
- NS-9 VEHICLE FUELING
- NS-10 VEHICLE MAINTENANCE
- WE-1 WIND EROSION CONTROL

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN:

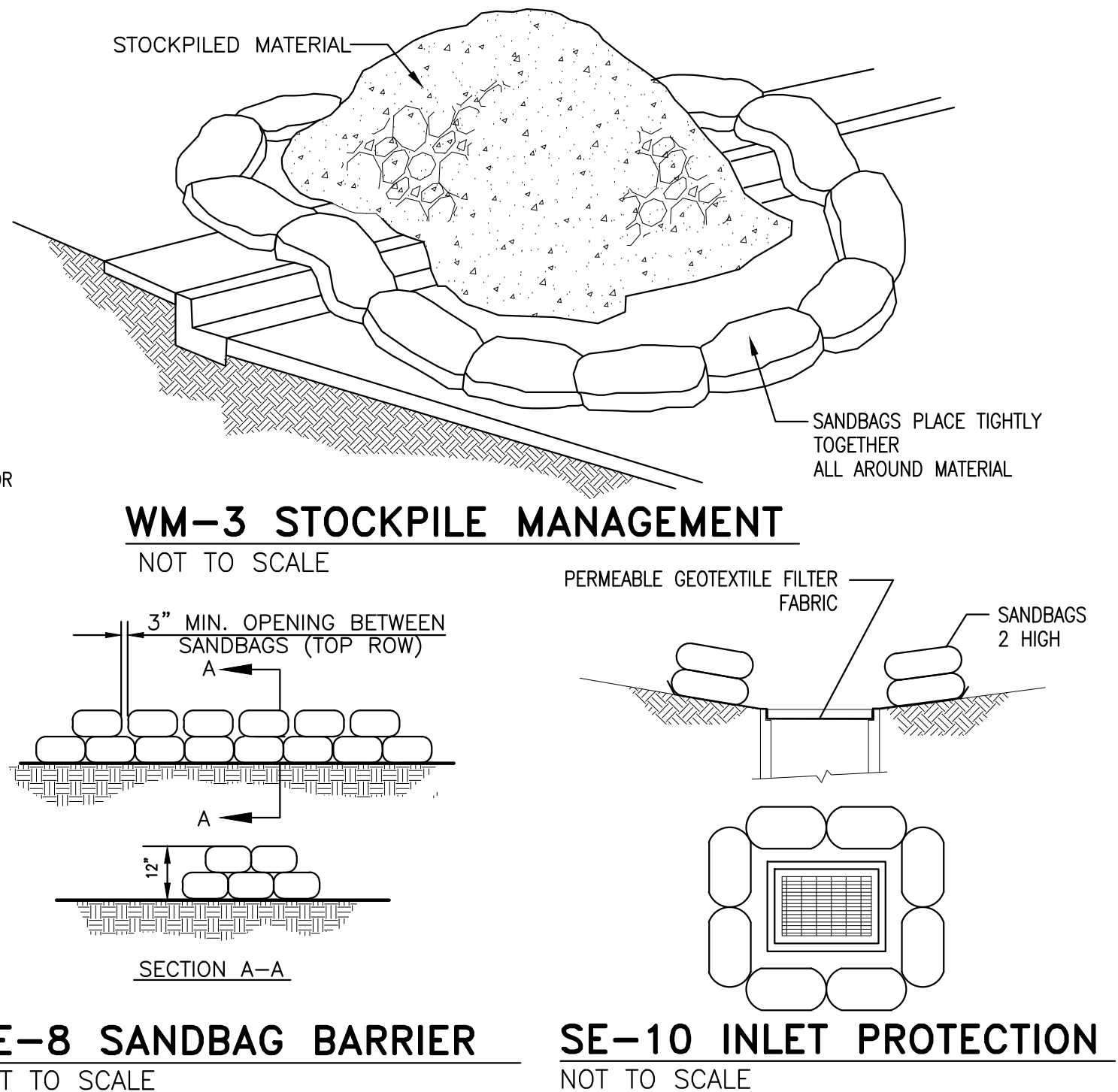
- SE-7 STREET SWEEPING AND VACUUMING
- SE-8 SANDBAG BARRIER
- SE-10 INLET PROTECTION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT

THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:

- WM-1 MATERIAL STORAGE
- WM-2 MATERIAL USAGE
- WM-3 STORAGE MANAGEMENT
- WM-4 SPILL PREVENTION KIT
- WM-5 SOLID WASTE (TRASH)
- WM-8 CONCRETE WASTE (WASHOUT)
- WM-9 SEPTIC/SANITARY FACILITIES

**MATERIAL STORAGE:**

- DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
- ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.



BENCH MARK:  
SET L&T RCE 30826  
1.00' N'LY OF CORNER  
ON PROP. LINE PRODS.  
TAG ELEV. = 64.17'  
SEE KEYNOTE 5 ON C-3.



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PLANS PREPARED BY:  
  
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

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RECOMMENDED FOR PERMIT ISSUANCE:  
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**PRIVATE IMPROVEMENT PLANS**  
960 6TH STREET  
RENOVATION AND EXPANSION  
CIVIL PLANS  
EROSION CONTROL PLAN

FILE NUMBER: 24013-CIVIL  
BUILDING #: C-7  
SHT. 7 OF 7