



PUBLIC WORKS CONT.	PUBLIC WORKS	BUILDING AND SAFETY CONT.	BUILDING AND SAFETY	PLANNING NOTES	EGRESS NOTES	GENERAL CONSTRUCTION CONT.	GENERAL CONSTRUCTION													
<p>23) THE CONTRACTOR SHALL MONITOR, SUPERVISE AND CONTROL ALL CONSTRUCTION AND CONSTRUCTION SUPPORTIVE ACTIVITIES, SO AS TO PREVENT THESE ACTIVITIES FROM CAUSING A PUBLIC NUISANCE, INCLUDING BUT NOT LIMITED TO, ENSURING STRICT ADHERENCE TO THE FOLLOWING:</p> <p>(A) REMOVAL OF DIRT, DEBRIS, OR OTHER CONSTRUCTION MATERIAL DEPOSITED ON ANY PUBLIC STREET NO LATER THAN THE END OF EACH WORKING DAY.</p> <p>(B) ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.</p> <p>(C) ALL DUST CONTROL MEASURES PER SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) REQUIREMENTS SHALL BE ADHERED TO DURING CONSTRUCTION OPERATIONS.</p> <p>(D) ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.</p>	<p>1) ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.</p> <p>2) NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A DRAINAGE BASIN MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY SHALL BE PROHIBITED. DEBRIS GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/TRASH LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.</p> <p>3) EROSION AND SEDIMENT CONTROL DEVICES BMP'S (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMP'S MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.</p> <p>4) ALL STORM WATER, NUISANCE WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO 5TH STREET THROUGH THE DRAIN SURFACE WATER AREA FROM FOUNDATION WALLS - PER C.R.C. SECTION R401.3.</p> <p>5) ALL CONCENTRATED RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO 5TH STREET THROUGH THE DRAIN SURFACE WATER AREA FROM FOUNDATION WALLS - PER C.R.C. SECTION R401.3.</p> <p>6) IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS - PER C.R.C. SECTION R401.3.</p> <p>7) SIDEWALK, DRIVEWAY, CURB AND GUTTER CONSTRUCTION, REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, ST-3 AND ST-10. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERCENTAGE (%) OF SLOPE ON DRIVEWAY, AND DRIVEWAY ELEVATIONS FOR EACH SIDE AND THE MIDDLE. IN THE CASE WHERE THE DRIVEWAY IS TO BE CONSTRUCTED OVER EXISTING DRIVEWAY FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15% (CITY RECOMMENDS THAT GARAGE FINISH FLOOR ELEVATION DESIGN PLANS BE HIGHER THAN EXISTING STREET GRADES, IN ORDER TO MINIMIZE POSSIBILITY OF ANY FUTURE FLOODING IN THE GARAGE). CITY PLANS/SURVEY MUST SHOW ELEVATIONS FOR EACH ADJOINING PROPERTY AND DEVIATIONS IN ELEVATIONS BETWEEN PROPERTIES SHALL EXCEED MORE THAN 1".</p> <p>8) DRIVEWAY PROFILES EXCEEDING 10% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 15% ARE NOT PERMITTED.</p> <p>9) THE BACK OF DRIVEWAY APPROACH MUST BE SIX INCHES HIGHER THAN THE FLOW LINE ON THE STREET. M.B.M.C. 9.76.030. THE DRIVEWAY APRON ON PACIFIC PLATE MUST BE IMPROVED PER CITY STANDARD PLANS.</p> <p>10) CONSTRUCT SIDEWALK ALONG THE FULL FRONTAGE OF 5TH STREET PER CITY STANDARD PLANS.</p> <p>11) IF THE PROPERTY IS LOCATED ON A CORNER LOT, CONSTRUCTION OF AN ACCESSIBLE CURB RAMP MAY BE REQUIRED PER CITY STANDARD PLANS.</p> <p>12) CONTRACTOR TO PROTECT IN PLACE ALL EXISTING PROPERTY CORNERS DURING CONSTRUCTION. IF ANY OF THE PROPERTY CORNERS ARE REMOVED OR DESTROYED DURING CONSTRUCTION, IT WOULD BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THEM.</p> <p>13) ALL EXISTING OR CONSTRUCTION RELATED DAMAGES OR DISPLACED CURB/GUTTER, SIDEWALK, DRIVEWAY APPROACH OR STREET SHALL BE REPAIRED OR RESTORED PER CITY STANDARD PLANS. ADDITIONAL PUBLIC IMPROVEMENTS MAY BE REQUIRED DURING AND/OR NEAR THE COMPLETION OF CONSTRUCTION PER M.B.M.C. 9.72 AS DETERMINED BY THE PUBLIC WORKS INSPECTOR BASED ON CONDITIONS OF PUBLIC IMPROVEMENTS.</p> <p>14) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, WALLS/FENCES, AND/OR TREES AROUND THE PROPERTY IF THEY ARE DAMAGED, LOST OR REMOVED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIES.</p> <p>15) NEW 6" VCP SEWER LATERAL WILL BE INSTALLED IF THE EXISTING LATERAL IS LESS THAN 6" IN DIAMETER PLAN ST-5, SEWER M.B.M.C. 5.36 AND CITY STANDARD PLAN ST-5. SEWER CLEANOUT SHOULD BE LOCATED WITHIN PRIVATE PROPERTY LINES. A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM FIXTURES WITH FLOOD LEVEL RIMS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER (PER CITY STANDARD PLAN ST-24).</p> <p>16) IF ANY EXISTING SEWER LATERAL (6" MINIMUM) IS USED, IT MUST BE TESTED TO CHECK ITS STRUCTURAL INTEGRITY PRIOR TO ANY DEMOLITION WORK. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT AND MUST SHOW PROOF OF THE LOCATION OF WHERE IT WAS SHOT. THE PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY SEWER LATERAL NEEDS REPAIRING, REPLACED, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION. VIDEOING OF LATERAL MUST BE IN ITS ORIGINAL STATE. NO CLEANING, FLUSHING OR ALTERING PRIOR TO VIDEOING IS PERMITTED.</p> <p>17) IF A NEW SEWER LATERAL IS TO BE INSTALLED AT A DIFFERENT LOCATION ON THE SEWER MAIN LINE, THE OLD LATERAL MUST BE CAPPED AT THE PROPERTY LINE AND AT THE MAIN LINE. PRIOR TO STRUCTURE DEMOLITION A SEWER CAP VERIFICATION AND APPROVAL FROM PUBLIC WORKS INSPECTOR IS REQUIRED.</p> <p>18) WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER PLACEMENT MUST BE SHOWN ON THE PLANS. SEE CITY STANDARD PLAN ST-15. FOR EXISTING WATER SERVICE RELOCATIONS AND/OR ABANDONMENT, WATER SERVICE MUST BE CAPPED AT THE MAIN AND AT THE METER.</p> <p>19) THE WATER METER BOX MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.</p> <p>20) RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED/INFILED.</p> <p>21) ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A, C-12 OR C-34 LICENSE FOR ALL TRENCHING AND PAVING OR A CLASS C-08 LICENSE FOR ALL CONCRETE WORK. A CLASS B LICENSE MAY BE ACCEPTABLE FOR MINOR CURB, GUTTER AND SIDEWALK WORK. CONSTRUCTION IN CONJUNCTION WITH A SINGLE-FAMILY RESIDENTIAL STRUCTURE, A SEPARATE PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.</p> <p>22) PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.</p>	<p>23) LAUNDRY VENTILATION: LAUNDRY VENTILATION EXHAUST SHALL TERMINATE AT LEAST 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO ANY BUILDINGS. [CMC 504.5]</p> <p>24) CLOTHES DRYER DUCT: A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4 INCHES IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. [CMC 504.4.1]</p>	<p>1) CONSTRUCTION TIMES: CONTRACTOR SHALL CONFIRM HOURS FOR CONSTRUCTION ACTIVITY WITH LOCAL AGENCY AND ONLY OPERATE DURING APPROVED HOURS. NO CONSTRUCTION IS PERMITTED OUTSIDE OF THOSE HOURS.</p> <p>2) CONSTRUCTION SIGNS: THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SIGNS FOR CONSTRUCTION SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE REQUIRED SIGNAGE AT THE PROJECT SITE AT ALL TIMES.</p> <p>3) CONSTRUCTION FENCE: THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE PER CBC 3303 AT THE PUBLIC RIGHT-OF-WAY FOR PEDESTRIAN PROTECTION IF ANY WORK IS TO BE PERFORMED ON ANY BUILDING OR STRUCTURE ADJACENT TO THE PUBLIC RIGHT-OF-WAY.</p> <p>4) DEMOLITION: NO DEMOLITION SHALL COMMENCE WITHOUT A VALID DEMOLITION PERMIT. WORK COMMENCES WITHOUT A VALID PERMIT MAY BE SUBJECT TO A SPECIAL INVESTIGATION BEFORE A PERMIT MAY BE ISSUED.</p> <p>5) GRADING PERMIT: A GRADING PERMIT IS REQUIRED WHEN GRADING OF EXISTING OR NEW COLD WATER SUPPLY LINE DEPTH OF 3' OR MORE AND/OR 200 CUBIC YARDS. SUBMIT THE GRADING PLAN AND SOIL REPORT TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR OTHER APPROVED MEANS OF EXCAVATING. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.</p> <p>6) SHORING PERMIT: A SHORING PERMIT IS REQUIRED FOR SHORING OF EXISTING OR NEW CONCRETE OR GREATER THAN 5' IN HEIGHT. ENGINEERED SHORING PLAN, CALCULATIONS AND SOIL REPORTS MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PER SECTION 3301.2 OF THE CBC. THE HOLDER OF A SHORING PERMIT SHALL NOTIFY IN WRITING ALL THE OWNERS OF ADJOINING PROPERTIES NOT LESS THAN 10 DAYS BEFORE SUCH EXCAVATION BEGINS. WRITTEN CONSENT FROM EACH IS ALSO REQUIRED - A COPY OF WHICH SHALL BE SUBMITTED TO THE BUILDING DIVISION. SHORING CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.</p> <p>7) SANDBLASTING: THE SANDBLASTING MUST BE WET SANDBLASTING AND ALL THE PRECAUTIONARY MEASURES MUST BE TAKEN BY THE CONTRACTOR TO PROTECT THE LIFE AND PROPERTY OF NEIGHBORS, RESIDENTS, AND THE PUBLIC. THE CONTRACTOR SHALL BE NOTIFIED AT LEAST (2) DAYS PRIOR TO SANDBLASTING.</p> <p>8) SITE DRAINAGE: PROVIDE ROOF GUTTERS AND DOWNSPOUTS OR CONCRETE PAVEMENT/SWALE ON THE GROUND TO DIVERT OR CARRY SURFACE WATER AWAY FROM THE BUILDING TO CATCH BASIN AND DRAIN PIPES THROUGH CURB TO THE STREET AND STORM DRAIN SYSTEM.</p> <p>9) STAIRWAYS: THE WIDTH OF STAIRWAYS SHALL BE 36" MIN CLEAR TAKEN FROM THE FACE OF THE FINISH GUARD RAIL OR HANDRAIL PICKETS SHALL HAVE A MAXIMUM 4" SPACING BETWEEN PICKETS.</p> <p>10) GARAGE DOOR: GARAGE DOOR OPENING INCLUDING HARDWARE SHALL BE 7" MINIMUM AND 18" WIDE. GARAGE DOOR SPRINGS AND OPENERS SHALL BE STATE-APPROVED AND WITH MANUFACTURER'S LABEL. THE DOOR LEADING FROM THE GARAGE TO THE DWELLING UNIT SHALL BE A 20 MINUTE FIRE RATED, 1-3/8" SOLID WOOD, SELF-CLOSING, AND TIGHT FITTING DOOR.</p> <p>11) NAILS: ONLY COMMON NAILS SHALL BE PERMITTED FOR THE REQUIRED NAILING OF VERTICAL AND HORIZONTAL DIAPHRAGMS SUCH AS SHEAR WALLS AND ROOF/FLOOR SHEATHINGS RESPECTIVELY.</p> <p>12) REBAR WELDING: WELDING OF REBAR SHALL COMPLY WITH CBC, STANDARD 19-1. THE CONTRACTOR IS TO SUBMIT WELDING PROCEDURES AND QUALIFICATION OF DEPUTY SPECIAL INSPECTOR IN ACCORDANCE WITH THE SPECIAL INSPECTION PROGRAM TO THE BUILDING DIVISION FOR APPROVAL PRIOR TO ANY WELDING WORK.</p> <p>13) FUTURE UTILITIES: CONTRACTOR TO PROVIDE UNDERGROUND CONDUIT FOR FUTURE ELECTRICAL LINES AT THE FRONT OF THE PROPERTY IN ACCORDANCE WITH THE SPECIAL COORDINATE WITH THE INSPECTOR FOR ADDITIONAL COMMENTS.</p> <p>14) EXTERIOR WALL ASSEMBLIES: 1 - TWO LAYERS OF GRADE D OR 60-MINUTE GRADE D PAPER APPLIED OVER WOOD BASE SHEATHING. (CRC R703.7.2 & R703.2). 2 - A MINIMUM OF 0.019 INCH (No. 26 GALVANIZED SHEET PAPER) CORROSION-RESISTANT WEEP SCREED. (CRC R703.1.1 & R703.7.2.1). 3 - THE SCREED SHALL BE INSTALLED WITH THE WEEP OPENINGS LOCATED A MINIMUM 1 INCH BELOW THE FOUNDATION PLATE LINE AND 4 INCHES ABOVE THE FINISH GRADE OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.1.1 & R703.7.2.1). 4 - BEHIND SIDING PROVIDE MINIMUM OF ONE LAYER OF No. 15 ASPHALT FELT, FREE FROM HOLES AND BREAK COMPLYING WITH (CRC R703.7.2.1). 5 - THE FELT SHALL BE APPLIED OVER WALLS. (CRC R703.2).</p> <p>15) BUILDING PAPER & WEEP: BUILDING PAPER & WEEP SCREED SHALL BE PROVIDED AND DETAILED BEHIND ADHERED AND/OR ANCHORED STONE OR MASONRY VENEER, SIMILAR TO STUCCO WALL ASSEMBLIES. (CRC R703.8)</p> <p>16) SLEEPERS OR SILLS: SLEEPERS OR SILL ON A CONCRETE OR MASONRY SLAB IN DIRECT CONTACT WITH EARTH SHALL BE MADE OF PRESERVATIVE-TREATED WOOD, OR PRESERVATIVE-TREATED WOOD. (R317.1 CRC)</p> <p>17) VENEER: VENEER IS LIMITED TO LESS THAN 2 INCHES THICK AND LESS THAN 25 PSF INSTALLED SYSTEM WEIGHT. (CRC R703.3(1))</p> <p>18) OUTDOOR LIGHTING: PER 150.0 (R)3A OUTDOOR LIGHTING MUST EITHER HAVE PHOTOCELL AND MOTION SENSOR, OR PHOTO CONTROL, AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM. SHOW ALL EXTERIOR LIGHTING ON THE PLANS.</p> <p>19) WATER HEATER: REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE: (BEES 150.0 (N)A00) a. A 120V electrical receptacle that is within 3 feet from the water heater. b. A Category III or IV vent, or a Type B vent with straight pipe. c. Condensate drain that is no more than 2 inches higher than the finish surface below. d. A gas vent with available capacity for not less than a 200,000 BTU/hr system. e. All Plumbing fixtures and fittings shall comply with the following maximum flowrates: (CSBSC 4.303.1) a. Water Closets 1.28 gallons/flush b. Showerheads - single 1.8 gpm @ 80 psi c. Showerheads - multiple 1.9 gpm @ 80 psi combined d. Lavatory faucets 1.2 gpm @ 60 psi e. Kitchen faucets 1.5 gpm @ 60 psi</p> <p>20) EXHAUST VENTILATION: PROVIDE LOCAL EXHAUST VENTILATION FOR EACH KITCHEN OR SIMILAR COOKING area with: (CMC 504.2 and ASHRAE 62.2) (BEES 150.0(i)) a. Minimum exhaust rate of 100 cfm. b. Maximum sound rating of 5 sones @100 cfm; and, c. Venting directly to the building exterior.</p> <p>21) SHOWERS & TUB-SHOWER: SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE EQUIPPED WITH A MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120 DEGREES F. [CPC 408.3]</p> <p>22) CLOTHES DRYER: WHEN A DOMESTIC CLOTHES DRYER IS LOCATED IN A CLOSET, A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR. [CMC 504.4.1]</p>	<p>1) SEPARATE PERMITS: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, PERMITS PANELS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS.</p> <p>2) VERTICAL PROJECTIONS IN SETBACKS: FENCE, WALL, AND HANDRAIL HEIGHTS AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK AND 72" AT ALL OTHER LOCATIONS ON SITE UNLESS LOCATED IN A LINE-OF-SIGHT OR DRIVEWAY VISIBILITY AREA. CONTRACTOR TO CONFIRM HEIGHT LIMITATIONS WITH THE LOCAL PLANNING DEPARTMENT.</p> <p>3) ADDRESS NUMBERS: BUILDING ADDRESS NUMBERS SHALL CONTRACT WITH THEIR BACKGROUND AND BE 4" MINIMUM HIGH WITH A MINIMUM STROKE WIDTH OF 0.5" PER CBC R319.9.</p> <p>4) ON-SITE PARKING: PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT FOR A 20' WIDE FRONT YARD DRIVEWAY.</p> <p>5) FUTURE SOLAR WATER HEATING: A "CAPPED TEE" FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. PIT RELIEF VALVE SHALL TERMINATE OUTSIDE THE BUILDING.</p> <p>6) UNDERGROUND CONDUIT: ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS STANDARD DETAILS. STUB OUT FOR PROPERTY LINE FOR FUTURE UNDER-GROUNDING OF UTILITIES WHEN APPLICABLE.</p> <p>7) MECHANICAL EQUIPMENT SCREENING: PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS. TOP NEED NOT BE SCREENED IF LOCATED ON THE INTERIOR SIDE OF THE DWELLING.</p> <p>8) METER CLEARANCE: GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0" AND 6'-0" HEIGHT X 2'-6" WIDTH. (COORDINATE WITH UTILITY COMPANY)</p> <p>9) CESSPOOL LOCATIONS: IF THERE IS AN EXISTING CESSPOOL ON SITE, IT MUST BE LOCATED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED. THE CONTRACTOR IS TO VERIFY THE EXISTENCE OF THE CESSPOOL WITH THE LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES.</p>	<p>1) BASEMENT AND BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING MEETING ALL OF THE FOLLOWING:</p> <ol style="list-style-type: none"> 1. A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. 2. A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES. 3. A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. 4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" INCHES MEASURED FROM THE FLOOR PER SECTION R310.1 AND R310.2. <p>2) EMERGENCY ESCAPE AND RESCUE OPENING WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL BE PROVIDED WITH A WINDOW WELL MEETING THE FOLLOWING: HORIZONTAL AREA SHALL BE AT 9 SQUARE FEET. MINIMUM DIMENSION OF 36 INCHES AND WITH AN APPROVED PERMANENT LADDER WHEN THE WELL HAS A VERTICAL DEPTH OF MORE THAN 44 INCHES PER SECTION R310.2.3.</p> <p>3) A MINIMUM 36" CLEAR EGRESS COURT WIDTH SHALL BE PROVIDED FOR R3 AND U OCCUPANCIES. THE CLEAR EGRESS COURT WIDTH SHALL BE MEASURED FROM THE FINISHED EXTERIOR SURFACE OF THE EXTERIOR BUILDING WALL TO THE FINISHED SURFACE OF ANY ADJACENT RETAINING WALL/PERMANENT SHORING/PROTECTION LINE WALL OR FENCE, AND SHALL BE UNOBSTRUCTED TO A HEIGHT OF FEET [CBC 1028.4.1, CBC 202]</p> <p>4) THE WINDOW WELL SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONCRETE OR THE BUILDING'S FOUNDATION DRAINAGE SYSTEM OR BY AN APPROVED ALTERNATE METHOD PER SECTION R310.2.3.2.</p>	<p>27) LATERAL MOVEMENT: ALL CONSTRUCTION SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH REQUIREMENTS OF THE LATEST ADOPTED EDITION OF THE IBC IN THE LOCAL JURISDICTION AND IN STRICT ACCORDANCE WITH THE STRUCTURAL DETAILS OF THIS SET OF DRAWING.</p> <p>28) WORK QUALITY: ALL WORK SHALL BE INSTALLED TRUE, PLUM, SQUARE, LEVEL, AND IN PROPER ALIGNMENT.</p> <p>29) OFFSET STUDS: OFFSET STUDS WHERE REQUIRED SO THAT THE FINISH WALL SURFACES WILL BE FLUSH.</p> <p>30) SEPARATE PERMITS: MECHANICAL, ELECTRICAL, PLUMBING, VERTICAL TRANSPORTATION, AND FIRE SPRINKLER WORK SHALL BE CONDUCTED UNDER A SEPARATE PERMIT AND SHALL NOT BE A PART OF THIS CONTRACT.</p> <p>31) MANUFACTURER SPECIFICATIONS: THE CONTRACTOR AND/OR SUBCONTRACTOR IS TO INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S SPECIFICATIONS.</p> <p>32) GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR ONE YEAR AFTER COMPLETION AND ACCEPTANCE. ANY FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT THE CONTRACTOR'S EXPENSE.</p>	<p>1) CONSTRUCTION DOCUMENTS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WITH ALL NOTES INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BRING ANY AND ALL DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, AND SCHEDULES. THE CONTRACTOR SHALL REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY IN WRITING. DO NOT VARY OR MODIFY THE WORK SHOWN EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT. THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, AND ADDENDUMS.</p> <p>2) MEANS AND METHODS: THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE REPRESENTATIONAL OF THE FINISHED STRUCTURE AND DO NOT INDICATE THE MEANS, METHODS OF CONSTRUCTION, TECHNIQUES, SEQUENCING, OR PROCEDURES REQUIRED FOR CONSTRUCTION.</p> <p>3) SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL PERSONS INVOLVED WITH THE WORK OR VISIT THE SITE DURING THE CONSTRUCTION PERIOD.</p> <p>ALL EXIT DOORS, EXIT ACCESS, AND CORRIDORS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. MATERIALS SHALL NOT BE STORED OR STOCKPILED IN A MANNER THAT BLOCKS EGRESS OR CREATES AN UNSAFE CONDITION.</p> <p>4) APPROVED DRAWING SET: THE CONTRACTOR SHALL KEEP AND MAINTAIN THE JURISDICTION-APPROVED RECORD SET OF DRAWINGS ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL KEEP THE SET CURRENT WITH ANY APPROVED REVISIONS OR ADDENDA.</p> <p>5) MINIMUM STANDARDS OF WORK: IF ANY CONFLICT EXISTS IN QUALITY OF WORK OR CODE REQUIREMENTS, THE HIGHER QUALITY AND MORE RESTRICTIVE SHALL APPLY.</p> <p>6) NOT IN SCOPE: WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS N.I.C. OR BY SEPARATE CONTRACTORS IS NOT INCLUDED IN THIS CONTRACT OR CONSTRUCTION DOCUMENTS FOR THE PROJECT. CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE CONTRACTORS CONTRACTED WITH THE OWNER.</p> <p>7) CODE COMPLIANCE: THE WORK SHALL BE COMPLIANT WITH ALL APPLICABLE CODE, ORDINANCES, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.</p> <p>8) OSHA COMPLIANCE: WORK SHALL COMPLY WITH PERTINENT HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERSONS INVOLVED WITH THE WORK OR VISITING THE SITE DURING THE CONSTRUCTION PERIOD.</p> <p>9) SITE MEASUREMENTS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DRAWINGS TO THE ARCHITECT PRIOR TO CONTINUING WORK.</p> <p>11) DETAILS: DETAILS PROVIDED WITHIN THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED PER FIELD CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.</p> <p>12) SUBSTITUTIONS: NO SUBSTITUTIONS ARE ALLOWED UNLESS SPECIFICATIONS ARE SUBMITTED TO AND APPROVED BY THE OWNER AND ARCHITECT.</p> <p>13) CONTRACT DEVIATIONS: ANY VALUE ENGINEERING OR SUBSTITUTION OF REQUIREMENTS NOTED IN THE CONTRACT DOCUMENTS WITHOUT WRITTEN CONSENT FROM THE ARCHITECT, SHALL RELEASE THE ARCHITECT FROM ANY AND ALL LIABILITY FOR THAT PORTION OF THE PROJECT.</p> <p>14) COORDINATION WITH CONTRACTORS/CONSULTANTS: THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES, CONSULTANTS, AND SUB-CONTRACTORS WORKING ON THE PROJECT WHETHER UNDER CONTRACT OF THE CONTRACTOR OR OWNER.</p> <p>16) SITE ACCESS: THE CONTRACTOR SHALL GIVE THE CLIENT, ARCHITECT, CONSULTANTS, AND INSPECTORS ACCESS TO THE JOB SITE DURING NORMAL BUSINESS HOURS FOR THE DURATION OF CONSTRUCTION.</p> <p>17) SITE OBSERVATION: ANY SITE OBSERVATION BY THE ARCHITECT DURING CONSTRUCTION IS FOR THE SOLE PURPOSE OF VERIFYING THE WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE INSPECTION OF PROTECTIVE MEASURES OR THE PROCEDURES OR FOR GUARANTEEING THE CONTRACTOR'S WORK.</p> <p>18) DAMAGES: EACH CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WORKAREAS ADJACENT TO THE CONSTRUCTION SITE AND IS LIABLE FOR ANY DAMAGE TO WORKAREAS CAUSED BY THE MOVEMENT OF MATERIALS, EQUIPMENT, OR DUST. ALL DAMAGE INCURRED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.</p> <p>19) SITE EGRESS: ALL EXIT DOORS, EXIT ACCESS, AND CORRIDORS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. MATERIALS SHALL NOT BE STORED OR STOCKPILED IN A MANNER THAT BLOCKS EGRESS OR CREATES AN UNSAFE CONDITION.</p> <p>20) SITE CLEANLINESS: THE CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE FREE OF TRASH AND DEBRIS. WORK AREAS SHALL BE MAINTAINED IN BROOM-CLEAN CONDITIONS AT THE END OF EACH WORK DAY/SHIFT.</p> <p>21) STORING & DISPOSING OF MATERIALS: ALL CONSTRUCTION WORK INCLUDING MATERIALS OF CONSTRUCTION AND PROCEDURES FOR STORING, DISPOSING OF, AND INSTALLING MATERIALS SHALL CONFORM TO THE LATEST ADOPTED CODES OF THE LOCAL AUTHORITY HAVING JURISDICTION.</p> <p>22) ROUGH UTILITIES: CONTRACTOR SHALL FURNISH AND INSTALL ROUGH MECHANICAL AND ELECTRICAL AND FIRE-HOOK-UP FOR ALL SPECIFIED FIXTURES, APPLIANCES, AND EQUIPMENT.</p> <p>23) ACCESS PANELS: CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL ACCESS PANELS REQUIRED IN CEILINGS, WALLS, OR FLOORS FOR ACCESS TO ALL EQUIPMENT AS REQUIRED PER APPLICABLE CODE.</p> <p>24) EQUIPMENT STANDARDS: ALL ELECTRICAL, MECHANICAL, AND PLUMBING FIXTURES/EQUIPMENT SHOULD BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY.</p> <p>25) SUBMITTALS: THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT SUBMITTALS FOR REVIEW DURING CONSTRUCTION PRIOR TO THE COMMENCEMENT OF SPECIFIC WORK. SUBMITTALS INCLUDE MATERIAL DATA SHEETS, PHYSICAL SAMPLES, AND SHOP DRAWINGS AND SHALL BE SUPPLIED TO THE ARCHITECT AS REQUESTED.</p> <p>26) BLOCKING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BLOCKING, BUCKOUTS, BACKING, AND JACKS AS REQUIRED FOR THE INSTALLATION OF ALL WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH THE ARCHITECT AND/OR OWNER FOR THE LOCATION OF ALL MOUNTED ITEMS WITH THE ARCHITECT.</p>	<div data-bbox="2792 71 2975 235" style="text-align: center;">  </div> <p>PROJECT NAME 3232 APARTMENT RENOVATION</p> <p>PROJECT NUMBER 24006</p> <p>PROJECT ADDRESS 3232 HERMOSA AVE HERMOSA BEACH, CA 90254</p> <p>ARCHITECT ANTHONY LANEY AIA LANEY LA, INC. 725 CYPRESS AVE HERMOSA BEACH CA 90254 (310) 870-7175 ANTHONY@LANEY.LA</p> <div data-bbox="2792 756 2975 940" style="text-align: center;">  </div> <table border="1" data-bbox="2746 950 3012 1103"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td>02-07</td> <td>PRE-APP SUBMITTAL</td> </tr> <tr> <td></td> <td>04-25</td> <td>PLANNING SUBMITTAL 01</td> </tr> <tr> <td></td> <td>07-29</td> <td>PLANNING SUBMITTAL 02</td> </tr> </tbody> </table> <p>PROJECT NO: 24006</p> <p>MODEL FILE: 24006 - 3232 Hermosa Ave - 3232</p> <p>DRAWN BY:</p> <p>COPYRIGHT:</p> <p>SHEET TITLE</p> <p>GENERAL NOTES</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">G02</p>	MARK	DATE	DESCRIPTION		02-07	PRE-APP SUBMITTAL		04-25	PLANNING SUBMITTAL 01		07-29	PLANNING SUBMITTAL 02
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	07-29	PLANNING SUBMITTAL 02																		
				<p>MANHATTAN BEACH CITY NOTES</p> <p>1) REFUSE STORAGE: RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED.</p> <p>2) DRIVEWAY HEIGHT: THE BACK OF THE DRIVEWAY APPROACH MUST BE 6" HIGHER THAN THE FLOW LINE ON THE STREET PER M.B.M.C. 9.76.030.</p> <p>3) PUBLIC WAY IMPROVEMENTS: SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF THE PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15%. IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION ACROSS ANY PUBLIC STREET, ALLEY, OR SIDEWALK, TO MAINTAIN ADEQUATE CROSSINGS FOR VEHICLES AND FOR PEDESTRIANS. (M.B.M.C. 17.16.100)</p> <p>4) PROPERTY ADDRESS: THE PROPERTY ADDRESS(S) MUST BE PERMANENTLY AFFIXED TO THE BUILDING IN ACCORDANCE WITH MCBT 505.1 PRIOR TO THE FINAL FIRE INSPECTION. (M.B.M.C. 3.16.29)</p> <p>5) EXHAUST FAN: NO EXHAUST FANS OR VENTS SHALL SERVE MORE THAN ONE (1) DWELLING UNIT.</p> <p>6) WATER PIPES: ALL WATER PIPES TO SINKS AND LAUNDRY FACILITIES SHALL BE INSTALLED WITH SOUND-DEADENING MATERIALS TO PREVENT THE TRANSFER OF NOISE.</p> <p>7) PIPE NOISE: ALL VOIDS AROUND PIPES SHALL BE PACKED WITH ROCK WOOL OR EQ. SOUND-DEADENING MATERIALS TO PREVENT THE TRANSFER OF NOISE.</p> <p>8) PLUMBING LOCATION: NO PLUMBING VENTS OR SIMILAR EQUIPMENT SHALL BE PLACED BACK TO BACK BETWEEN SEPARATE DWELLING UNITS.</p>	<p>MANHATTAN BEACH CITY NOTES</p> <p>1) FIRE SPRINKLER NOTES</p> <p>1) AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE DWELLINGS AND OTHER AREAS AS REQUIRED BY THE FIRE CODE OFFICIAL.</p> <p>2) AUTOMATIC RESIDENTIAL FIRE SPRINKLERS SHALL COMPLY WITH THE MANHATTAN BEACH FIRE DEPARTMENT MINIMUM REQUIREMENTS FOR NFPA 13D FIRE SPRINKLER SYSTEMS.</p> <p>3) FIRE SPRINKLERS SHALL BE UNDER SEPARATE PLAN CHECK AND PERMIT R313(CRC, 903.2.8.2 CFC AS AMENDED BY M.B.M.C. 3.16.20)</p> <p>4) ANY EXISTING FIRE SPRINKLER OR FIRE ALARM SYSTEM MUST BE SUBMITTED FOR SEPARATE PLAN REVIEW.</p> <p>5) THE FIRE SPRINKLER SHALL BE UNDER A SEPARATE PLAN CHECK PERMIT. ANY CHANGE TO EXISTING FIRE SPRINKLERS OR FIRE ALARM SYSTEMS MUST BE SUBMITTED FOR A SEPARATE PLAN REVIEW. (FIRE PREVENTION BUREAU MANHATTAN BEACH FIRE DEPARTMENT)</p> <p>6) HORN/STROBE ALARM DEVICES SHALL BE PLACED ON THE ADDRESS SIDE OF THE BUILDING UNLESS OTHERWISE SPECIFIED BY FIRE DEPARTMENT PERSONNEL.</p>	<p>MANHATTAN BEACH CITY NOTES</p> <p>PLUMBING NOTES</p> <p>ALL PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING MAXIMUM FLOW RATES: (CSBSC 4.303.1)</p> <table border="1"> <tr> <td>1. WATER CLOSETS</td> <td>1.28 GALLONS/FLUSH</td> </tr> <tr> <td>2. SHOWERHEADS-SINGLE</td> <td>1.8 GPM @ 80 PSI</td> </tr> <tr> <td>3. SHOWERHEADS-MULTI</td> <td>1.8 GPM @ 80 PSI COMB.</td> </tr> <tr> <td>4. LAVATORY FAUCETS</td> <td>1.2 GPM @ 60 PSI</td> </tr> <tr> <td>5. KITCHEN FAUCETS</td> <td>1.5 GPM @ 60 PSI</td> </tr> </table> <p>MANHATTAN BEACH CITY NOTES</p> <p>SUPPLEMENTARY DRAWINGS AND SPECIFICATIONS</p> <p>1) STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THESE DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE WORK OF EACH CONSULTING ENGINEER WITH THESE DRAWINGS OR SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THESE CONTRACT DOCUMENTS SHALL BE CORRECTED SOLELY AT THE EXPENSE OF THE CONTRACTOR.</p> <p>2) THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT SUBMITTALS FOR REVIEW DURING CONSTRUCTION PRIOR TO THE COMMENCEMENT OF SPECIFIC WORK. SUBMITTALS INCLUDE BUT ARE NOT LIMITED TO, MATERIAL DATA SHEETS, PHYSICAL SAMPLES, AND SHOP DRAWINGS AND SHALL BE SUPPLIED TO THE ARCHITECT AS REQUESTED.</p> <p>3) NO SUBSTITUTIONS ARE ALLOWED UNLESS PROPERLY SUBMITTED THROUGH A CHANGE ORDER AND APPROVED BY THE OWNER AND ARCHITECT.</p> <p>4) ANY VALUE ENGINEERING OR SUBSTITUTE OF REQUIREMENTS, NOTED IN THE CONTRACT DOCUMENTS, TAKEN WITHOUT WRITTEN CONSENT FROM THE ARCHITECT, SHALL RELEASE THE ARCHITECT FROM ANY AND ALL LIABILITY FOR THAT PORTION OF THE PROJECT.</p>	1. WATER CLOSETS	1.28 GALLONS/FLUSH	2. SHOWERHEADS-SINGLE	1.8 GPM @ 80 PSI	3. SHOWERHEADS-MULTI	1.8 GPM @ 80 PSI COMB.	4. LAVATORY FAUCETS	1.2 GPM @ 60 PSI	5. KITCHEN FAUCETS	1.5 GPM @ 60 PSI	<p>MANHATTAN BEACH CITY NOTES</p> <p>EROSION PROTECTION NOTES</p> <p>1) APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 5TH AND SHALL BE PLACED AT THE END OF EACH DAY'S WORK.</p>	<p>MANHATTAN BEACH CITY NOTES</p> <p>ENERGY NOTES</p> <p>1) CERTIFICATE OF INSTALLATION (CF2R-ENV, CFP2R-LG, AND CFP2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HER FIELD VERIFICATION OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED SEPARATELY TO AN APPROVED HER'S PROVIDER DATA REGISTR. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.</p> <p>MANHATTAN BEACH CITY NOTES</p> <p>DIMENSIONS</p> <p>1) DO NOT SCALE THESE DRAWINGS. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED.</p> <p>2) ALL DIMENSIONS ARE TO THE FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONAL CONFLICTS WITHIN THE CONTRACT DOCUMENTS.</p> <p>3) THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTING DIMENSIONS BETWEEN ARCHITECTURAL + ENGINEERING DRAWINGS. THE DRAWINGS SHALL NOT BE SCALED.</p>		
1. WATER CLOSETS	1.28 GALLONS/FLUSH																			
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5. KITCHEN FAUCETS	1.5 GPM @ 60 PSI																			

BOUNDARY SURVEY WITH TOPOGRAPHY

FOR
3232 HERMOSA - DE, LLC
3232 HERMOSA AVENUE
HERMOSA BEACH, CA 90254
MOBILE (310) 870-7175

JOB ADDRESS

3232 HERMOSA AVENUE
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

LOT 1 & PORTION OF LOT 2, BLOCK 103
SHAKESPEARE
M.B. 9-190
APN 4181-031-001

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY: FM CHECK BY: MB

DRAWN ON: NOVEMBER 26, 2024

REVISIONS

CONVEX SLOPE ANALYSIS

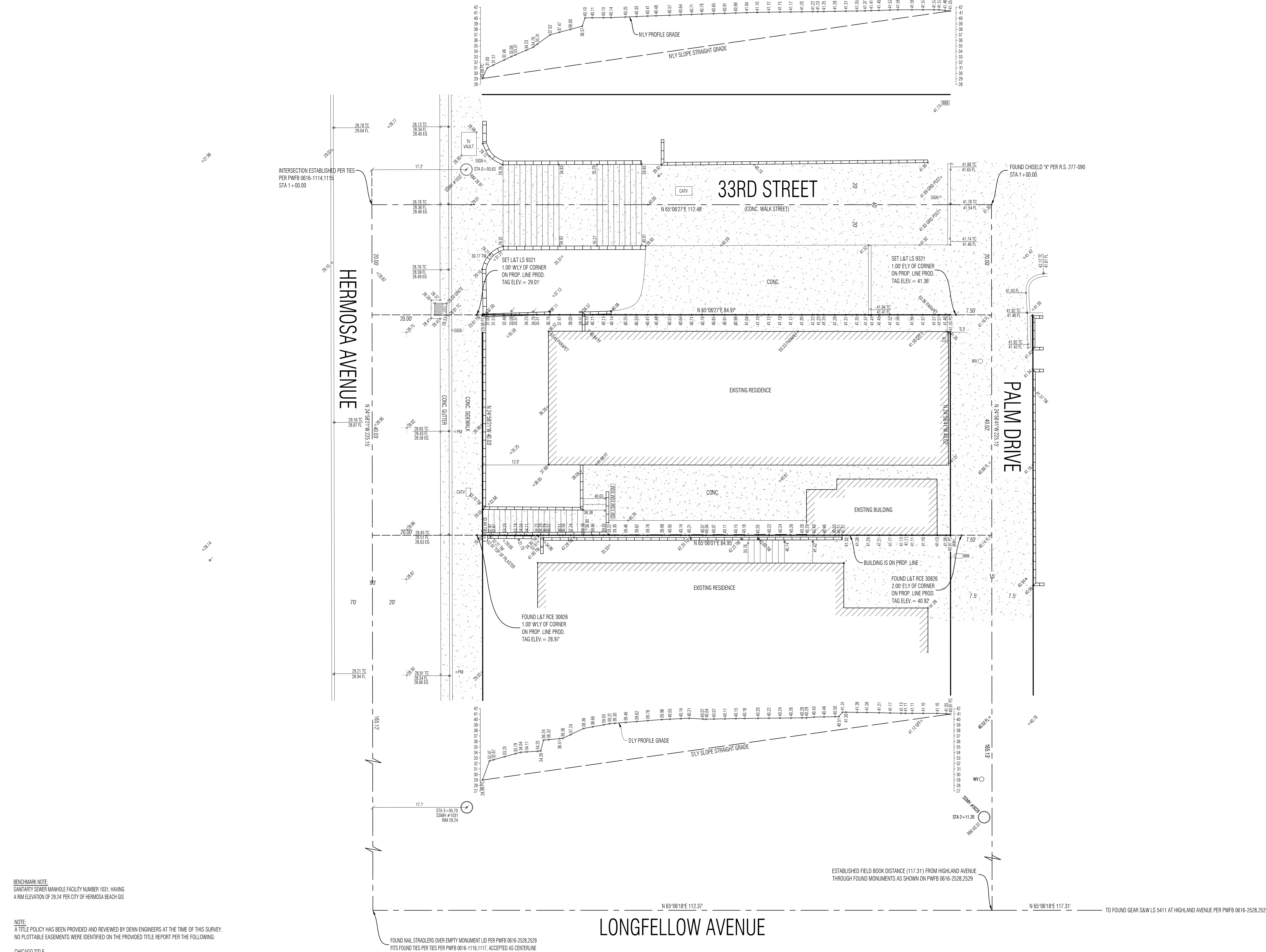
LEGEND

- EXISTING BUILDING
- BRICK
- CONCRETE
- WOOD DECK
- +106.76 EXISTING ELEVATION
- 10p EXISTING CONTOUR
- BLOCK WALL
- X EXISTING FENCE
- BCR BEGINNING OF CURB RETURN
- CATV CABLE TV PULL BOX
- CONC. CONCRETE
- CHIMNEY CHIMNEY
- CEFB CITY ENGINEERS FIELD BOOK
- CA CENTERLINE
- C.L. / W.L.F. CHAIN LINE FENCE / WROUGHT IRON FENCE
- ELY EASTERLY
- EG EDGE OF GUTTER
- EM ELECTRIC METER
- FF FINISH FLOOR
- PH FIRE HYDRANT
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GM GAS METER
- GV / GW GUY WIRE
- IP IRON PIPE MONUMENT
- LEAD LEAD AND JACK / TAG MONUMENT
- MANHOLE MANHOLE / CANTONER SEWER / STORM DRAIN
- NLY NORTHERLY
- NAIL AND TAG NAIL AND TAG MONUMENT
- PULL BOX (EODM) / TRAFFIC / STREET LIGHT
- TEL TELEPHONE / CABLE TV
- PROP CORNER PROPERTY CORNER / PROP. CORNER
- PROP LINE / PROP. LINE
- PP / UP POWER POLE / UTILITY POLE
- FRUIT FRUIT
- PWFB PUBLIC WORKS FIELD BOOK
- R.R. RAILROAD
- RDBB ROAD DEPARTMENT FIELD BOOK
- R.S. RECORD OF SURVEY
- SPK / SSW SPIKE / SPIKE AND WASHER MONUMENT
- SLY SOUTHERLY
- SSOD SANITARY SEWER CLEAOUT
- STR / STR&T STAKE / STAKE AND TAG MONUMENT
- STL / LT STREET LIGHT POLE / LIGHT POLE
- TC TOP OF CURB
- TX / BX TOP OF APRON / BOTTOM OF APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT (310) 542-9433. M-F 8:00 AM TO 5:00 PM.

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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT DENN ENGINEERS' RISK AND WITHOUT LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDINGS THAT DENN ENGINEERS MAY BE JOINED.



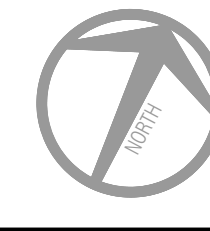
BENCHMARK NOTE:
SANITARY SEWER MANHOLE FACILITY NUMBER 1031, HAVING A RIM ELEVATION OF 29.24 PER CITY OF HERMOSA BEACH GIS

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. NO PLOTTABLE EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING:

CHICAGO TITLE
ORDER NO. 112407648-JN
DATED MAY 22, 2024

ESTABLISHED FIELD BOOK DISTANCE (117.31') FROM HIGHLAND AVENUE THROUGH FOUND MONUMENTS AS SHOWN ON PWFB 0616-2528,2529

FOUND NAIL STRADLERS OVER EMPTY MONUMENT LID PER PWFB 0616-2528,2529 FITS FOUND TIES PER TIES PER PWFB 0616-1116,1117, ACCEPTED AS CENTERLINE



SCALE 1" = 8'



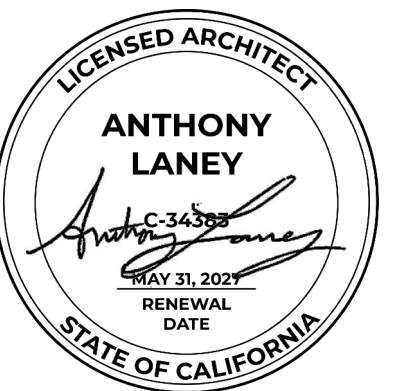
Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

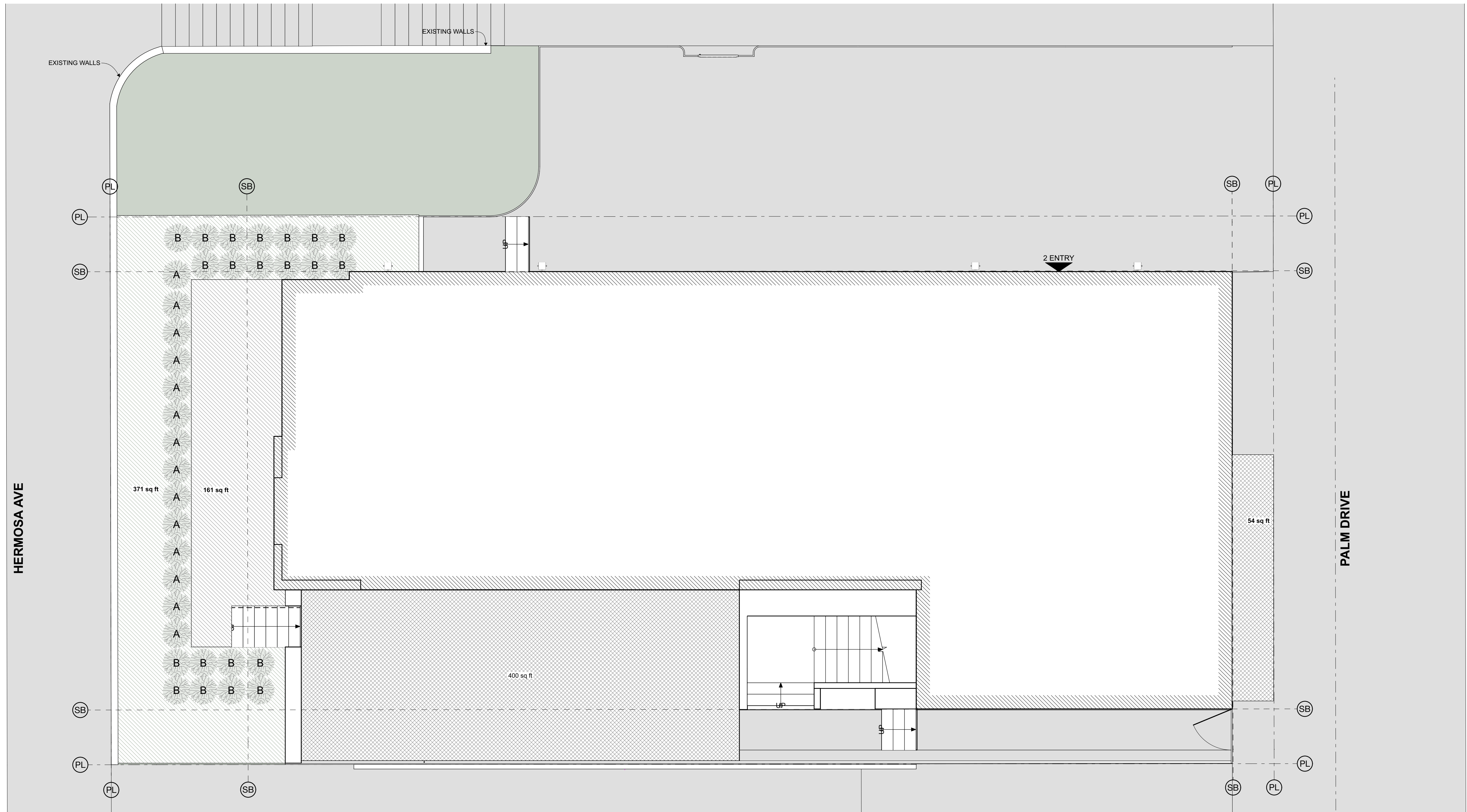
PROJECT NUMBER
24006

PROJECT ADDRESS
3232 HERMOSA AVE
HERMOSA BEACH, CA
90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA, INC.
725 CYPRESS AVE
HERMOSA BEACH CA 90254
(310) 870-7175
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
	02-07	PRE-APP SUBMITTAL
	04-25	PLANNING SUBMITTAL 01
	07-29	PLANNING SUBMITTAL 02



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0" **1**

LEGEND	
	GRASS
	DECOMPOSED GRAVEL
	PERMEABLE PAVERS
	PLANT SYMBOL
	PLANT SYMBOL

PLANTING SCHEDULE					
SYM.	SCIENTIFIC NAME	COMMON	USAGE	SIZE	QTY
A	PTTOSPORUM TENUIFOLIUM	SILVER SHEEN KOHUHU	LOW	15 GAL	14
B	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	LOW	7 GAL	21

NOTES

- 1) A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- 2) AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- 3) UNLESS CONTRADICTED BY SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- 4) A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- 5) I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

WATER USAGE CALCULATIONS	
LOT AREA :	3,400 SF
LOT COVERAGE:	1,896 SF
DRIVEWAY:	54SF
TOTAL EXTERIOR SURFACE AREA= (LOT AREA - LOT COVERAGE) 3,400 SF - 1,896 SF=	1,504 SF
MINIMUM 50% OF THE EXTERIOR SURFACE AREA MUST CONSIST OF WATER PERMEABLE SURFACES AS REQUIRED IN HBMC.	
PERMEABLE AREA:	986 SF
NON PERMEABLE AREA:	518 SF
PERMEABLE AREA OF 812 SF / 1,504 SF =	65% PERMEABLE

PROJECT NO: 24006
MODEL FILE: 24006 - 3232 Hermosa Ave - 3232
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SHEET TITLE
PROPOSED LANDSCAPE PLAN
A102



Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

PROJECT NUMBER
24006

PROJECT ADDRESS
3232 HERMOSA AVE
HERMOSA BEACH, CA
90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA, INC.
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ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
	02-07	PRE-APP SUBMITTAL
	04-25	PLANNING SUBMITTAL 01
	07-29	PLANNING SUBMITTAL 02

PROJECT NO: 24006

MODEL FILE:
24006 - 3232 Hermosa Ave - 3232

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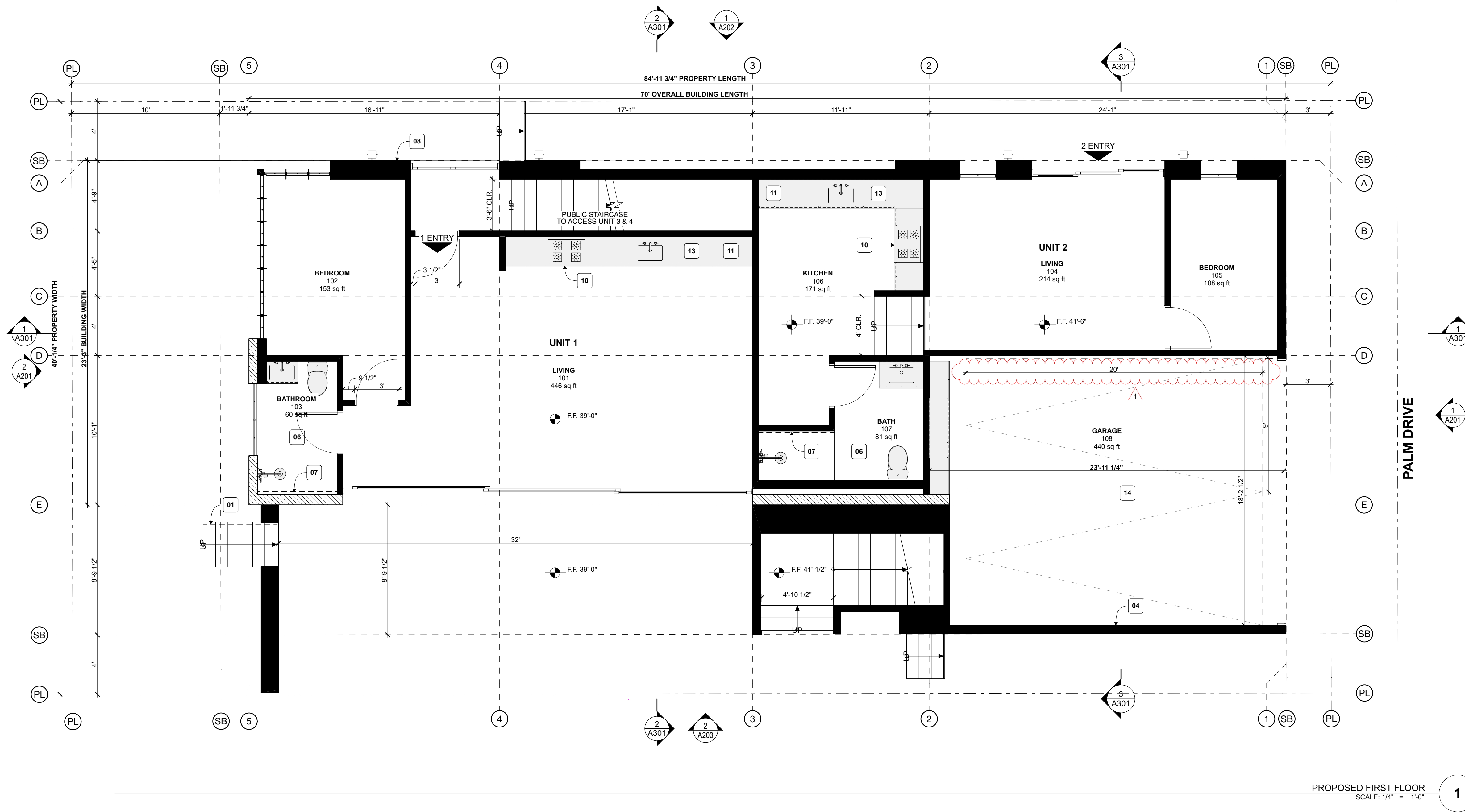
SHEET TITLE

PROPOSED FIRST
FLOOR PLAN

A103

FLOOR/ROOF PLAN NOTES

- EXTERIOR WOOD STUD SIZE:**
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2302.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- TYPE-X FIRE RESISTANT GYP BOARD:**
ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD.
- EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE:**
ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).
- PARKING STALL CLEARANCE:**
THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- CHIMNEY HEIGHT:**
CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 5' IN LENGTH.
- HEIGHT LIMIT:**
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- MEANS OF EGRESS:**
DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.
- EGRESS GATE:**
THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- SHOWER WALL SURFACE:**
SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET [R307.2 CRC].
- DOORBELL:**
THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC R327.1.4.
- DRAINAGE:**
ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2% MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE THE DRAIN SURFACE.
- MOISTURE BARRIERS:**
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.
- WINE CELLAR WALLS:**
INSULATE ALL WINE ROOMS WITH ICYNENE, OR APPROVED EQUAL.



LEGEND

- PROPOSED NEW WALL
- EXISTING WALL TO REMAIN

FLOOR/ROOF PLAN KEYNOTES

- | | |
|--|---|
| 15 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL. | 01 42" MINIMUM HIGH GUARDRAIL (200 pcf). |
| 16 WATER HEATER - REFERENCE T24 REPORT. | 02 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING. |
| 17 SUMP PUMP. | 03 TRASH/RECYCLE BINS PER CITY REQUIREMENTS. |
| 18 EJECTOR PIT. | 04 ELECTRICAL VEHICLE CHARGER. |
| 19 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN. | 05 SOLAR PANELS. |
| 20 SCUPPER LOCATION. | 06 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT. |
| 21 NON STRUCTURAL WOOD FENCE UNDER 42". | 07 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1. |
| 22 GATE | 08 DOORBELL LOCATION. |
| | 09 ADDRESS LOCATION. |
| | 10 RANGE. |
| | 11 REFRIGERATOR/FREEZER. |
| | 12 WASHER/DRYER. |
| | 13 DISHWASHER. |
| | 14 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN. |



Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

PROJECT NUMBER
24006

PROJECT ADDRESS
3232 HERMOSA AVE
HERMOSA BEACH, CA
90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA, INC.
725 CYPRESS AVE
HERMOSA BEACH CA 90254
(310) 870-7175
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
	02-07	PRE-APP SUBMITTAL
	04-25	PLANNING SUBMITTAL 01
	07-29	PLANNING SUBMITTAL 02

PROJECT NO: 24006

MODEL FILE:
24006 - 3232 Hermosa Ave - 3232

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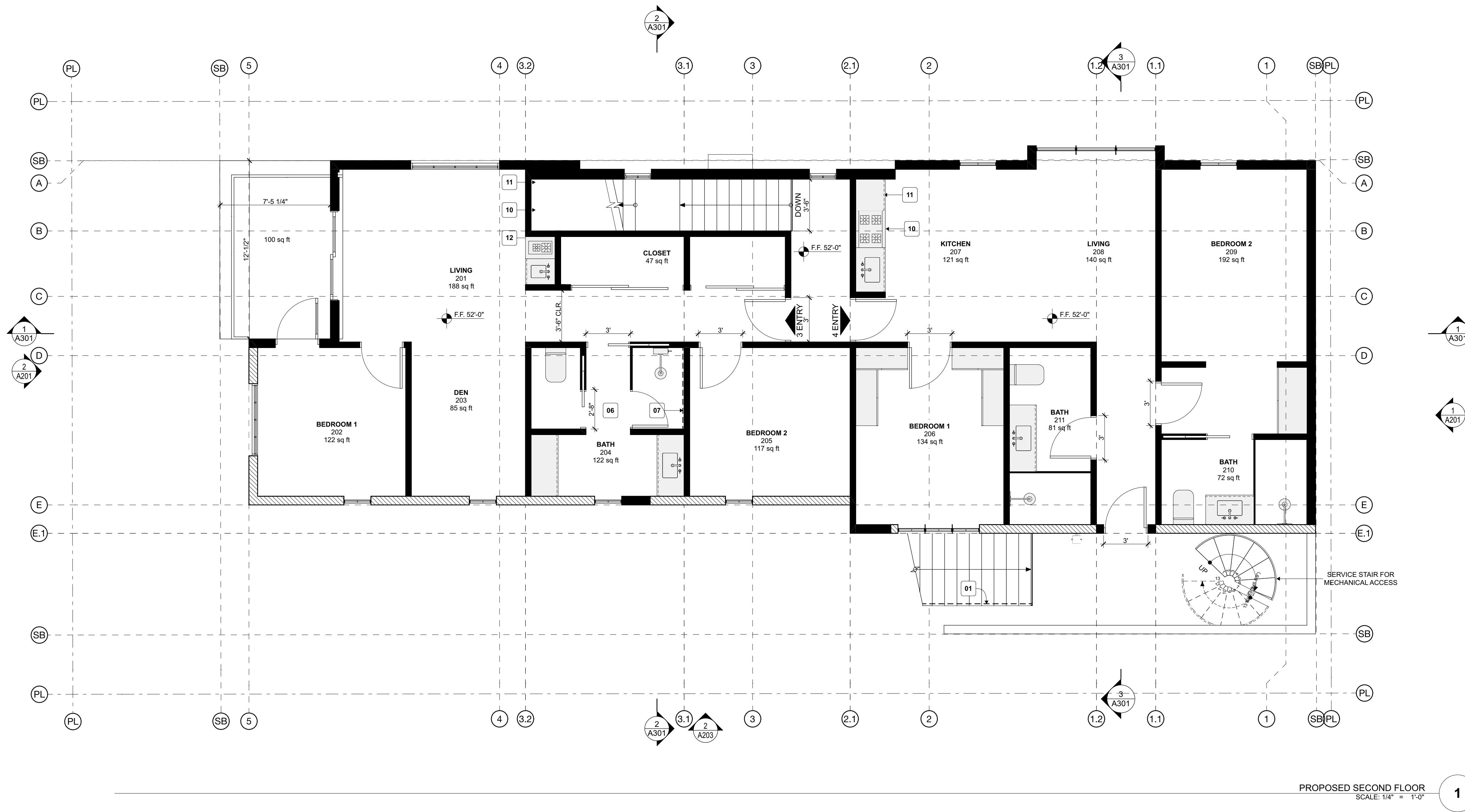
SHEET TITLE

PROPOSED
SECOND FLOOR
PLAN

A104

FLOOR/ROOF PLAN NOTES

- EXTERIOR WOOD STUD SIZE:**
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2303.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- TYPE-X FIRE RESISTANT GYP BOARD:**
ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD.
- EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE:**
ALL EXTERIOR WALLS LOCATED WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE ONE HOUR FIRE-RATED PER CRC TABLE R302.1(1).
- PARKING STALL CLEARANCE:**
THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- CHIMNEY HEIGHT:**
CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 5' IN LENGTH.
- HEIGHT LIMIT:**
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- MEANS OF EGRESS:**
DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.
- EGRESS GATE:**
THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- SHOWER WALL SURFACE:**
SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET [R307.2 CRC].
- DOORBELL:**
THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC R327.1.4.
- DRAINAGE:**
ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2% MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE THE DRAIN SURFACE.
- MOISTURE BARRIERS:**
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.
- WINE CELLAR WALLS:**
INSULATE ALL WINE ROOMS WITH ICYNENE, OR APPROVED EQUAL.



PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0" 1

LEGEND

- PROPOSED NEW WALL
- EXISTING WALL TO REMAIN

FLOOR/ROOF PLAN KEYNOTES

- | | |
|--|---|
| 15 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL. | 01 42" MINIMUM HIGH GUARDRAIL (200 psf). |
| 16 WATER HEATER - REFERENCE T24 REPORT. | 02 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING. |
| 17 SUMP PUMP. | 03 TRASH/RECYCLE BINS PER CITY REQUIREMENTS. |
| 18 EJECTOR PIT. | 04 ELECTRICAL VEHICLE CHARGER. |
| 19 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN. | 05 SOLAR PANELS. |
| 20 SCUPPER LOCATION. | 06 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT. |
| 21 NON STRUCTURAL WOOD FENCE UNDER 42". | 07 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1. |
| 22 GATE | 08 DOORBELL LOCATION. |
| 23 BUILDING OUTLINE BEYOND | 09 ADDRESS LOCATION. |
| 24 | 10 RANGE. |
| 25 | 11 REFRIGERATOR/FREEZER. |
| | 12 WASHER/DRYER |
| | 13 DISHWASHER. |
| | 14 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN. |



Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

PROJECT NUMBER
24006

PROJECT ADDRESS
3232 HERMOSA AVE
HERMOSA BEACH, CA
90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA, INC.
725 CYPRESS AVE
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(310) 870-7175
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
	02-07	PRE-APP SUBMITTAL
	04-25	PLANNING SUBMITTAL 01
	07-29	PLANNING SUBMITTAL 02

PROJECT NO: 24006

MODEL FILE:
24006 - 3232 Hermosa Ave - 3232

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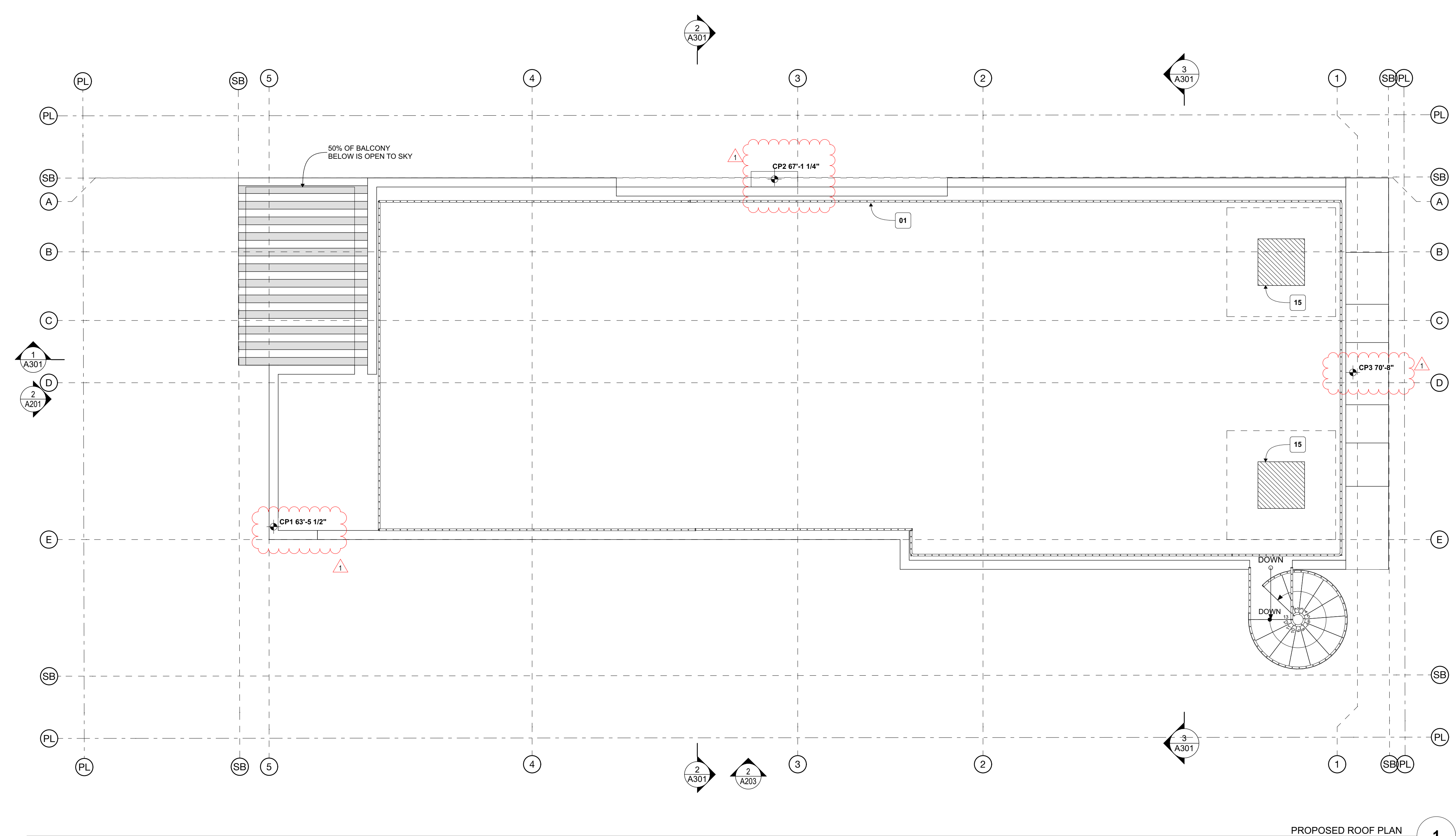
SHEET TITLE

PROPOSED ROOF
PLAN

A105

FLOOR/ROOF PLAN NOTES

- EXTERIOR WOOD STUD SIZE:**
ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2X6 @ 16" O.C. - CBC SECTION 2301.11.9.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C., TYP. U.N.O. (INSULATION REFER TO WALL ASSEMBLY).
- TYPE-X FIRE RESISTANT GYP BOARD:**
ALL WALLS AND CEILINGS IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIRS AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD.
- EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE:**
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- PARKING STALL CLEARANCE:**
THE REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT, OR SIMILAR CONSTRUCTION.
- CHIMNEY HEIGHT:**
CHIMNEY NOT TO EXCEED 5' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 5' IN LENGTH.
- HEIGHT LIMIT:**
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- MEANS OF EGRESS:**
DOORS/WINDOWS OPENINGS THAT PROVIDE EGRESS MUST BE 5.7 SQFT CLEAR MINIMUM.
- EGRESS GATE:**
THE EGRESS GATE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- SHOWER WALL SURFACE:**
SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET (R307.2 CRC).
- DOORBELL:**
THE DOORBELL BUTTON IS TO BE INSTALLED AT 48 INCHES ABOVE THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY PER CRC R327.1.4.
- DRAINAGE:**
ALL EXTERIOR HARDSCAPE AND/OR LANDSCAPE TO SLOPE 2% MINIMUM AWAY FROM THE BUILDING. SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE THE DRAIN SURFACE.
- MOISTURE BARRIERS:**
IMPERV. MOISTURE BARRIERS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SEC R109.1.5.3.
- WINE CELLAR WALLS:**
INSULATE ALL WINE ROOMS WITH ICYNENE, OR APPROVED EQUAL.



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

CRITICAL POINT HEIGHT ANALYSIS

Critical Height Calculation For:	Address	Critical Height Calculation For:	Address	Critical Height Calculation For:	Address
Elev. Pt. A	29.03	Elev. Pt. A	29.03	Elev. Pt. A	29.03
Elev. Pt. B	40.97	Elev. Pt. B	40.97	Elev. Pt. B	40.97
Length A-B	84.95	Length A-B	84.95	Length A-B	84.95
Length A-AB'	83.95	Length A-AB'	43.14	Length A-AB'	11.89
Elev. AB':	40.8294467	Elev. AB':	35.0934679	Elev. AB':	30.7011783
Elev. Pt. C	29.08	Elev. Pt. C	29.08	Elev. Pt. C	29.08
Elev. Pt. D	41.35	Elev. Pt. D	41.35	Elev. Pt. D	41.35
Length C-D	84.97	Length C-D	84.97	Length C-D	84.97
Length C-CD'	83.97	Length C-CD'	43.24	Length C-CD'	11.98
Elev. CD':	41.2055960	Elev. CD':	35.3240249	Elev. CD':	30.8099588
Length AB'-CD'	40.03	Length AB'-CD'	40.03	Length AB'-CD'	40.03
Length AB'-CP3	22.76	Length AB'-CP2	35.95	Length AB'-CP1	12.77
Elev. CP3:	41.0433153	Elev. CP2	35.3005257	Elev. CP1:	30.7358804
Height Limit	30	Height Limit	30	Height Limit	30
Max. Ht. @ CP3:	71.04	Max. Ht. @ CP2:	65.30	Max. Ht. @ CP1:	60.74
Prop. Ht. @ CP3:	70.66	Prop. Ht. @ CP2:	63.45	Prop. Ht. @ CP1:	63.45

FLOOR/ROOF PLAN KEYNOTES

- | | |
|--|--|
| <ul style="list-style-type: none"> 15 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL. 16 WATER HEATER - REFERENCE T24 REPORT. 17 SUMP PUMP. 18 EJECTOR PIT. 19 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN. 20 SCUPPER LOCATION. 21 NON STRUCTURAL WOOD FENCE UNDER 42". 22 GATE 23 BUILDING OUTLINE BEYOND 24 25 | <ul style="list-style-type: none"> 01 42" MINIMUM HIGH GUARDRAIL (200 psf). 02 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING. 03 TRASH/RECYCLE BINS PER CITY REQUIREMENTS. 04 ELECTRICAL VEHICLE CHARGER. 05 SOLAR PANELS. 06 TILE FLOOR/WALL - LAYOUT TO APPROVED BY ARCHITECT. 07 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1. 08 DOORBELL LOCATION. 09 ADDRESS LOCATION. 10 RANGE. 11 REFRIGERATOR/FREEZER. 12 WASHER/DRYER 13 DISHWASHER. 14 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN. |
|--|--|



Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

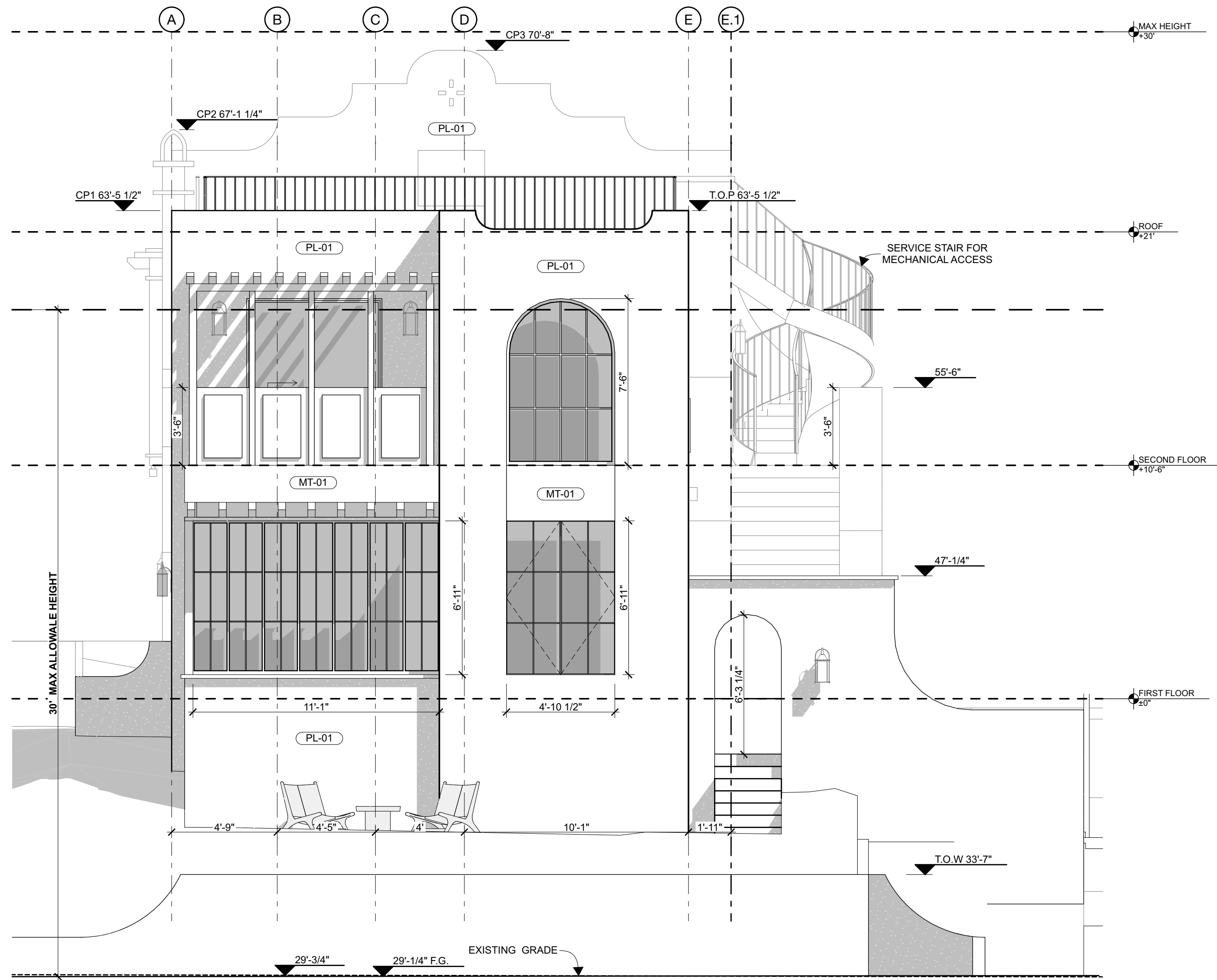
PROJECT NUMBER
24006

PROJECT ADDRESS
3232 HERMOSA AVE
HERMOSA BEACH, CA
90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA, INC.
725 CYPRESS AVE
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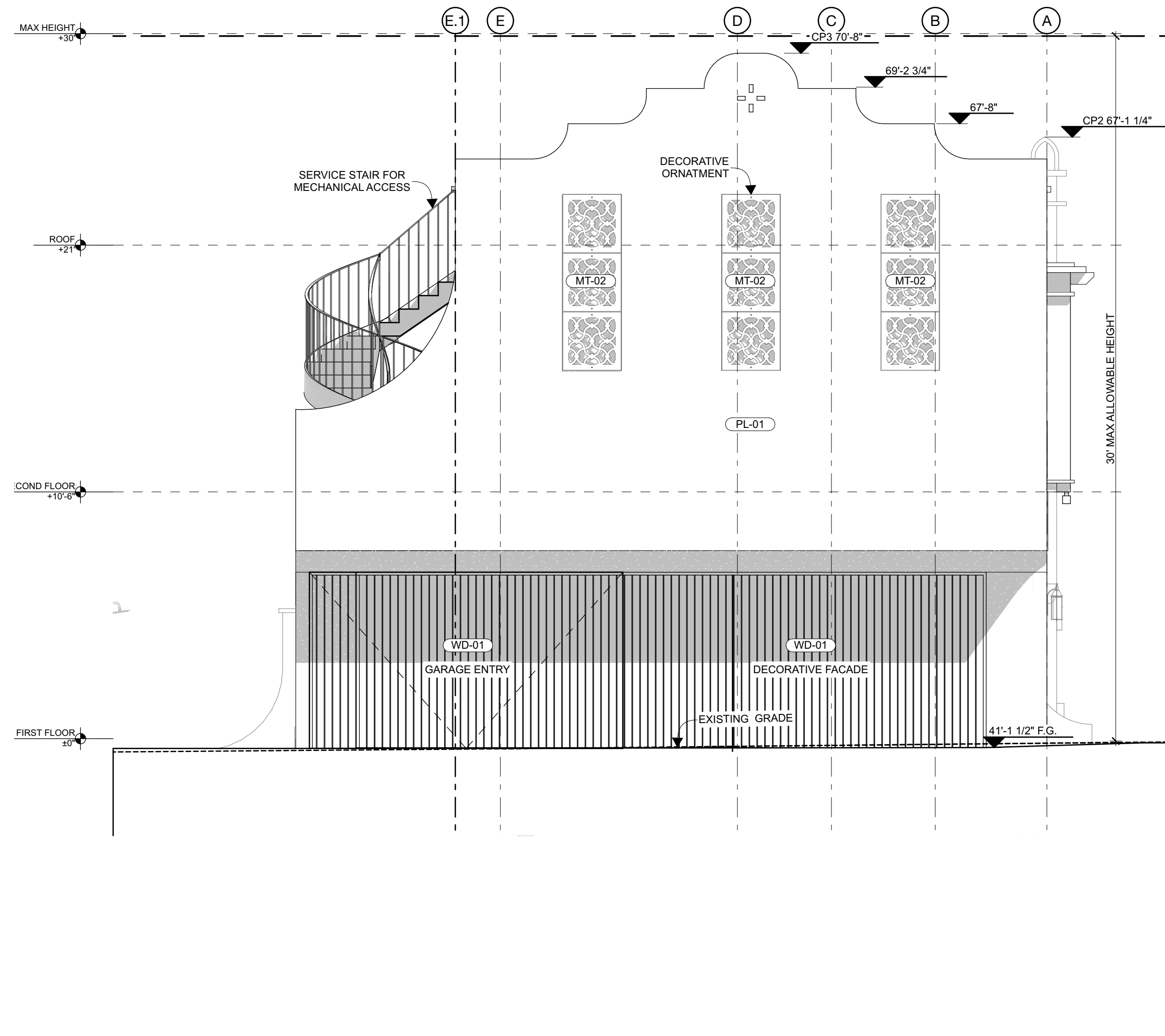


MARK	DATE	DESCRIPTION
	02-07	PRE-APP SUBMITTAL
	04-25	PLANNING SUBMITTAL 01
	07-29	PLANNING SUBMITTAL 02



WEST ELEVATION
SCALE 1/4" = 1'-0"

2



EAST ELEVATION
SCALE 1/4" = 1'-0"

1

CRITICAL POINT HEIGHT ANALYSIS

Critical Height Calculation For:	Address	Critical Height Calculation For:	Address	Critical Height Calculation For:	Address
Elev. Pt. A	29.03	Elev. Pt. A	29.03	Elev. Pt. A	29.03
Elev. Pt. B	40.97	Elev. Pt. B	40.97	Elev. Pt. B	40.97
Length A-B	84.95	Length A-B	84.95	Length A-B	84.95
Length A-AB'	83.95	Length A-AB'	43.14	Length A-AB'	11.89
Elev. AB':	40.8294467	Elev. AB':	35.0934679	Elev. AB':	30.7011783
Elev. Pt. C	29.08	Elev. Pt. C	29.08	Elev. Pt. C	29.08
Elev. Pt. D	41.35	Elev. Pt. D	41.35	Elev. Pt. D	41.35
Length C-D	84.97	Length C-D	84.97	Length C-D	84.97
Length C-CD'	83.97	Length C-CD'	43.24	Length C-CD'	11.98
Elev. CD':	41.2055960	Elev. CD':	35.3240249	Elev. CD':	30.8099588
Length AB'-CD'	40.03	Length AB'-CD'	40.03	Length AB'-CD'	40.03
Length AB'-CP3	22.76	Length AB'-CP2	35.95	Length AB'-CP1	12.77
Elev. CP3:	41.0433153	Elev. CP2	35.3005257	Elev. CP1:	30.7358804
Height Limit	30	Height Limit	30	Height Limit	30
Max. Ht. @ CP3:	71.04	Max. Ht. @ CP2:	65.30	Max. Ht. @ CP1:	60.74
Prop. Ht. @ CP3:	70.66	Prop. Ht. @ CP2:	63.45	Prop. Ht. @ CP1:	63.45

HERMOSA AVE	
P.C. Elevation 29.03	P.C. Elevation 29.08
(Point A)	(Point C)
Lot Length = 84.95'	Lot Length = 84.97'
P.C. Elevation 40.9	P.C. Elevation 41.35
(Point B)	(Point D)
Lot Width = 40.0'	

ELEVATION KEYNOTES

- | | |
|--|---|
| 15 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL. | 01 42" MINIMUM HIGH GUARDRAIL (200 psf). |
| 16 WATER HEATER - REFERENCE T24 REPORT. | 02 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING. |
| 17 SUMP PUMP. | 03 TRASH/RECYCLE BINS PER CITY REQUIREMENTS. |
| 18 EJECTOR PIT. | 04 ELECTRICAL VEHICLE CHARGER. |
| 19 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN. | 05 SOLAR PANELS. |
| 20 SCUPPER LOCATION. | 06 TILE FLOORWALL - LAYOUT TO APPROVED BY ARCHITECT. |
| 21 NON STRUCTURAL WOOD FENCE UNDER 42". | 07 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1. |
| 22 GATE | 08 DOORBELL LOCATION. |
| 23 BUILDING OUTLINE BEYOND | 09 ADDRESS LOCATION. |
| | 10 RANGE. |
| | 11 REFRIGERATOR/FREEZER. |
| | 12 WASHER/DRYER |
| | 13 DISHWASHER. |
| | 14 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN. |

PROJECT NO: 24006

MODEL FILE:
24006 - 3232 Hermosa Ave - 3232

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SHEET TITLE

EAST WEST
ELEVATION

A201



Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

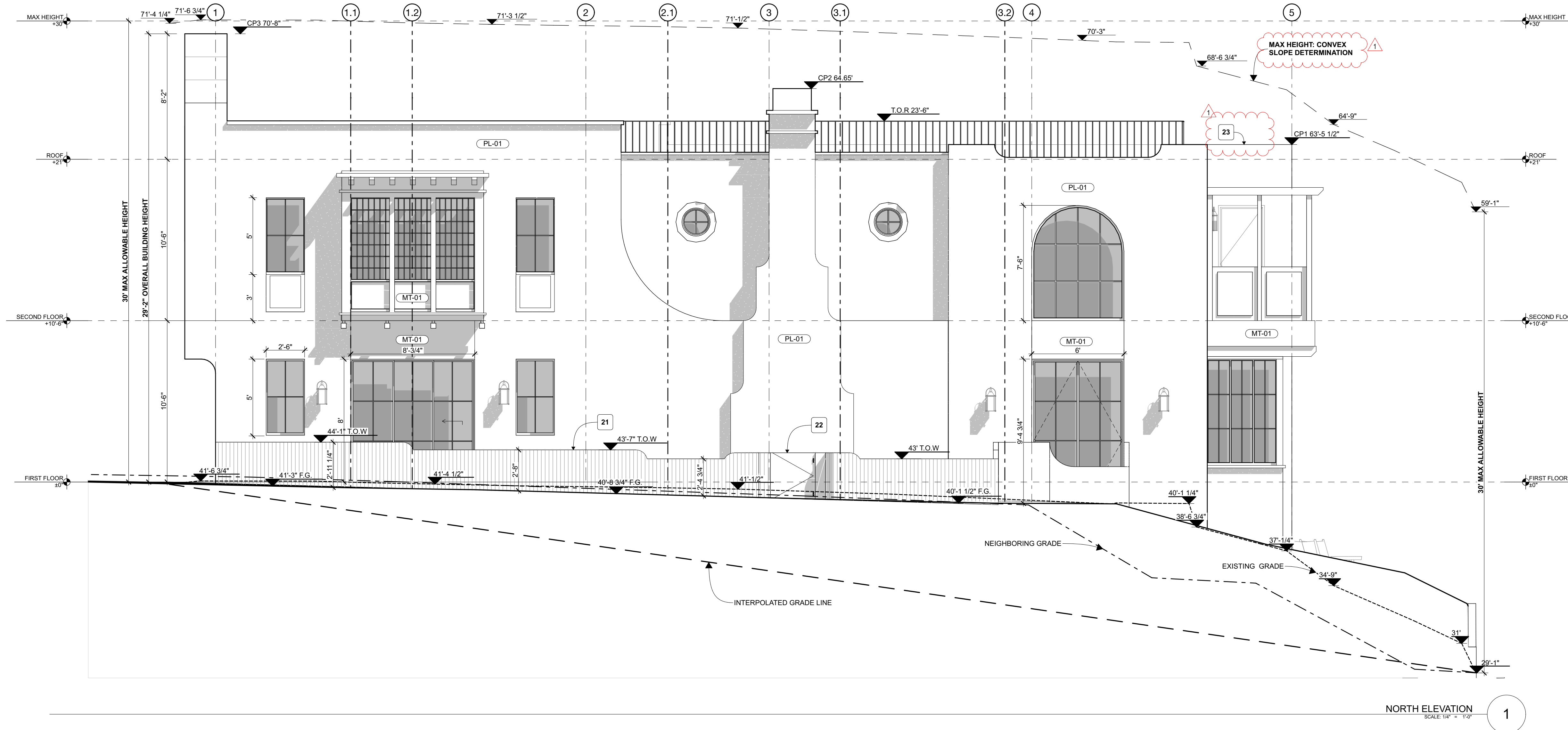
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HERMOSA BEACH CA 90254
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ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
	02-07	PRE-APP SUBMITTAL
	04-25	PLANNING SUBMITTAL 01
	07-29	PLANNING SUBMITTAL 02



CRITICAL POINT HEIGHT ANALYSIS

Critical Height Calculation For:		Address		Critical Height Calculation For:		Address	
Elev. Pt. A	29.03	Elev. Pt. A	29.03	Elev. Pt. A	29.03		
Elev. Pt. B	40.97	Elev. Pt. B	40.97	Elev. Pt. B	40.97		
Length A-B	84.95	Length A-B	84.95	Length A-B	84.95		
Length A-AB'	83.95	Length A-AB'	43.14	Length A-AB'	11.89		
	Elev. AB':	40.8294467		Elev. AB':	35.0934679		
Elev. Pt. C	29.08	Elev. Pt. C	29.08	Elev. Pt. C	29.08		
Elev. Pt. D	41.35	Elev. Pt. D	41.35	Elev. Pt. D	41.35		
Length C-D	84.97	Length C-D	84.97	Length C-D	84.97		
Length C-CD'	83.97	Length C-CD'	43.24	Length C-CD'	11.98		
	Elev. CD':	41.2055960		Elev. CD':	35.3240249		
Length AB'-CD'	40.03	Length AB'-CD'	40.03	Length AB'-CD'	40.03		
Length AB'-CP3	22.76	Length AB'-CP2	35.95	Length AB'-CP1	12.77		
	Elev. CP3:	41.0433153		Elev. CP2:	35.3005257		
Height Limit	30	Height Limit	30	Height Limit	30		
Max. Ht. @ CP3:	71.04	Max. Ht. @ CP2:	65.30	Max. Ht. @ CP1:	60.74		
Prop. Ht. @ CP3:	70.66	Prop. Ht. @ CP2:	63.45	Prop. Ht. @ CP1:	63.45		

NOTES

1) REFERENCE SHEET G04 FOR CONVEX SLOPE DETERMINATION INTERPOLATED GRADE DIAGRAM

ELEVATION KEYNOTES

- 15 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL.
- 16 WATER HEATER - REFERENCE T24 REPORT.
- 17 SUMP PUMP.
- 18 EJECTOR PIT.
- 19 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.
- 20 SCUPPER LOCATION.
- 21 NON STRUCTURAL WOOD FENCE UNDER 42".
- 22 GATE
- 23 BUILDING OUTLINE BEYOND
- 01 42" MINIMUM HIGH GUADRAIL (200 psf).
- 02 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.
- 03 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
- 04 ELECTRICAL VEHICLE CHARGER.
- 05 SOLAR PANELS.
- 06 TILE FLOORWALL - LAYOUT TO APPROVED BY ARCHITECT.
- 07 REINFORCEMENT FOR GRAB BARS PROVIDED PER CRC R327.1.
- 08 DOORBELL LOCATION.
- 09 ADDRESS LOCATION.
- 10 RANGE.
- 11 REFRIGERATOR/FREEZER.
- 12 WASHER/DRYER
- 13 DISHWASHER.
- 14 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.

PROJECT NO: 24006

MODEL FILE:
24006 - 3232 Hermosa Ave - 3232

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SHEET TITLE

NORTH ELEVATIONS

A202



Laney LA

PROJECT NAME
3232 APARTMENT
RENOVATION

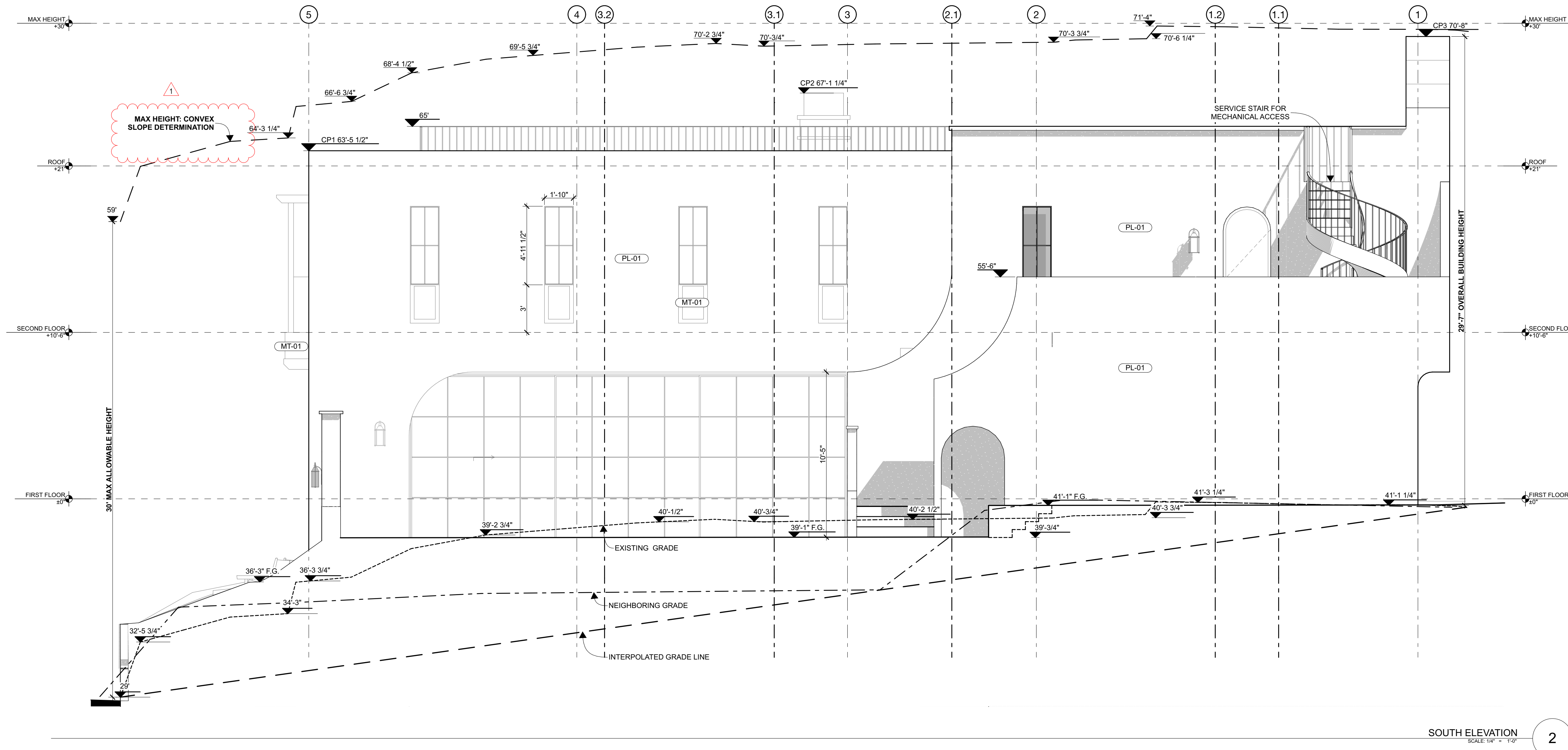
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MARK	DATE	DESCRIPTION
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	07-29	PLANNING SUBMITTAL 02



SOUTH ELEVATION
SCALE 1/8" = 1'-0"
2

CRITICAL POINT HEIGHT ANALYSIS

Critical Height Calculation For:	Address	Critical Height Calculation For:	Address	Critical Height Calculation For:	Address
Elev. Pt. A	29.03	Elev. Pt. A	29.03	Elev. Pt. A	29.03
Elev. Pt. B	40.97	Elev. Pt. B	40.97	Elev. Pt. B	40.97
Length A-B	84.95	Length A-B	84.95	Length A-B	84.95
Length A-AB'	83.95	Length A-AB'	43.14	Length A-AB'	11.89
Elev. AB':	40.8294467	Elev. AB':	35.0934679	Elev. AB':	30.7011783
Elev. Pt. C	29.08	Elev. Pt. C	29.08	Elev. Pt. C	29.08
Elev. Pt. D	41.35	Elev. Pt. D	41.35	Elev. Pt. D	41.35
Length C-D	84.97	Length C-D	84.97	Length C-D	84.97
Length C-CD'	83.97	Length C-CD'	43.24	Length C-CD'	11.98
Elev. CD':	41.2055960	Elev. CD':	35.3240249	Elev. CD':	30.8099588
Length AB'-CD'	40.03	Length AB'-CD'	40.03	Length AB'-CD'	40.03
Length AB'-CP3	22.76	Length AB'-CP2	35.95	Length AB'-CP1	12.77
Elev. CP3:	41.0433153	Elev. CP2:	35.3005257	Elev. CP1:	30.7358804
Height Limit	30	Height Limit	30	Height Limit	30
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Prop. Ht. @ CP3:	70.66	Prop. Ht. @ CP2:	63.45	Prop. Ht. @ CP1:	63.45

NOTES

1) REFERENCE SHEET G04 FOR CONVEX SLOPE DETERMINATION INTERPOLATED GRADE DIAGRAM

ELEVATION KEYNOTES

- 15 AC CONDENSER HEAT PUMPS PER T24 - REFERENCE MECHANICAL.
- 16 WATER HEATER - REFERENCE T24 REPORT.
- 17 SUMP PUMP.
- 18 EJECTOR PIT.
- 19 DRIVEWAY, SLOPE 2% MINIMUM TO DRAIN.
- 20 SCUPPER LOCATION.
- 21 NON STRUCTURAL WOOD FENCE UNDER 42".
- 22 GATE
- 23 BUILDING OUTLINE BEYOND
- 01 42" MINIMUM HIGH GUADRAIL (200 psf).
- 02 34"-38" MINIMUM HIGH STAIR RAIL ABOVE NOSING.
- 03 TRASH/RECYCLE BINS PER CITY REQUIREMENTS.
- 04 ELECTRICAL VEHICLE CHARGER.
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- 14 SLOPE CONCRETE SLAB 2% MINIMUM TO DRAIN.

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SHEET TITLE
SOUTH ELEVATIONS
A203

