





**PUBLIC WORKS STANDARD NOTES**

**GENERAL CONSTRUCTION NOTES:**

- CONSTRUCTION WORK HOURS ARE LIMITED TO 8:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY, WORK PROHIBITED ON SATURDAYS, SUNDAYS AND NATIONAL HOLIDAYS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK"), AND CITY OF HERMOSA BEACH PUBLIC WORKS STANDARD PLANS.
- ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A-C-8 OR C-12 LICENSE FOR ALL SIDEWALK, CURB AND GUTTER; C-12 LICENSE FOR ALL STREET PAVEMENT WORK; AND CLASS C-34 LICENSE FOR UTILITY WORK SUCH AS SEWER LATERAL, SEWER CAP, AND UNDERGROUND UTILITY WORK IN CONJUNCTION WITH A SINGLE FAMILY RESIDENTIAL STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. PUBLIC WORKS RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ANY SCAFFOLDING, UTILITY TRENCHING, LUMBER DROPS, CRANES, DUMPSTERS, ETC ON PUBLIC PROPERTY. THE PUBLIC WORKS PERMIT MUST BE ON THE JOB SITE AND AVAILABLE FOR REVIEW BY CITY OFFICIALS AT ALL TIMES. IF ANY WORK HAS BEGUN BEFORE OBTAINING A PERMIT, THE JOB WILL BE STOPPED UNTIL THE PERMIT IS OBTAINED.
- ALL CONTRACTORS WORKING ON PUBLIC WORKS PROJECTS MUST HAVE A CURRENT CITY OF HERMOSA BEACH BUSINESS LICENSE.
- THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA) AT 811 TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING. SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID.
- ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- CONTACT PUBLIC WORKS FOR INSPECTION AT LEAST 24 HOURS IN ADVANCE. INSPECTIONS ARE AVAILABLE MONDAY THROUGH FRIDAY, 8:30 A.M. TO 12:00 P.M. AND 1:00 P.M. TO 4:30 P.M.; OFFICE COUNTER ASSISTANCE IS AVAILABLE FROM 7:00 A.M. TO 8:30 A.M. AND 4:30 P.M. TO 6:00 P.M.
- ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE POUR OR ASPHALT BEING PLACED.
- ALL SURVEY POINTS AND MONUMENTS SHALL BE PROTECTED IN PLACE OR RE-ESTABLISHED IF THEY ARE REMOVED OR DESTROYED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL, DUST CONTROL, AND TEMPORARY DRAINAGE CONTROL AT ALL TIMES.
- ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

**GENERAL NOTES FOR STREET AND STORM DRAIN IMPROVEMENTS:**

- ALL STREET CLOSURES REQUIRING A TRAFFIC CONTROL PLAN TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL TRAFFIC CONTROL SHALL BE PER THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL. STREET CLOSURES APPROVED BY THE CITY ENGINEER WILL REQUIRE A MINIMUM OF 48 HOUR NOTICE TO BE POSTED AND DISTRIBUTED WITH PROPER DOOR-HANGERS TO ALL RESIDENCES ON SAME BLOCK. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCH CENTER FOR HERMOSA BEACH POLICE AND FIRE DEPARTMENTS AT (310) 524-2750 OF ANY CLOSURES OR RESTRICTIONS IN ACCESS.
- GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WHATEVER MEANS NECESSARY UP TO AND INCLUDING REMOVAL AND REPLACEMENT.
- ANY ASPHALT OR CONCRETE PAVEMENT WITHIN THE PROPERTY LINES THAT IS DAMAGED PRIOR TO CONSTRUCTION SHALL BE REMOVED AND REPLACED TO MEET CURRENT CITY STANDARDS.
- ANY PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND OR BETTER TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR. THE CITY SHALL AT ITS DISCRETION, AND IN THE INTEREST OF PUBLIC SAFETY, MAKE ANY REPAIRS DEEMED NECESSARY, THE COST OF WHICH WILL BE DEDUCTED FROM THE DEPOSIT HELD BY THE CITY.
- ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW-CUT OR WHEEL-CUT AND REMOVED TO CLEAN STRAIGHT LINES.
- AT ALL LOCATIONS WHERE NEW PAVEMENT JOINS EXISTING, THE EXISTING PAVEMENT SHALL BE COATED WITH AN ASPHALTIC EMULSION.

**GENERAL NOTES FOR SEWER AND UTILITY IMPROVEMENTS:**

- SEPARATION OF SEWER AND WATER FACILITIES SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE STATE OF CALIFORNIA DEPT OF HEALTH SERVICES.
- SEWER LATERALS SHALL BE CONNECTED TO THE SEWER MAIN WITH WYES.
- THE SEWER LINE SHALL BE TESTED PRIOR TO MAKING PERMANENT SERVICE CONNECTIONS.
- BACKFILL OF TRENCHES SHALL BE DONE IN LIFTS OF NO MORE THAN 8-INCHES WITH WATER AND APPROPRIATE COMPACTION TOOLS USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF NATIVE SOIL. AFTER BACKFILLING THE TRENCH, A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND REMAIN FOR NO MORE THAN TWO WEEKS. THE FINAL PATCH SHALL BE A MINIMUM OF 5" THICK OR 1" THICKER THAN THE EXISTING PAVEMENT. THE PATCH SHALL BE TACKED THOROUGHLY AND THE PATCH COMPACTED BY MECHANICAL MEANS TO A HEIGHT SLIGHTLY HIGHER THAN THE EXISTING ASPHALT AND ALL EDGES TO BE TACKLED.
- THE FINAL PATCH ON CONCRETE STREETS TO BE CLASS 3500 P.S.I. (7 SACK). EXISTING CONCRETE TO BE DRILLED TWO AND ONE HALF INCHES (2") BELOW THE SURFACE TO A DEPTH OF 6" MINIMUM AND DONNELED WITH #5 REBAR ON 18" SPACING. FINISH TO MATCH EXISTING OR MEDIUM BROOM.
- ALL UTILITY BODIES ARE TO BE ADJUSTED TO THE NEW GRADE. DAMAGED BODIES SHALL BE REPLACED. KEEP ALL UTILITY BODIES OUT OF DRAINAGE FLOW LINES. CURB RETAINERS, DRIVEWAY APPROACH AND WHEEL CHAIR RAMPS, UNLESS APPROVED BY THE CITY ENGINEER.

**JOB SAFETY REQUIREMENTS:**

- PROPER BARRICADES SHALL BE PLACED AROUND ANY CONSTRUCTION SITE WITHIN THE PUBLIC RIGHT-OF-WAY. THESE BARRICADES SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL.
- ALL CONSTRUCTION FENCING SHALL BE BEHIND THE SIDEWALK AND ALL CONSTRUCTION MATERIAL WITHOUT PERMITS ARE TO BE BEHIND THE FENCE. SIDEWALKS ARE TO BE ACCESSIBLE TO PEDESTRIANS AT ALL TIMES.
- NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LEFT ON THE PUBLIC RIGHT-OF-WAY WITHOUT PROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS AFTER DARK.
- ANY PUBLIC SIDEWALK DAMAGED TO THE POINT OF CAUSING A TRIP HAZARD MUST BE REPAIRED IMMEDIATELY. THE PANEL OF CONCRETE SHALL BE REMOVED AND PATCHED WITH A TEMPORARY ASPHALT PATCH AND MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT SIDEWALK IS CONSTRUCTED.
- ALL VEHICLES THAT INTRUDE INTO A NORMAL TRAFFIC LANE MUST HAVE PROPER SIGNAGE AND BARRICADES AS REQUIRED BY THE (WATCH) MANUAL.
- ALL WORK VEHICLES ARE SUBJECT TO ALL APPLICABLE PARKING RESTRICTIONS.
- FLAMELANS ARE REQUIRED FOR ANY VEHICLES THAT BLOCK THE TRAVEL LANE AND REQUIRE TRAFFIC TO USE THE OPPOSING LANE TO PASS.

**WATER QUALITY REQUIREMENTS:**

- PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY CONSTRUCTION MATERIAL DEBRIS OR RUNOFF FROM ENTERING ANY PUBLIC RIGHT-OF-WAY OR COUNTY STORM DRAIN. ALL SAW CUT RESIDUE MUST BE RETAINED WITH BERMS OR SANDBAGS AND VACUUMED TO PREVENT IT FROM ENTERING INTO ANY STORM DRAIN SYSTEM.
- SANDBAGS ARE REQUIRED FOR EROSION CONTROL DURING THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH AND MAY BE REQUIRED AT OTHER TIMES. SANDBAGS ARE REQUIRED AT NEARBY CATCH BASINS DURING CONSTRUCTION. SANDBAGS SHALL BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
- MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
- SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE LA. COUNTY DEPARTMENT OF PUBLIC WORKS AT (888) 253-2852.
- COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- DURING CONSTRUCTION:
  - PROTECT CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FRO SEAL, ETC.
  - CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
  - COLLECT AND RECYCLE EXCESS ASPHALT, GRAVEL OR SAND.
  - AVOID OVER-APPLICATION OF WATER TRUCKS FOR DUST CONTROL.
  - NEVER HOSE DOWN PAVED PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND /OR RAGS), OR DYE UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION CALL (888) 253-2852.
  - CATCH DRIPS FROM PUMPS WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.

**PROJECT DESCRIPTION:**

PROPOSED TWO STORY TWO UNIT CONDOMINIUM WITH ATTACHED 2-CAR GARAGE AT EACH UNIT.

**DRAINAGE NOTE:**

PROVISIONS FOR CONTRIBUTORY DRAINAGE SHALL BE MADE AT ALL TIMES.

**GRADING NOTES:**

- HAUL ROUTE MUST BE APPROVED BY ENGINEERING SERVICES. SEE CITY'S APPROVED ROUTE ON VICINITY MAP HEREIN.
- OFFSITE GRADING APPROVAL MUST BE OBTAINED IN WRITING.
- BORROW OR DISPOSAL SITE MUST BE PERMITTED & BONDED (IF WITHIN CITY) AND PERMITTED.
- SEWER MAIN/LATERAL SHALL BE PREVENTED PRIOR TO CONSTRUCTION OF FIRST FLOOR.
- UTILITY LINES LOCATION SHALL BE PERMANENTLY IDENTIFIED ON CURB FACE, FRONT 2' HEIGHT AND 3' DEPTH.
- IT IS RESPONSIBILITY OF DEVELOPER TO HAVE ALL STRIPING AND UTILITY TRENCHES PROPERLY RESTORED PER CITY STANDARD PLANS PRIOR TO RECEIVING PUBLIC WORKS FINAL SIGN OFF.
- IF SHOWING REQUIRED, CONTRACTOR SHALL PROVIDE PRIOR TO ANY EXCAVATION ACTIVITY A "SHOWING PLAN" DESIGNED TO BE IN ACCORDANCE WITH THE SOILS REPORT RECOMMENDATIONS.
- THE PROJECT SITE SHALL BE KEPT CONTINUOUSLY FENCED IN ACCORDANCE WITH THE BUILDING CODE UNTIL THE PROJECT IS FINAL OR APPROVAL TO REMOVE THE FENCE HAS BEEN OBTAINED FROM THE CITY BUILDING DEPARTMENT. 24 HOUR SECURITY SHALL BE PROVIDED ONLY TIME THE FENCE CANNOT BE MAINTAINED INTACT.

**PROJECT CUBIC YARDAGE DATA**

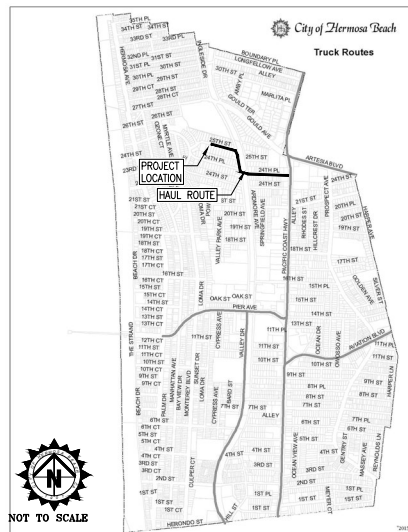
TOTAL CUT SOILS:	595	CUBIC YARDS ±
TOTAL FILL SOILS:	34	CUBIC YARDS ±
TOTAL EXPORT SOILS:	561	CUBIC YARDS ±
TOTAL IMPORT SOILS:	0	CUBIC YARDS ±

- CONTRACTOR IS RESPONSIBLE FOR COMPLETING HIS OWN CUT AND FILL CALCULATIONS. VOLUMES SHOWN ARE FOR OWNERS PLANNING PURPOSES ONLY AND NO GUARANTEE IS EXPRESSED OR IMPLIED REGARDING THEIR ACCURACY.

**REGIONAL MAP**



**VICINITY MAP**



**DRAWING INDEX:**

- C-1 TITLE SHEET
- C-2 DEMOLITION PLAN
- C-3 GRADING & DRAINAGE PLAN
- C-3A SUBSIDIARY PLAN
- C-4 PUBLIC IMPROVEMENTS
- C-5 DETAILS
- C-6 DRIVEWAY PROFILES & SECTIONS
- C-7 EROSION CONTROL PLAN

**PROPERTY INFORMATION:**

LOT 12  
C.C. HUNTS ADDITION TO  
HERMOSA TERRACE TRACT  
M.B. 10-152  
APN 4182-025-002

PROPERTY TYPE: RESIDENTIAL  
LOT SIZE: 7,446 SF  
SITE ADDRESS: 520 25TH ST, HERMOSA BEACH, CA 90254

**LID INFORMATION:**

SOIL DESIGN INFILTRATION RATE: 72 IN/HR  
SOIL TYPE: SILTY SAND  
BMP TYPE: INFILTRATION  
TOTAL DRAINAGE AREA (ACRES): 0.171 ACRES  
IMPERVIOUS AREA: 5,208 SF  
PERVIOUS AREA: 2,238 SF  
PRECISION: 0.80 IN

CATCHMENT AREA (SF) = IMPERVIOUS AREA (SF)\*0.9 + PERVIOUS AREA (SF)\*0.1  
SNOVDW (SF) = CATCHMENT AREA (SF)\*DESIGN INFILTRATION RATE (IN/HR)

CATCHMENT AREA (SF) = 4,911 SF  
SNOVDW (SF) = 308 CF

STORAGE CAPACITY (CUBIC FEET): 438 CF (INFILTRATION)  
STORM WATER QUALITY DESIGN VOLUME (CUBIC FEET): 308 CF

**GEOTECHNICAL ENGINEERING CONSULTANT STATEMENT:**

THE UNDERSIGNED GEOTECHNICAL ENGINEERING HAS REVIEWED THESE PLANS, AND FOUND THEM TO BE IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDELINES OF NORMAL ENGINEERING REPORT DATED 04/02/2025. PROJECT NO. 25193-25.

DATE \_\_\_\_\_ STAMP \_\_\_\_\_

**LID STATEMENT:**

AS THE ENGINEER/ARCHITECT OF RECORD FOR THIS PROJECT, I HAVE DESIGNED THE LID SYSTEM IN ACCORDANCE WITH THE DESIGN CRITERIA OF THE CITY OF HERMOSA BEACH LID GUIDANCE MANUAL.

DATE \_\_\_\_\_ STAMP \_\_\_\_\_

**STANDARD DESIGN PLATES & DETAILS**

2022 CALIFORNIA BUILDING CODE (CBC)

STANDARD PLAN FOR PUBLIC WORKS CONSTRUCTION (2009 EDITION)

222-2 HOUSE CONNECTION SEWER

150-3 CURB DRAIN

CITY OF HERMOSA BEACH STANDARD DETAILS

101 COMBINED CURB AND GUTTER

102 DRIVEWAY APPROACH

106 SIDEWALK

117 UTILITY TRENCH REPAIR

**LEGEND & ABBREVIATIONS:**

FOR LEGEND AND ABBREVIATIONS, SEE DRAWING C-3.

BENCH MARK:  
SET L&T LS 9321  
8.75' NLY OF CORNER  
ON PROP. LINE PROD.  
TAG ELEV.=60.25'  
SEE KEYNOTE ⑤ ON C-3.



REVISIONS		
No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	07/25/2025
2	2ND SUBMITTAL	09/26/2025

**PERU CONSULTANTS, INC.**  
CIVIL ENGINEERING & DRAFTING SERVICES  
5061 Rockwood Valley Rd., Rancho Palms, Verdugo, CA 90229  
PH: (424) 404-7662, cell: (310) 237-0911  
email: perucosultants@perc.com

PLANS PREPARED BY:  
  
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

**CITY OF HERMOSA BEACH**  
PUBLIC WORKS DEPARTMENT  
RECOMMENDED FOR PERMIT ISSUANCE:  
DATE: 09/26/2025

**PRIVATE IMPROVEMENT PLANS**  
FILE NUMBER: 25089-CIVIL  
BUILDING #: \_\_\_\_\_  
**C-1**  
SHT. 1 OF 8

**DEMOLITION GENERAL NOTES**

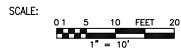
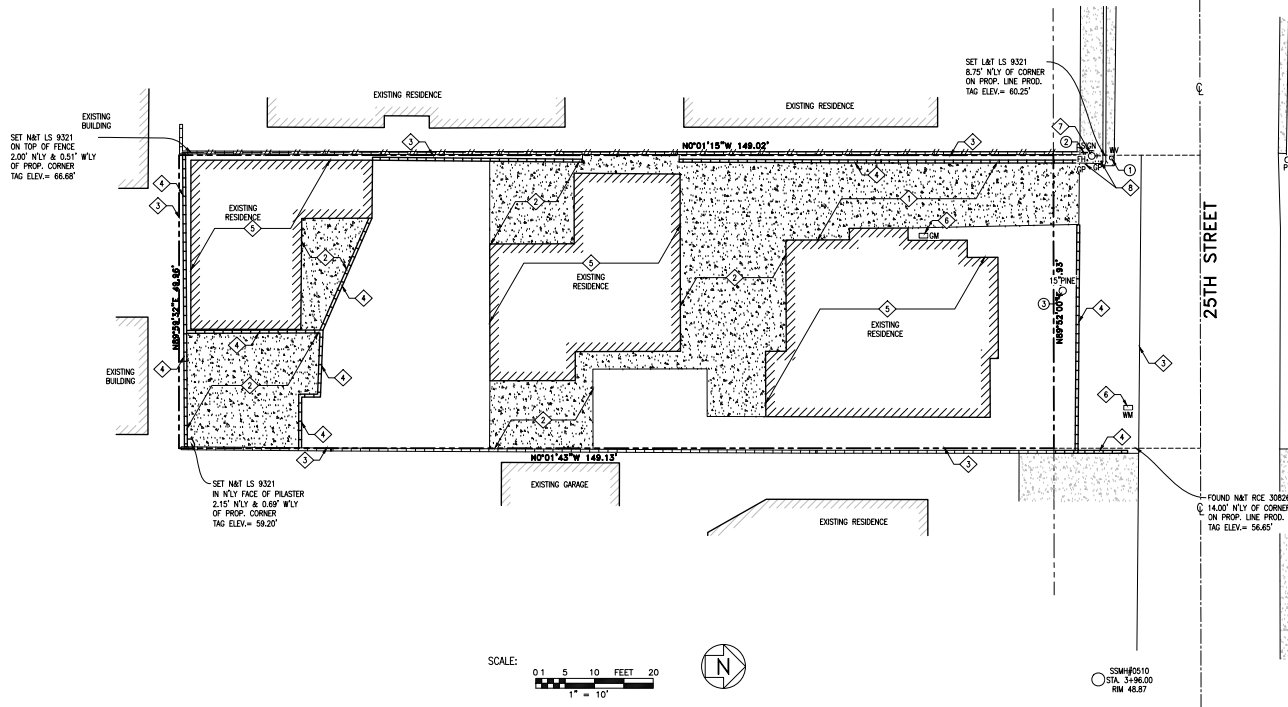
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR POTHOLE TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OR PROTECTION OF ALL EXISTING UTILITY LINES.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF THE SITE AND SHALL REMOVE AND DISPOSE OF ALL STRUCTURES ABOVE AND OR BELOW GROUND UNLESS OTHERWISE NOTED. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE HANDLED AND REMOVE AS REQUIRED BY LOCAL AND/OR STATE LAWS AT NO COST TO THE OWNER.
3. THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DAMAGE TO EXISTING HARDSCAPE IMPROVEMENTS, UTILITY FACILITIES, AND LANDSCAPING FEATURES THAT ARE NOT AFFECTED BY THESE PLANS.
4. ALL JOIN LINES SHALL BE SAWCUT ON A NEAT, STRAIGHT LINE PARALLEL WITH THE JOIN. THE CUT EDGE SHALL BE PROTECTED FROM CRUSHING AND ALL BROKEN EDGES SHALL BE RE-CUT PRIOR TO JOINING.
5. ALL EXISTING OBJECTIONABLE MATERIALS THAT CONFLICT WITH PROPOSED IMPROVEMENT INCLUDING, BUT NOT LIMITED TO, BUILDING FOUNDATIONS, UTILITIES AND APPURTENANCES, TREES, SIGNS, AND STRUCTURES, ETC. SHALL BE REMOVE AND DISPOSED BY THE CONTRACTOR AT NO COST TO THE OWNER, UNLESS OTHERWISE INDICATED HEREIN, OR AS DIRECTED BY THE CONSTRUCTION MANAGER.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING STREETS FROM DAMAGES CAUSED BY HIS OPERATIONS. ANY CURBS DAMAGE DURING HIS OPERATIONS SHALL BE SAWCUT AND REPLACED AT NO COST TO THE OWNER. ANY EXISTING PAVING IDENTIFIED AS POTENTIALLY NEEDING TO BE REPLACED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
7. THE CONTRACTOR SHALL PERFORM AND BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING OPERATIONS AS NECESSARY TO COMPLETE THE WORK, INCLUDING TRANSPORTATION AND DISPOSAL OF ALL REMOVE MATERIALS, AND ALL ASSOCIATED COSTS.

**DEMOLITION KEYNOTES:**

- ◊ DEMOLISH/REMOVE EXISTING DRIVEWAY & ASSOCIATED CURB & GUTTER
- ◊ DEMOLISH/REMOVE EXISTING PAVING.
- ◊ LIMIT OF DEMOLITION.
- ◊ DEMOLISH/REMOVE PORTION OF EXISTING WALL & ASSOCIATED FOUNDATION.
- ◊ DEMOLISH/REMOVE EXISTING BUILDING AND ASSOCIATED FOOTINGS AND UTILITIES.
- ◊ DEMOLISH/REMOVE EXISTING UTILITY.
- ◊ DEMOLISH/REMOVE EXISTING FIRE HYDRANT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO DEMOLITION.
- ◊ DEMOLISH/REMOVE EXISTING BOLLARDS.

**PROTECT IN PLACE KEYNOTES:**

- ① EXISTING UTILITY TO REMAIN.
- ② EXISTING SIGN TO REMAIN.
- ③ EXISTING TREE TO REMAIN.



SSM#0510  
STA. 34+98.00  
RM 48.87

BENCH MARK:  
SET L&T LS 9321  
8.75' NLY OF CORNER  
ON PROP. LINE PROD.  
TAG ELEV.=60.25'  
  
SEE KEYNOTE ⑤ ON C-3.



REVISIONS		
No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	07/25/2025
2	2ND SUBMITTAL	09/26/2025

**PERU CONSULTANTS, INC.**  
CIVIL ENGINEERING & DRAFTING SERVICES  
5064 Tachavallon Rd, Rancho Palms, Verdugo, CA 91225  
PH: (424) 404-7642, cell: (310) 250-9911  
email: perucosultants@perc.com



CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

09/26/2025  
DATE

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

**PRIVATE IMPROVEMENT PLANS**

**520 25TH ST  
NEW RESIDENCE  
CIVIL PLANS  
DEMOLITION PLAN**

FILE NUMBER  
25089-CIVIL

BUILDING #:

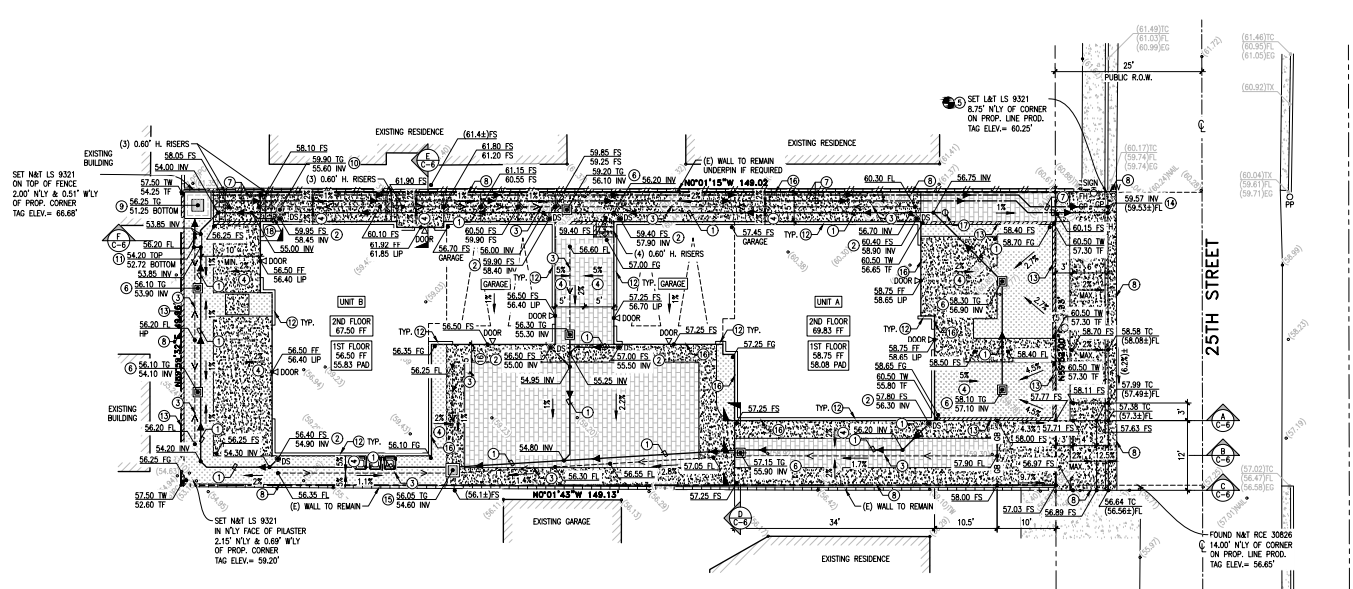
**C-2**  
SHT. 2 OF 8

**CONSTRUCTION NOTES**

- ① INSTALL 4" PVC SDR-35 STORM DRAIN PIPE. SLOPE=0.01 MIN.
- ② DOWNSPOUT CONNECTED UNDERGROUND.
- ③ FLOWLINE TO DRAIN.
- ④ 0% MIN. SLOPE AWAY FROM BUILDING FOR UNPAVED/LANDSCAPE ADJACENT TO BUILDING AND 2% MIN. SLOPE AWAY FROM BUILDING FOR PAVEMENT ADJACENT TO BUILDING.
- ⑤ TEMPORARY BENCHMARK (TBM).  
SET LAT LS 9321 8.75' N'LY OF CORNER ON PROP. LINE PROD.  
TAG ELEV.=60.25'
- ⑥ 12"x12" CATCH BASIN WITH FILTER INSERT.
- ⑦ (2) 3" DIA. SCH-80 FORCE MAIN PIPE.
- ⑧ LIMIT OF WORK.
- ⑨ 3.5"x3.5"x6" DEEP SUMP PIT. INSTALL (2) ZOLLER SUMP PUMPS MODEL 161/4161.
- ⑩ 6" DIA. AREA DRAIN.
- ⑪ INSTALL 1.34'x2.25'x1.48" DEEP INFILTRATION PIT. (1) SINGLE ECORAN TANK.
- ⑫ FOUNDATION ELEVATION SHALL EXTEND ABOVE FLOWLINE A MINIMUM OF 12 INCHES PER CBC 1808.7.4.
- ⑬ NEW RETAINING WALL, PER SEPARATE PERM.
- ⑭ INSTALL (2) 3" CAST IRON PIPES THRU CONCRETE CURB PER SPPWC STD 150-3.
- ⑮ 18"x18" CATCH BASIN.
- ⑯ OVEREXCAVATION AND RECOMPACTION LIMIT. SEE SECTIONS FOR DETAIL.
- ⑰ 6" DIA. STORM DRAIN CLEARDOUT.
- ⑱ SEE SUBDRAIN PLAN C-3A, FOR SUBDRAIN PIPES AND POINT OF CONNECTION TO STORM DRAIN.

**ABBREVIATIONS: LEGEND:**

BOIT	BOTTOM OF BASIN ELEVATION.		CATCH BASIN.
DS	DOWNSPOUT		4" DIA. PVC SDR-35 STORM DRAIN PIPE
(E)	EXISTING ELEVATION		3" DIA. SCH-80 FORCE MAIN PIPE
EM	ELECTRICAL METER		FLOWLINE
FF	FINISH FLOOR		SUBDRAIN PIPE
FL	FLOW LINE		HEIGHT
FS	FINISH SURFACE		POINT OF CONNECTION
FS	FINISH GRADE		EXISTING WALL
GM	GAS METER		PROPOSED WALL
GTEPB	GTE PULLBOX		TEMPORARY BENCHMARK
GB	GRADE BREAK		TELEVISION PULL BOX
H	HEIGHT		TOP OF CURB
HP	HIGH POINT		TOP OF FOOTING
INV	INVERT ELEVATION		TOP OF GRATE
PC	PROPERTY CORNER		TOP OF WALL
P.O.C.	POINT OF CONNECTION		TYPICAL
PP	POWER POLE		TOP OF TANK
RM	RM ELEVATION		APPROXIMATE
SD	STORM DRAIN		PROPOSED ELEVATION
TM	TEMPORARY BENCHMARK		EXISTING ELEVATION
TYPB	TELEVISION PULL BOX		
TC	TOP OF CURB		
TOF	TOP OF FOOTING		
TC	TOP OF GRATE		
TW	TOP OF WALL		
TYP	TYPICAL		
TT	TOP OF TANK		
±	APPROXIMATE		

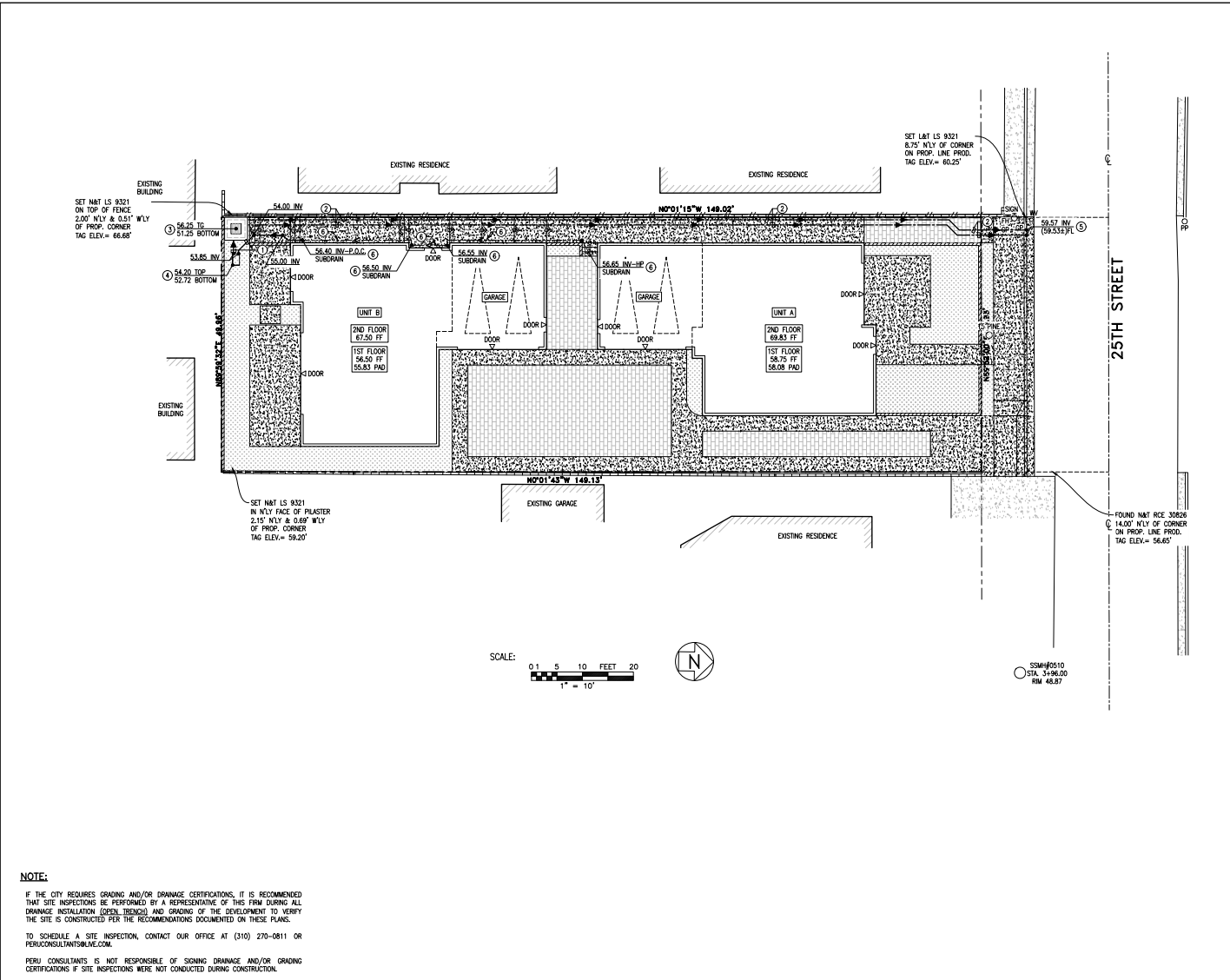


**NOTE:**  
IF THE CITY REQUIRES GRADING AND/OR DRAINAGE CERTIFICATIONS, IT IS RECOMMENDED THAT SITE INSPECTIONS BE PERFORMED BY A REPRESENTATIVE OF THIS FIRM DURING ALL DRAINAGE INSTALLATION (DETAILED) AND GRADING OF THE DEVELOPMENT TO VERIFY THE SITE IS CONSTRUCTED PER THE RECOMMENDATIONS DOCUMENTED ON THESE PLANS.  
TO SCHEDULE A SITE INSPECTION, CONTACT OUR OFFICE AT (310) 270-0811 OR PERUCONSULTANTS@GMAIL.COM.  
PERU CONSULTANTS IS NOT RESPONSIBLE FOR SIGNING DRAINAGE AND/OR GRADING CERTIFICATIONS IF SITE INSPECTIONS WERE NOT CONDUCTED DURING CONSTRUCTION.

BENCH MARK: SET L&T LS 9321 8.75' N'LY OF CORNER ON PROP. LINE PROD. TAG ELEV.=60.25'  SEE KEYNOTE ⑤ ON C-3.		REVISIONS No. DESCRIPTION DATE 1 1ST SUBMITTAL 07/25/2025 2 2ND SUBMITTAL 09/26/2025	 PERU CONSULTANTS, INC. CIVIL ENGINEERING & DRAFTING SERVICES 5061 Tardavallan Rd., Rancho Palms, Verdugo, CA 91025 PH: (424) 404-7642, cell: (310) 250-9211 email: peruc consultants@perc.com	CLIENT: CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT  RECOMMENDED FOR PERMIT ISSUANCE:	PRIVATE IMPROVEMENT PLANS  520 25TH ST NEW RESIDENCE CIVIL PLANS  GRADING & DRAINAGE PLAN	FILE NUMBER 25089-CIVIL
		DATE: 09/26/2025		DATE:		BUILDING #:  <b>C-3</b> SHT. 3 OF 8

**CONSTRUCTION NOTES**

- ① INSTALL 4" PVC SDR-35 STORM DRAIN PIPE. SLOPE=0.01 MIN.
- ② (2) 3" DIA. SCH-80 FORCE MAIN PIPE.
- ③ 3.5"x3.5"x5' DEEP SUMP PIT. INSTALL (2) ZOEHLER SUMP PUMPS MODEL 161/4161.
- ④ INSTALL 1.24'x2.25'x1.48' DEEP INFILTRATION PIT, (1) SINGLE ECORAN TANK.
- ⑤ INSTALL (2) 3" CAST IRON PIPES THRU CONCRETE CURB PER SIPPC STD 150-3.
- ⑥ SUBDRAIN PIPE.



**ABBREVIATIONS: LEGEND:**

BOIT	BOTTOM OF BASIN ELEVATION		CATCH BASIN
DS	DOWNSPOUT		
(E)	EXISTING ELEVATION		
EM	ELECTRICAL METER		4" DIA. PVC SDR-35 STORM DRAIN PIPE
FL	FINISH FLOOR		
FL	FINISH LINE		3" DIA. SCH-80 FORCE MAIN PIPE
FS	FINISH SURFACE		
FG	FINISH GRADE		
GM	GAS METER		
GTEPB	GTE PULLBOX		
GB	GRADE BREAK		
H	HEIGHT		
HP	HIGH POINT		
INV	INVERT ELEVATION		
PC	PROPERTY CORNER		
P.O.C.	POINT OF CONNECTION		
PP	POWER POLE		
RM	RM ELEVATION		EXISTING WALL
SD	STORM DRAIN		PROPOSED WALL
TM	TEMPORARY BENCHMARK		GRASS/LANDSCAPE SURFACE
TWPB	TELEVISION PULL BOX		CONCRETE SURFACE
TC	TOP OF CURB		
TOF	TOP OF FOOTING		
TG	TOP OF GRATE		
TW	TOP OF WALL		
TYP.	TYPICAL		
TT	TOP OF TANK		79.50 FS
±	APPROXIMATE		EXISTING ELEVATION

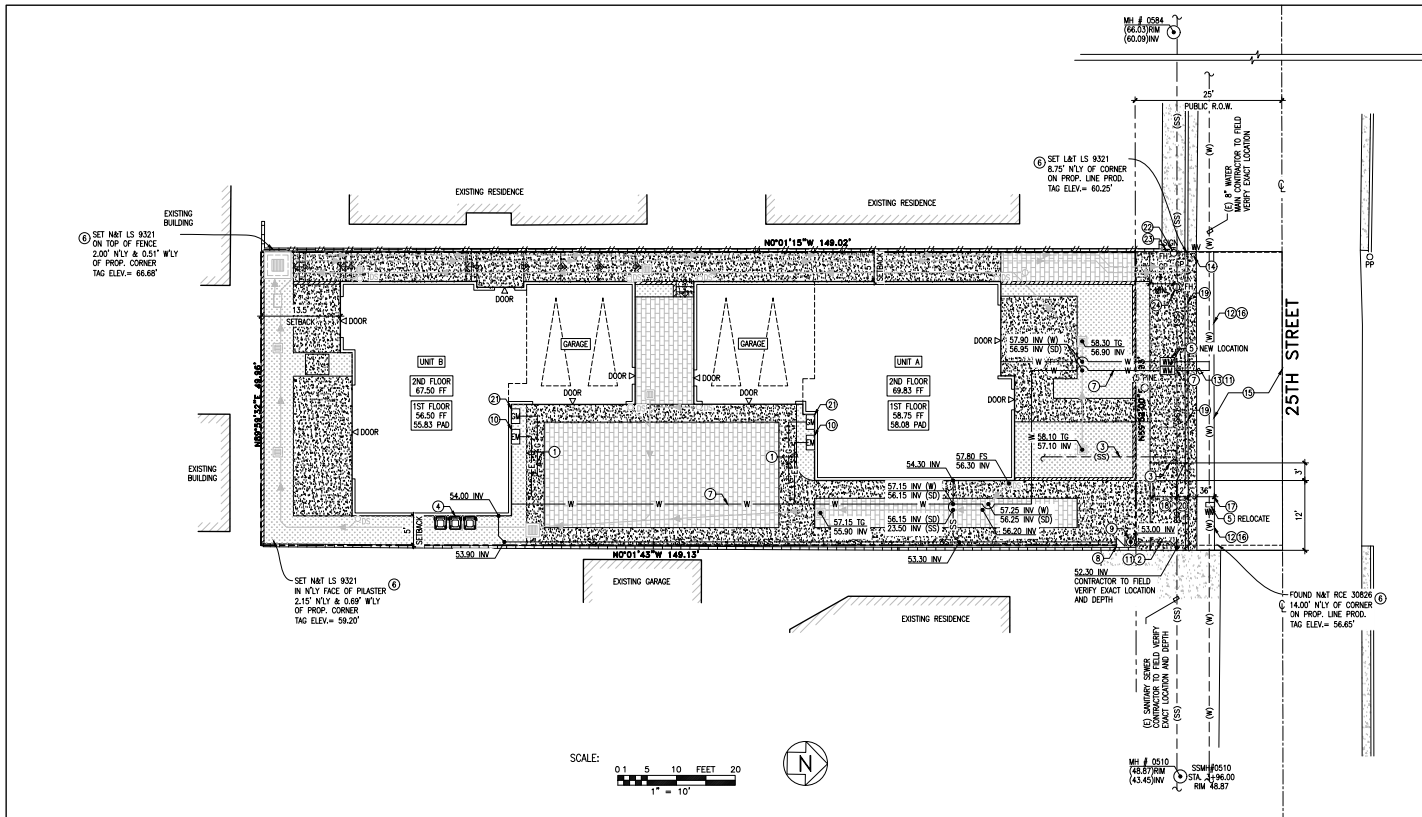
**NOTE:**

IF THE CITY REQUIRES GRADING AND/OR DRAINAGE CERTIFICATIONS, IT IS RECOMMENDED THAT SITE INSPECTIONS BE PERFORMED BY A REPRESENTATIVE OF THIS FIRM DURING ALL DRAINAGE INSTALLATION (DRAIN TRENCH) AND GRADING OF THE DEVELOPMENT TO VERIFY THE SITE IS CONSTRUCTED PER THE RECOMMENDATIONS DOCUMENTED ON THESE PLANS.

TO SCHEDULE A SITE INSPECTION, CONTACT OUR OFFICE AT (310) 270-0811 OR PERUCONSULTANTS@GMAIL.COM.

PERU CONSULTANTS IS NOT RESPONSIBLE OF SIGNING DRAINAGE AND/OR GRADING CERTIFICATIONS IF SITE INSPECTIONS WERE NOT CONDUCTED DURING CONSTRUCTION.

<p>BENCH MARK:</p> <p>SET L&amp;T LS 9321 8.75' N'LY OF CORNER ON PROP. LINE PROD. TAG ELEV.=60.25'</p> <p>SEE KEYNOTE ⑤ ON C-3.</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">REVISIONS</th> </tr> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1ST SUBMITTAL</td> <td>07/25/2025</td> </tr> <tr> <td>2</td> <td>2ND SUBMITTAL</td> <td>09/26/2025</td> </tr> </tbody> </table>	REVISIONS			No.	DESCRIPTION	DATE	1	1ST SUBMITTAL	07/25/2025	2	2ND SUBMITTAL	09/26/2025	<p><b>PERU CONSULTANTS, INC.</b> CIVIL ENGINEERING &amp; DRAFTING SERVICES 5064 Tachyon Valley Rd., Rancho Palms, Verdugo, CA 91225 PH: (424) 404-7492, cell: (310) 250-0911 email: perucosultants@perc.com</p>	<p>PLANS PREPARED BY:</p> <p>CHRISTIAN J. PEREZ, RCE LICENSE No. 80680</p>	<p><b>CITY OF HERMOSA BEACH</b> <b>PUBLIC WORKS DEPARTMENT</b></p> <p>RECOMMENDED FOR PERMIT ISSUANCE:</p> <p style="text-align: right;">09/26/2025 DATE</p>	<p><b>PRIVATE IMPROVEMENT PLANS</b></p> <p><b>520 25TH ST</b> <b>NEW RESIDENCE</b> <b>CIVIL PLANS</b> <b>SUBDRAIN PLAN</b></p>	<p>FILE NUMBER 25089-CIVIL</p> <p>BUILDING #:</p> <p style="font-size: 2em;"><b>C-3A</b></p> <p>SHT. 4 OF 8</p>
REVISIONS																			
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**CONSTRUCTION NOTES**

- ① ALL OVERHEAD UTILITIES IN 25TH STREET SHALL BE UNDERGROUND. OBTAIN PLAN FROM SCE FOR US. APPLY FOR PERMIT FROM THE CITY. ABANDONED UTILITY LINES SHALL BE CLEARED UP. CONTACT UTILITY COMPANY.
- ② CONSTRUCT 4" VOP SEWER LATERAL PER CITY STD PLAN N 113. CONNECTION TO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW "WYE". SADDLES SHALL NOT BE ALLOWED. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- ③ EXISTING SEWER LATERAL SHALL BE CARRIED AT MAIN IF SEWER LATERAL REPLACEMENT IS NOT AT SAME LOCATION. OBTAIN A PERMIT FROM PUBLIC WORKS FOR THE SEWER CAP. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- ④ NO TRASH AREA IS PERMITTED WITHIN THE PUBLIC RIGHT OF WAY.
- ⑤ NO METER BOXES ARE PERMITTED WITHIN 2 FT OF DRIVEWAY APPROACH. COORDINATE WITH CAL WATER TO RELOCATE, IF REQUIRED.
- ⑥ PROTECT SURVEY MONUMENT PER NOTE #10 OF THE GENERAL CONSTRUCTION NOTES HEREON IF REQUIRED.
- ⑦ TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENTS OF HEALTH SERVICES, "ORDINA FOR THE SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES." TRENCHING SHALL BE PER CITY OF HERMOSA BEACH STANDARD PLAN No. 117. IF THE SEWER LATERAL CROSSES OVER WATER MAIN OR LESS THAN 12" VERTICAL CLEARANCE IS PROVIDED, 4" CONCRETE ENCASUREMENT SHALL BE PROVIDED.
- ⑧ BACKFLOW PREVENTION VALVE.
- ⑨ 4" CLEANOUT.
- ⑩ ELECTRIC METER LOCATION.
- ⑪ UTILITY LINES SHALL BE PERMANENTLY IDENTIFIED ON CURB FACE. FONT 2" HEIGHT AND X" DEPTH.
- ⑫ SAWCUT (C) PAVING.
- ⑬ REPAIR UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND DEPTH OF EXISTING MAIN UTILITY LINES (CONTACT DGS ALERT), COORDINATE WITH THE UTILITY COMPANY & PUBLIC WORKS PRIOR TO INSTALLATION. REPAIR PAVING TO MATCH EXISTING. PER CITY STANDARD PLAN No. 117. IF INSTALLATION IS IN A MOTORIST/ROW STREET, PUBLIC WORKS WILL DETERMINE THE EXTENT OF THE AREA TO BE REPAIRED. SEE GENERAL CONSTRUCTION NOTES ON C-1.
- ⑭ PROTECT IN PLACE EXISTING UTILITY.
- ⑮ GRIND AND CONSTRUCT 2" AC OVERLAY REMOVE AND REPLACE DETERIORATED PAVEMENT REPLACEMENT SHALL BE PER CITY STANDARD PLANS, PL TO PL TO CL, OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- ⑯ JOIN TO MATCH EXISTING GRADE.
- ⑰ 3/4" AC PATCHBACK.
- ⑱ CONSTRUCT NEW SIDEWALK PER CITY STANDARD No. 106, FROM PL TO PL, OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- ⑲ CONSTRUCT NEW CURB & GUTTER PER CITY STANDARD No. 101, FROM PL TO PL, OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- ⑳ CONSTRUCT DRIVEWAY APPROACH PER CITY STANDARD No. 102.
- ㉑ GAS METER LOCATION.
- ㉒ REMOVE EXISTING FIRE HYDRANT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- ㉓ PROTECT IN PLACE EXISTING SIGN.
- ㉔ NEW FIRE HYDRANT LOCATION.

NOTE:  
FOR GRADING & DRAINAGE PLAN, SEE DRAWING C-3.

BENCH MARK:  
SET LAT LS 9321  
8.75' NLY OF CORNER  
ON PROP. LINE PROD.  
TAG ELEV.=60.25'  
  
SEE KEYNOTE ⑤ ON C-3.



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**PERU CONSULTANTS, INC.**  
CIVIL ENGINEERING & DRAFTING SERVICES  
5064 Tachalloy Rd, Rancho Palms, Yorba Linda, CA 92725  
PH: (424) 404-7412, cell: (916) 250-9911  
email: periconsultants@perc.com

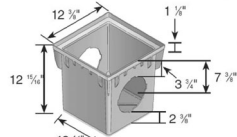
PLANS PREPARED BY:  
 **CHRISTIAN J. PEREZ, RCE LICENSE No. 80680**  
DATE: 09/26/2025

**CITY OF HERMOSA BEACH**  
**PUBLIC WORKS DEPARTMENT**  
RECOMMENDED FOR PERMIT ISSUANCE:  
DATE:

FILE NUMBER: 25089-CIVIL  
BUILDING #: **C-4**  
SHT. 5 OF 8  
**PRIVATE IMPROVEMENT PLANS**  
**520 25TH ST**  
**NEW RESIDENCE**  
**CIVIL PLANS**  
**PUBLIC IMPROVEMENTS**

**NDS** TECHNICAL SPECIFICATIONS  
WE PUT WATER IN ITS PLACE

**12" x 12" CATCH BASIN**



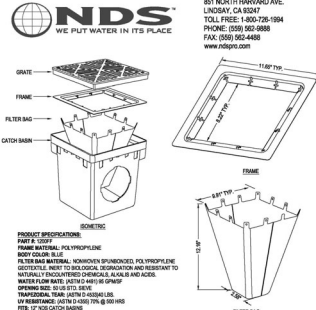
- 1200E-KIT - Catch basin with 2 openings
- 1200 - Catch basin with two openings
- 1201 - Catch basin with 3 openings
- 1204 - Catch basin with 4 openings

Material: Polypropylene  
Colors: Black (1200E-KIT, 1200, 1201, 1204)  
Fire Retardant: Other parts # 1206, #1242, #1243, #1245, #1206, and 1209 Unavailable under fire-retardant opening.  
Bottom cannot be used for additional outlets.



12" x 12" Catch Basin with 2 Openings  
1200E-KIT, 1200, 1201, 1204  
NDS  
www.ndspro.com

**NDS** TECHNICAL SPECIFICATIONS  
WE PUT WATER IN ITS PLACE



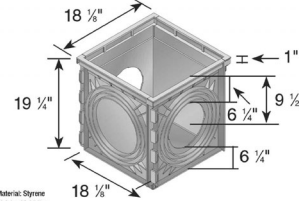
PRODUCT SPECIFICATIONS  
FRAME MATERIAL: POLYPROPYLENE  
BODY COLOR: BLACK  
FILTER BAG MATERIAL: NONWOVEN SPUNBOND POLYPROPYLENE  
GEOTEXTILE: MEET TO ISO LOGICAL, NONPERSISTENT AND RESISTANT TO NATURALLY OCCURRING ORGANIC ACIDS AND ALKALIS  
WATER FLOW RATE: (ACTIVE AREA) 40 GPM  
OPERATING PRESSURE: 100 PSI  
TEMPERATURE: 100°F (38°C)  
WEIGHT: 10.5 LBS  
SIZE: 12" x 12" x 12" (H)

- NOTES:
1. BOTTOM BAG SHOULD BE EVALUATED TO INSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  3. DO NOT SCALE DRAWING.
  4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PERMIT PURPOSES ONLY.
  5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- INfiltration  
12" CATCH BASIN FILTER

12" x 12" Catch Basin with 2 Openings  
1200E-KIT, 1200, 1201, 1204  
NDS  
www.ndspro.com

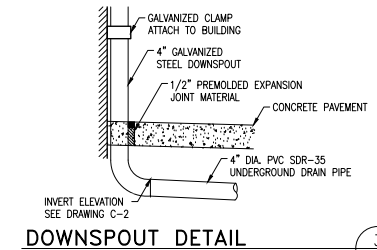
**NDS** TECHNICAL SPECIFICATIONS  
WE PUT WATER IN ITS PLACE

**18" EXPANDABLE CATCH BASIN**

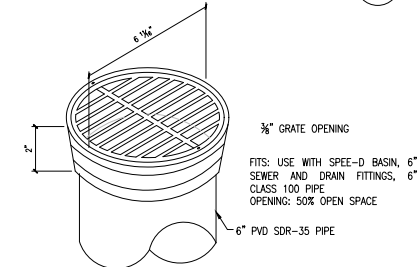


Material: Styrene  
Weight: 10.0 lbs  
Colors: Black  
• 18" Expandable Catch Basin with 2 Openings (1800)  
Composed of 2 #1800, 2 #1802, #1808  
Includes 2 #1800 Reducer Rings  
• 18" One Piece Catch Basin with 4 Openings (1904)  
Includes 4 #1800 Reducer Rings  
Requires offset #1206, #1242, #1245, #1206, #1188, or #1808 universal outlet to connect pipe  
Connections are seal tight, require water proof silicone to make connections water tight

18" x 18" Expandable Catch Basin with 2 Openings  
1800, 1802, 1808, 1904  
NDS  
www.ndspro.com

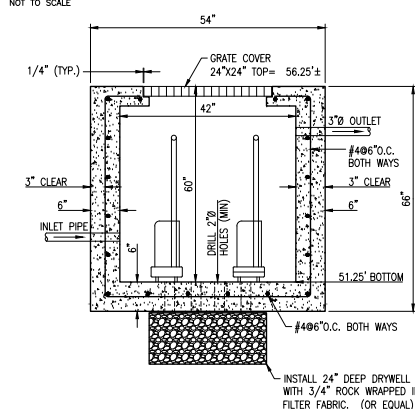


**DOWNSPOUT DETAIL**  
NOT TO SCALE

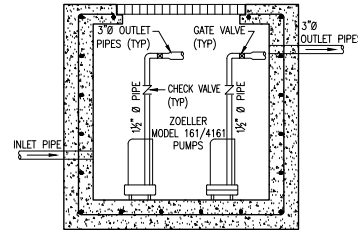


**AREA DRAIN DETAIL**  
NOT TO SCALE

**12" x 12" CATCH BASIN WITH FILTER INSERT**



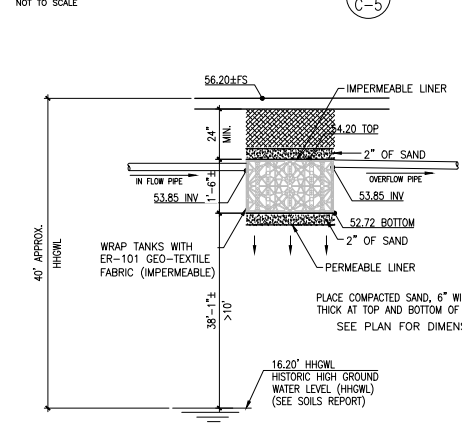
**SUMP BASIN DETAIL**  
NOT TO SCALE



NOTE:  
AN ALARM SYSTEM & MECHANICAL OR ELECTRICAL ALTERNATORS SHALL BE CONSIDERED FOR THE PUMP SYSTEM.

**PUMP INSTALL DETAIL**

**18" x 18" CATCH BASIN**



**ECORAIN TANK DETAIL**  
NOT TO SCALE

1. EXCAVATE TRENCH LARGER THAN SPECIFIED TANK SIZE.
  2. COMPACT BASE TO 35 PSI.
  3. ADD SAND TO BASE, COMPACT AND LEVEL WITH A STRAIGHT EDGE.
  4. LAY GEOTEXTILE MATERIAL IN BOTTOM AND ON SIDES OF TRENCH, ENOUGH TO FULLY WRAP TANK, WITH 12" SEAM OVERLAPS.
  5. INSTALL TANKS UPRIGHT FOR MAXIMUM STRENGTH.
  6. COVER ECORAIN TANKS WITH GEOTEXTILE MATERIAL-WRAP TIGHT, CUT AWAY EXCESS FOLDS, OVERLAP AND/OR SEAL JOINTS WITH TAPE.
  7. BACKFILL SIDES WITH SANDY FILL IN MAXIMUM 12" LAYER-COMPACTING EACH LAYER AT LEAST 95%.
  8. BACKFILL OVER TOP WITH 2" CLEAN SAND AND 6" MINIMUM TOP SOIL (60% SAND, 40% ORGANIC MATTER) AS SHOWN.
- NOTE:  
CONTACT STORMWATER SOLUTIONS REGARDING INSTALLATION.

BENCH MARK:  
SET L&T LS 9321  
8.75' NLY OF CORNER  
ON PROP. LINE PROD.  
TAG ELEV.=60.25'  
SEE KEYNOTE ⑤ ON C-3.



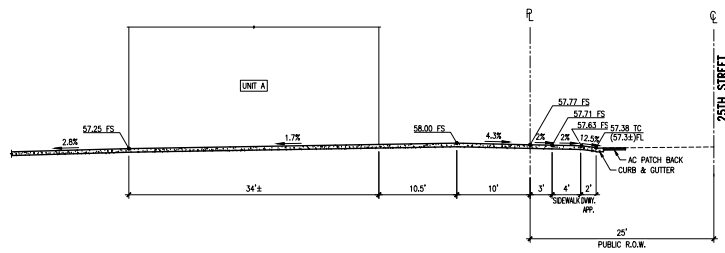
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CIVIL ENGINEERING & DRAFTING SERVICES  
5061 Rockwellon Rd., Rancho Palms, Verdugo, CA 91215  
PH: (424) 404-7642, cell: (310) 250-0911  
email: perucosultants@perc.com

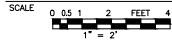
PLANS PREPARED BY:  
**CHRISTIAN J. PEREZ, RCE LICENSE No. 80680**  
DATE: 09/26/2025

**CITY OF HERMOSA BEACH**  
**PUBLIC WORKS DEPARTMENT**  
RECOMMENDED FOR PERMIT ISSUANCE:  
DATE

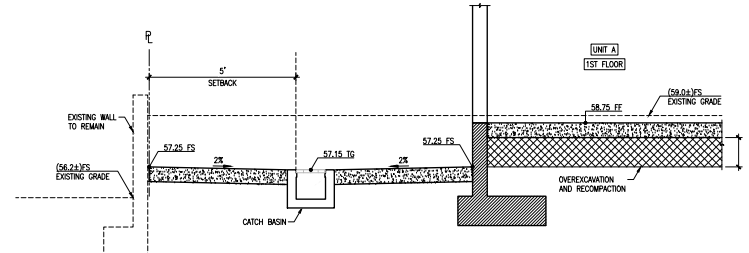
FILE NUMBER: 25089-CIVIL  
BUILDING #: C-5  
SHT. 6 OF 8  
**PRIVATE IMPROVEMENT PLANS**  
**520 25TH ST**  
**NEW RESIDENCE**  
**CIVIL PLANS**  
**DETAILS**



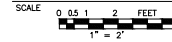
DRIVEWAY PROFILE



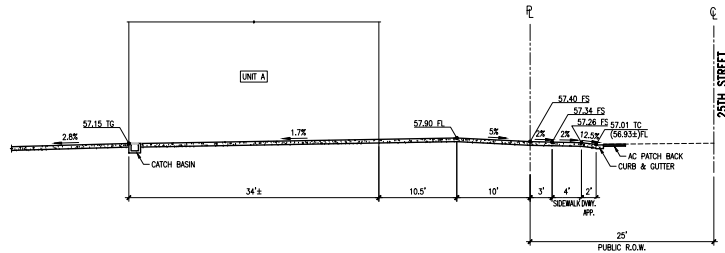
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C-6



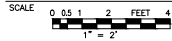
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C-6

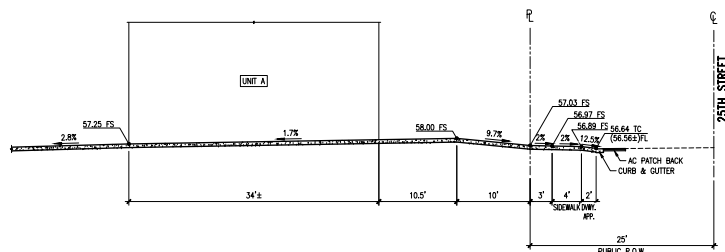


DRIVEWAY PROFILE

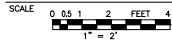


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C-6

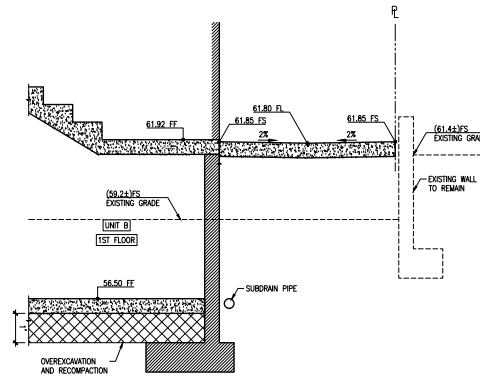
**NOTE:**  
 1. CONTRACTOR TO COMPLY WITH GEOTECHNICAL ENGINEER'S SITE GRADING RECOMMENDATIONS PER REPORT No. 25193-25 DATED APRIL 2, 2025.  
 2. PROVIDE PROVISIONS OF SHORING TO PROTECT ADJACENT WALL AND ASSOCIATED IMPROVEMENTS DURING EXCAVATION OPERATIONS. CONTRACTOR TO SUBMIT SHORING PLAN TO PLANNING FOR REVIEW AND APPROVAL. SHORING PLAN SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS ON THE REPORT PREPARED BY NORCAL ENGINEERING, DATED APRIL 2, 2025, PROJECT No. 25193-25.



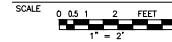
DRIVEWAY PROFILE



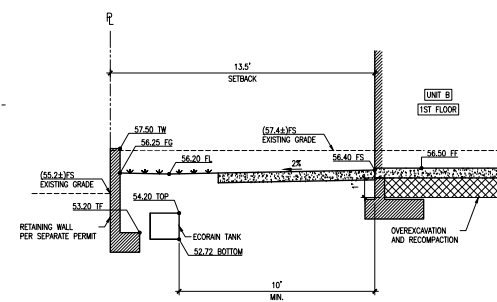
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C-6



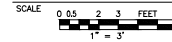
SECTION



E  
C-6



SECTION



F  
C-6

BENCH MARK:  
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 8.75' NLY OF CORNER  
 ON PROP. LINE PROD.  
 TAG ELEV.=60.25'  
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 email: perucivil@peruinc.com

PLANS PREPARED BY:  
  
**CHRISTIAN J. PEREZ, RCE LICENSE No. 80680**  
 DATE: 09/26/2025

**CITY OF HERMOSA BEACH**  
**PUBLIC WORKS DEPARTMENT**  
 RECOMMENDED FOR PERMIT ISSUANCE:  
 DATE:

**PRIVATE IMPROVEMENT PLANS**  
 FILE NUMBER: 25089-CIVIL  
 BUILDING #: **C-6**  
 SHT. 7 OF 8  
**520 25TH ST**  
**NEW RESIDENCE**  
**CIVIL PLANS**  
**DRIVEWAY PROFILES & SECTIONS**

**OCEAN, LAKE AND RIVER POLLUTION PREVENTION**

IT IS UP TO US. RAIN WATER OR URBAN RUN OFF MIXES WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE: OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PEST WASTES, PESTICIDES AND LITTER. THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) WILL INSURE A CLEANER OCEAN AND CITY.

- GENERAL BUSINESS PRACTICES**
  - KEEP MATERIALS OUT OF THE RAIN. STORE THEM UNDER COVER, WITH TEMPORARY ROOFS OR PLASTIC SHEETS, PROTECTED FROM RAINFALL, RUNOFF AND THE WIND.
  - SCHEDULE EXCAVATION AND GRADING WORK FOR DRY WEATHER.
  - DEVELOP AND IMPLEMENT EROSION AND SEDIMENT CONTROL PLANS FOR EMBANKMENTS.
- EQUIPMENT MAINTENANCE**
  - MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY FOR LEAKS.
  - CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE AND REFUELING AT ONE LOCATION - AWAY FROM STORM DRAINS.
  - PERFORM MAJOR EQUIPMENT/VEHICLE REPAIRS AND WASHING WHERE IT IS PERMITTED. DO NOT USE DIESEL OIL TO LUBRICATE OR CLEAN EQUIPMENT OR PARTS.
- ASPHALT AND CONCRETE REMOVAL**
  - AFTER BREAKING UP PAVING, BE SURE TO REMOVE ALL CHUNKS AND PIECES. RECYCLE THEM AT A CRUSHING COMPANY. USE THE REFERRAL NUMBERS LISTED BELOW.
  - DISPOSE OF SMALL AMOUNTS OF DRY CONCRETE IN THE TRASH.
  - MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
  - SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT (888) 253-2652.
  - COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- ASPHALT AND CONCRETE DISPOSAL OPTIONS**
  - USE A CRUSHING COMPANY LIKE THOSE LISTED BELOW TO RECYCLE CEMENT, ASPHALT AND PORCELAIN RATHER THAN TAKING THEM TO A LANDFILL.
    - BLUE DIAMOND SOUTH GATE (800) 371-8483
    - COPP CRUSHING, ANAHEIM, TEMECULA, CHINO AND SANTA FE SPRINGS, (714) 777-6400
    - RI NOBLE, SANTA ANA, 714-637-1550
- DURING CONSTRUCTION**
  - COVER CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
  - USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
  - NEVER WASH MATERIALS FROM EXPOSED AGGREGATE CONCRETE, ASPHALT, OR SIMILAR TREATMENTS INTO A STREET.
  - BITTER OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF.
  - COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
  - AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
- SPILLS**
  - NEVER HOSE DOWN THIRTY PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING TERY METHODS (WITH ABSORBENT MATERIALS AND/OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION, CALL (888) 253-2652.
  - CATCH DRIPS FROM PAVEMENT WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.

**BMP SELECTION AND LEGEND:**

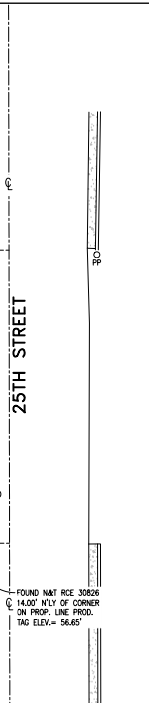
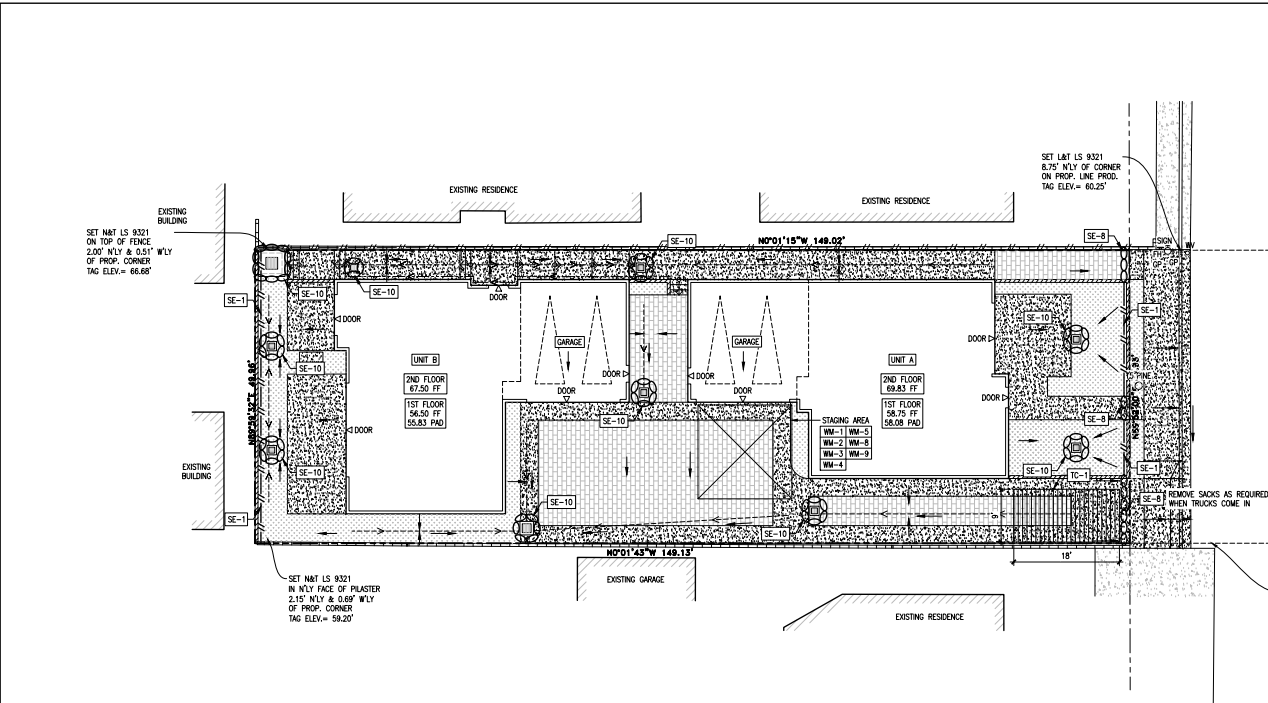
BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF CAGSA CALIFORNIA STORMWATER HANDBOOK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CAGSA.ORG.

THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:

- EC-1 PROJECT SCHEDULE
- EC-2 PRESERVATION OF EXISTING VEGETATION
- NS-1 WATER CONSERVATION
- NS-3 PAVING AND GRINDING
- NS-6 DISCHARGE REPORTING
- NS-7 POTABLE WATER/IRRIGATION
- NS-8 VEHICLE CLEANING
- NS-9 VEHICLE FUELING
- NS-10 VEHICLE MAINTENANCE
- WE-1 WIND EROSION CONTROL

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN:

- SE-7 STREET SWEEPING AND VACUUMING
  - SE-8 SANDBAG BARRIER
  - SE-10 INLET PROTECTION
  - IS-1 STABILIZED CONSTRUCTION ENTRANCE/DIRT
- THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:
- WM-1 MATERIAL STORAGE
  - WM-2 MATERIAL USAGE
  - WM-3 STORAGE MANAGEMENT
  - WM-9 SPILL PREVENTION KIT
  - WM-5 SOLID WASTE (TRASH)
  - WM-8 CONCRETE WASTE (WASHOUT)
  - WM-9 SEPTIC/SANITARY FACILITIES



**TEMPORARY FENCE NOTES:**  
 THE PROJECT SITE SHALL BE KEPT CONTINUOUSLY FENCED IN ACCORDANCE WITH THE BUILDING CODE UNTIL THE PROJECT IS FINAL OR APPROVAL TO REMOVE THE FENCE HAS BEEN OBTAINED FROM THE CITY BUILDING DIVISION. 24 HOUR SECURITY SHALL BE PROVIDED ONLY TIME THE FENCE CANNOT BE MAINTAINED INTACT.

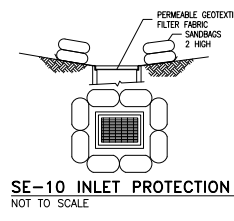
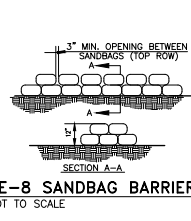
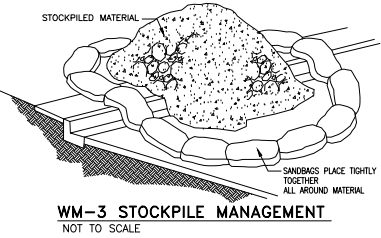


**DEWATERING NOTES:**

- UTILIZE APPROPRIATE DEWATERING SYSTEMS AND TECHNIQUES TO MAINTAIN THE EXCAVATED AREA SUFFICIENTLY DRY FROM GROUNDWATER AND/OR SURFACE RUNOFF SO AS NOT TO ADVERSELY AFFECT CONSTRUCTION PROCEDURES OR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND.
- PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC WHERE REQUIRED FOR UNDERDRAIN SYSTEMS. THE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
- WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SEWERY SEWER SYSTEM. SITUATION BARRIERS SHALL BE UTILIZED AS NECESSARY.
- WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL THE AREAS OF WORK IN SUITABLE DRY CONDITION.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW WORK FROM FLOODING DURING STORMS OR FROM OTHER CAUSES. GRADING IN THE AREAS SURROUNDING ALL EXCAVATIONS SHALL BE PROPERLY SLOPED TO PREVENT WATER FROM RUNNING INTO THE EXCAVATED AREA OR TO ADJACENT PROPERTIES. WHERE REQUIRED, TEMPORARY DITCHES SHALL BE PROVIDED FOR DRAINAGE. UPON COMPLETION OF THE WORK AND WHEN DIRECTED, ALL AREAS SHALL BE RESTORED IN A SATISFACTORY MANNER AND AS DIRECTED.
- ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
- UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED. WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET THE SUBGRADE DENSITY REQUIREMENTS DUE TO IMPROPER DEWATERING TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE INSPECTOR.

**MATERIAL STORAGE:**

- DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMWATER SYSTEM.
- ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.



**BENCH MARK:**  
 SET L&T LS 9321  
 8.75' NLY OF CORNER  
 ON PROP. LINE PROD.  
 TAG ELEV.=60.25'  
 SEE KEYNOTE ⑤ ON C-3.



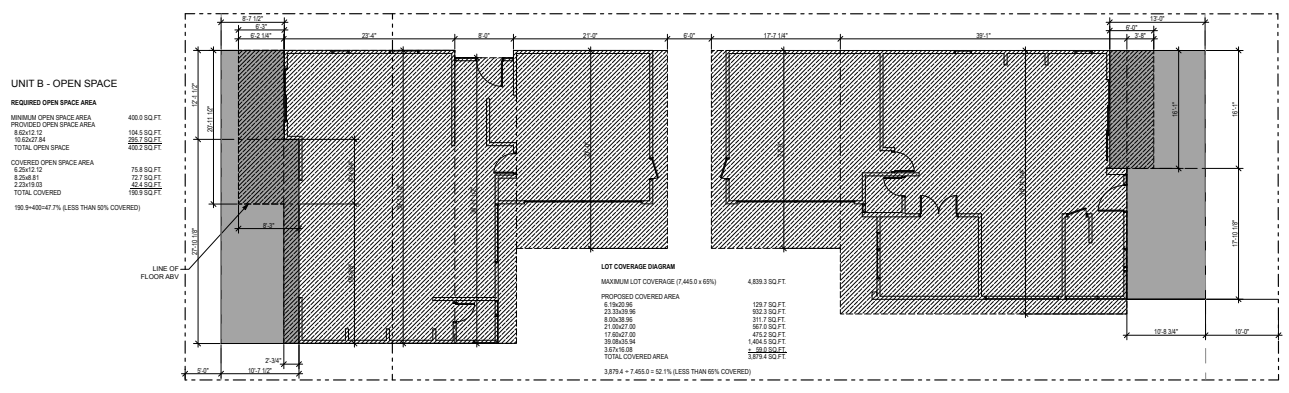
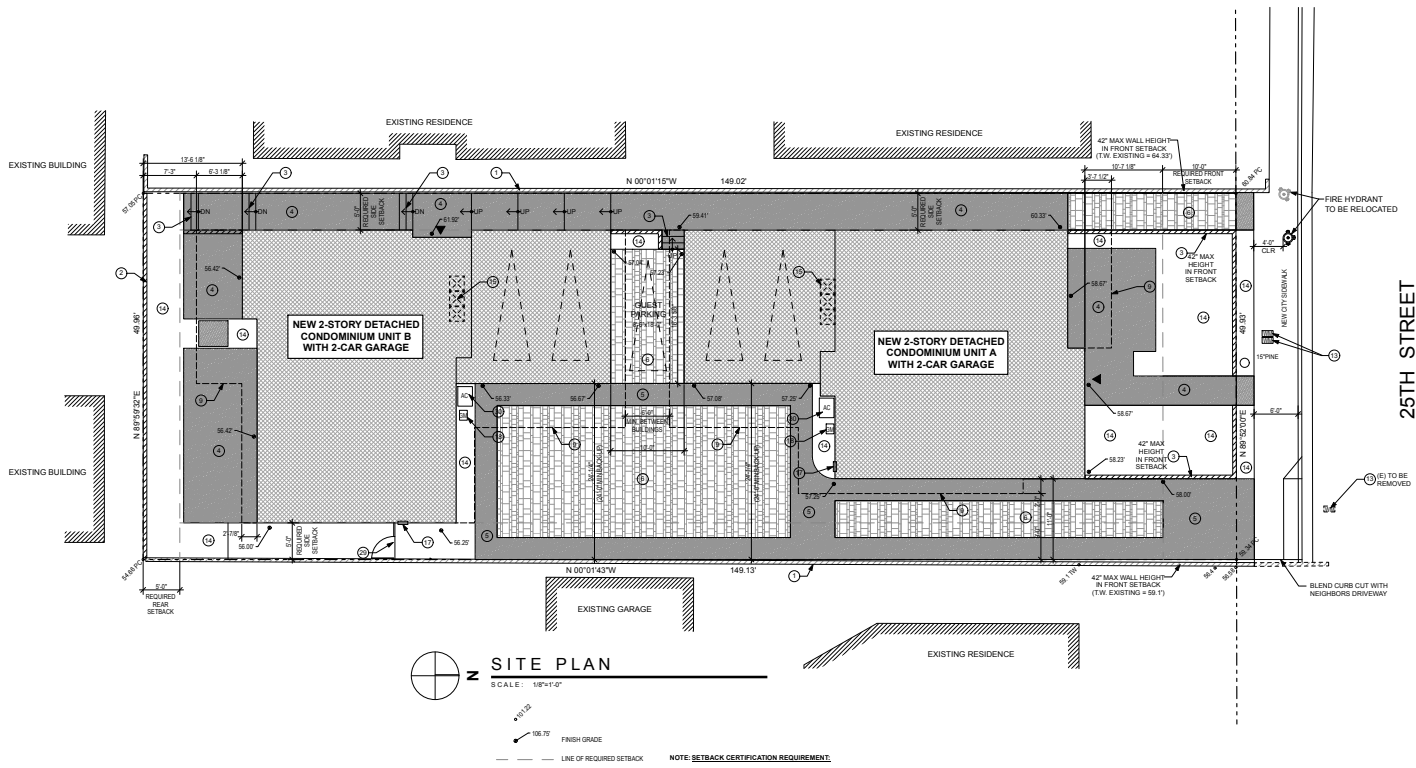
REVISIONS		
No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	07/25/2025
2	2ND SUBMITTAL	09/26/2025

**PERU CONSULTANTS, INC.**  
 CIVIL ENGINEERING & DRAFTING SERVICES  
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 PH: (424) 404-7462, cell: (310) 270-0911  
 email: perucosultants@perc.com

**PLANS PREPARED BY:**  
  
**CHRISTIAN J. PEREZ, RCE LICENSE No. 80680**  
 DATE: 09/26/2025

**CITY OF HERMOSA BEACH  
 PUBLIC WORKS DEPARTMENT**  
 RECOMMENDED FOR PERMIT ISSUANCE:  
 DATE:

**PRIVATE IMPROVEMENT PLANS**  
 FILE NUMBER: 25089-CIVIL  
 BUILDING #: C-7  
 SHT. 8 OF 8  
**520 25TH ST  
 NEW RESIDENCE  
 CIVIL PLANS  
 EROSION CONTROL PLAN**



**LOT COVERAGE / OPENSACE DIAGRAM**



- SITE PLAN KEYNOTES:**
- EXISTING CMU WALL / WOOD FENCE TO REMAIN (NO CHANGE IN HEIGHT)
  - NEW 6" HIGH CMU PROPERTY LINE WALL FENCE: WALL, HORIZONTAL AND HEDGE HEIGHTS AS SHOWN. UNFINISHED GRASS ADJACENT TO EACH SECTION OF THESE STRUCTURES MAY BE A MAXIMUM OF 42" IN FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS. ON SITE IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE. SEE EXISTOR ELEVATIONS.
  - NEW CONCRETE STAIR
  - NEW CONCRETE WALKWAY / PATIO: PROVIDE NEW SAW CUTS AS SHOWN
  - NEW CONCRETE DRIVEWAY
  - NEW PERMEABLE DRIVEWAY: ENTIRE DRIVEWAY SHALL BE PERMEABLE PAVERS MINOR: ANGLESTONE FINING STONE MODEL: PERMEABLE AQUALINA PAVER COLOR: PRINTER DARK GRAY. SEE DETAIL 14.1.0 FOR INSTALLATION
  - NEW CURB / GUTTER / SIDEWALK: PROVIDE NEW CURB / GUTTER SIDEWALK AS SHOWN PER CITY OF HERMOSEA BEACH STANDARD PLAN
  - NEW CURB OUT: PER CITY OF HERMOSEA BEACH STANDARD PLAN
  - LINE OF SECOND FLOOR ABOVE
  - LINE OF ROOF EAVE ABOVE
  - LINE OF EXISTING BUILDING TO BE REMOVED
  - LINE OF TRELLIS ABOVE
  - RELOCATE EXISTING WATER METER / PROVIDE NEW PER CIVIL PLANS
  - LANDSCAPED AREA: SEE LANDSCAPE PLAN FOR REQUIRED PLANT MATERIALS AND SIZES. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM
  - TRASH AREA: TRASH AREA FOR A MINIMUM OF THREE 4' TALL 2'X2' TRASH CANS AT GARAGE. REFUSE AREA SHALL NOT INTRUDE INTO REQUIRED PARKING DIMENSIONS. SEE 14.0 (GROUND FLOOR FINISH PLAN) FOR EXACT LOCATION INSIDE THE GARAGE.
  - DRIVEWAY VISIBILITY: VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A LENGTH OF 8 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTION THE STREET PROPERTY LINE, WHICHEVER IS LESS
  - NEW ELECTRIC METER SERVICE PANEL AT EACH UNIT WITH 1" DIAMETER STEEL OUT CONDUIT MIN. 25 AMP SERVICE. WATERPROOF METAL CONTAINER (FLUSH MOUNT) PAINT TO MATCH ADJACENT WALL. ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS. REFER TO E. R. SHEETS PER ARTICLE 220, NEC
  - NEW GAS METER: LOCATION SUBJECT TO GAS COMPANY APPROVAL. SEE DETAILS 8 & 9 / A.7.1
  - EXISTING SEWER LATERAL TO BE RE-USED
  - NEW PROPERTY LINE CLEAN OUT: PROVIDE NEW PROPERTY LINE CLEAN OUT PER CITY OF HERMOSEA BEACH PUBLIC WORKS NOTES
  - CERTIFICATES: CERTIFICATES OF INSTALLATION (CFIR-ENV, CFIR-LTD AND CFIR-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES FIELD VERIFICATION AND/OR TESTING, ALL CFIR FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED PROVIDER. PROVIDER DATA REGISTRY THE CFIR FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
  - CERTIFICATE OF VERIFICATION (CFVR) SHALL BE COMPLETED BY THE REGISTERED PROFESSIONAL ENGINEER. THE REGISTERED CFVR FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
  - SEPARATE PERMITS: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND REMOVAL OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR SUCH PERMITS, ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
  - EXISTING WALLS TO BE REMOVED
  - AREA DRAIN: DRAIN TO CATCH BASIN VIA 3" Ø PVC PIPE
  - CATCH BASIN: 10" W/12" DEEP PRECAST CATCH BASIN W/ 1" Ø GRATE. OUTLET TO STREET VIA 2" Ø PVC PIPES TO PROPERTY LINE. TRAP AND 1" Ø PIPES UNDER CURB FACE.
  - PEDESTRIAN PROTECTION: DURING CONSTRUCTION COMPLY WITH USC SECT. 3303 REGARDING PROTECTION OF PEDESTRIANS.
  - BUILDING ADDRESS: BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND 5 FEET FROM THE STREET PER SECTION 801.2 (SEE SHEET 14-0.8)
  - WOOD FENCE AND GATE: PROVIDE 6" HIGH WOOD FENCE WITH 2" X 4" WOOD GATE. EGRESS GATE SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SEE EXISTOR ELEVATIONS AND DETAIL 42 / A.7.2
  - A/C COMPRESSORS: PROVIDE PLAC COMPRESSORS. PROVIDE PLAC FORMS AT SHEET 1.6. MAY NOT BE LOCATED IN REQUIRED FRONT OR SIDE YARDS. PROVIDE 4" THICK MIN CONCRETE PAD PER CAC.
- REQUIRED PERMEABLE AREA**
- |                                       |                |
|---------------------------------------|----------------|
| LOT AREA                              | 1,488.0 SQ.FT. |
| BUILDING FOOTPRINT                    | 1,096.0 SQ.FT. |
| REMAINING OF LOT                      | 3,982.0 SQ.FT. |
| REQUIRED PERMEABLE AREA (4.30% @ 60%) | 2,175.4 SQ.FT. |
| OPEN LANDSCAPE AREA                   | 1,012.0 SQ.FT. |
| PERMEABLE DRIVEWAY/WALK               | 1,242.0 SQ.FT. |
| TOTAL PERMEABLE AREA                  | 2,254.0 SQ.FT. |
| CONCRETE DRIVEWAY                     | 1,255.0 SQ.FT. |
| CONCRETE WALK/PATIO                   | 1,628.0 SQ.FT. |
| TOTAL CONCRETE                        | 2,883.0 SQ.FT. |

architecture  
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 310.376.9171 • 310.376.1822  
 www.a22arch.com

**912**

- Revisions:**
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**NEW TWO-UNIT CONDOMINIUM**  
520 25th Street, Hermosa Beach, CA, 90254

Site Plan

Date: 11/19/25  
 Name of File: 520\_25P

**A-1.0**

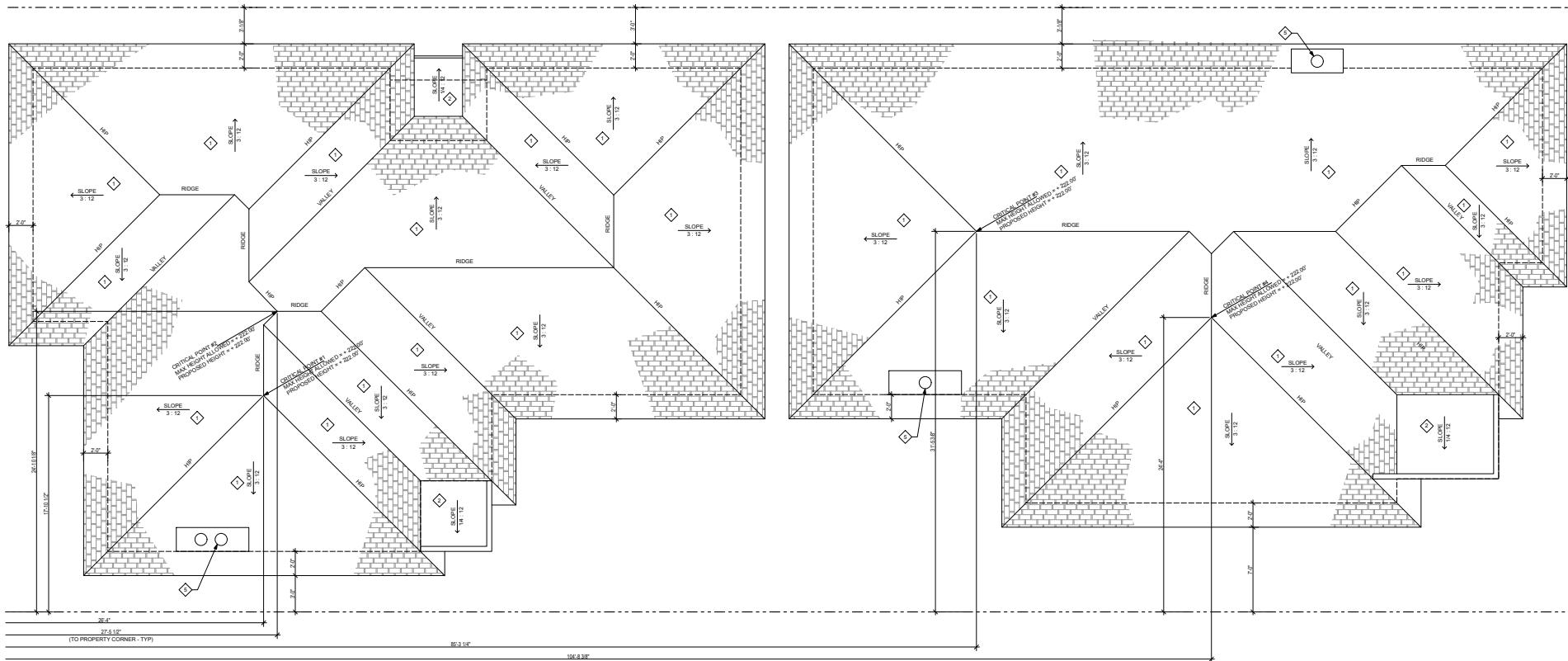




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Roof Plan



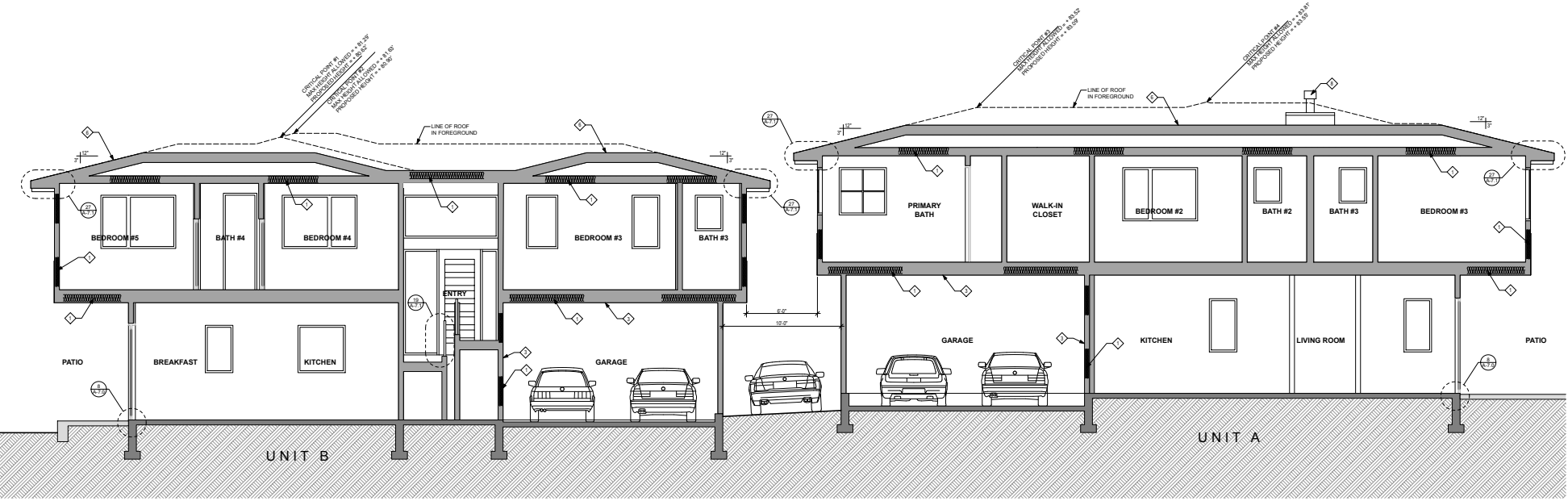
UNIT B



ROOF PLAN  
 SCALE: 1/4" = 1'-0"

UNIT A

- KEYNOTES**
- ROOF FINISH ASPHALT ROOFING SHINGLES**  
 MANUF: SHINGLES  
 MODEL: THREE-TAB APPROVED SELF SEALING OR WARE SEALED SHINGLES  
 CLASS 3  
 SLOPE: 3:12  
 FOR ROOF SLOPES FROM 3:12 UP TO 4:12 FOR ASPHALT SHINGLES UNDERLAYMENT SHALL BE 2 LAYERS OF 15# FELT LAD WITH 1" OVERLAP PER SECTION 9063.2
  - LOW RITCH ROOF WATERPROOFING**  
 MANUF: DOW CORNING PRODUCTS CORP  
 PRODUCT: DOW CORNING ROOF WATERPROOFING MEMBRANE  
 ICC ESR 150  
 CLASS: A  
 SLOPE: 1/4" FT MIN  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
  - SELF-FLASHING SKYLIGHT**  
 MANUF: VELUX  
 PRODUCT: C02 2448 (6-8 LU FACTOR) (0.27 SHGC)  
 ICC ESR 418  
 SEE DETAIL 7 A 7.3
  - ATTIC VENT (SEE ARCH AREA)**  
 PROVIDE 1 1/8" VENT AREA AT ALL ENCLOSED ATTIC SPACES  
 PROVIDE (7) 12"x24" HALF ROUND CORRUGATED VENT (8) 8" VENT AREA AT 4" RISE  
 AT LOCATIONS SHOWN ON ROOF PLAN AND 2" INCHES PER DETAIL 7.7 (16"x16" VENT AREA) (8 MIN) TO LEAVE BLOBS AT ATTIC: 1-84 SQ FT  
 TOTAL VENT AREA: 1-79: 1-84: 1-88 SF  
 PER CRC SECTION 9066
  - CHIMNEY TERMINATION CAP**  
 SEE SHEET DETAIL 7B METAL MESH WITH 1/4" DIA SPARK ARRESTOR  
 MANUF: MANCO  
 ICC ESR 373  
 USE THE PRODUCT OR AN APPROVED EQUAL  
 INSTALL PER MANUFACTURERS INSTRUCTIONS  
 DECORATIVE CHIMNEY CAP MUST BE LISTED ASSEMBLY  
 CHIMNEY SHALL EXTEND 2 FT ABOVE EQUIVALENT ROOF WITHIN 10 FT DISTANCE PER CHAPTER 10, C.B.C.
  - ROOF CUTTER**  
 HALF ROUND COPPER ROOF CUTTER SLOPE TO DOWNPOUT LOCATION @ 18"12"
  - 7" DUAL DOWNPOUT**  
 COPPER DOWNPOUT - DRAIN TO STREET VIA APPROVED NON-REVERSIVE DEVICE  
 SEPARATE PIPE REQUIRED FOR OVERFLOW
  - DECK WATERPROOFING**  
 MANUF: DOW CORNING PRODUCTS CORP  
 PRODUCT: DOW CORNING ROOF WATERPROOFING MEMBRANE  
 ICC ESR 150  
 CLASS: A  
 SLOPE: 1/4" FT MIN  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
  - DECK DRAINS**  
 MANUF: THUNDERBOLT  
 MODEL: 1" DIA COPPER DECK DRAIN WITH STRAINER  
 PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 SEE DETAIL 20 A 7.1
  - ROOF DRAINS**  
 MANUF: THUNDERBOLT  
 MODEL: 1" DIA COPPER DECK DRAIN WITH STRAINER  
 PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 SEE DETAIL 20 A 7.1
  - OVERFLOW SCUPPER (DRAIN)**  
 PROVIDE STRAIGHT DRAIN LINE  
 OUTLET SHALL BE LOCATED 2' ABOVE LOW POINT OF ROOF  
 WITH 1/4" DIA COPPER ROOF CUTTER  
 MANUF: MANCO  
 ICC ESR 373  
 USE THE PRODUCT OR APPROVED EQUAL  
 INSTALL PER MANUFACTURERS INSTRUCTIONS  
 DECORATIVE CHIMNEY CAP MUST BE LISTED ASSEMBLY  
 CHIMNEY SHALL EXTEND 2 FT ABOVE EQUIVALENT ROOF WITHIN 10 FT DISTANCE PER CHAPTER 10, C.B.C.
  - ROOF FLASHING**  
 PROVIDE COPPER ROOF FLASHING AT ALL ROOF PENETRATION/VALLEY/CROCKET  
 PARAPETS, SATELITE ANTENNA BALLS, SOLID STATE ROOF EQUIP MUST BE WITH THE HEIGHT LIMIT
  - PARAPETS, SATELITE ANTENNA BALLS, SOLID STATE ROOF EQUIP**  
 ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON REVERSIVE DEVICE  
 ROOF DRAIN PASSING THROUGH THE ROOF INTO THE INTERIOR OF BUILDING SHALL BE MADE WATER TIGHT AT THE ROOF LINE BY THE USE OF SUITABLE ASK MATERIAL  
 ROOF DRAINAGE WATER SHALL NOT BE ALLOWED TO FLOW OVER PUBLIC PROPERTY, BUT SHALL BE CARRIED IN A DRAIN PIPE OR OTHER APPROVED TRANSPORT UNDER THE PUBLIC SIDEWALK OR WALKING SURFACE TO THE GUTTER UNLESS ONE OF THE FOLLOWING CONDITIONS EXISTS AND IS MAINTAINED:  
 ROOF DRAINAGE WATER IS TO BE DEPOSITED AT A POINT OR POINTS ON THE SITE, WHERE THE PUBLIC SIDEWALK OR WALKING SURFACE DRAINAGE CHANNEL THAT DOES NOT FLOW OVER PUBLIC PROPERTY  
 ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GUTTER TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM  
 VALLEY FLASHING SHALL BE NOT LESS THAN 6" HIGH (48 IN) OR GALVANIZED SHEET GAGE, CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 2" BENCH OF ONE LAYER OF NO. 75 ASTM CAP SHEET FINISHING THE FULL LENGTH OF THE VALLEY  
 ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
  - PHOTOVOLTAIC SOLAR PANEL ARRAY**  
 PER TITL 24 ENERGY REQUIREMENTS, PROVIDE 3.85 KW PV PANELS  
 TOTAL NUMBER OF PANELS: 15  
 EACH PANEL: 1'2 5/8 FT. PROVIDE 180 SQ FT MIN OPEN ROOF AREA  
 NOTE: SOLAR PANELS MUST BE INSTALLED BELOW MAXIMUM HEIGHT LIMIT  
 SOLAR PANELS SHALL BE INSTALLED UNDER A SEPARATE PERMIT



**SECTION B**  
 SCALE: 1/4"=1'-0"

(SEE SHEET A.1 FOR SECTION KEYNOTES)

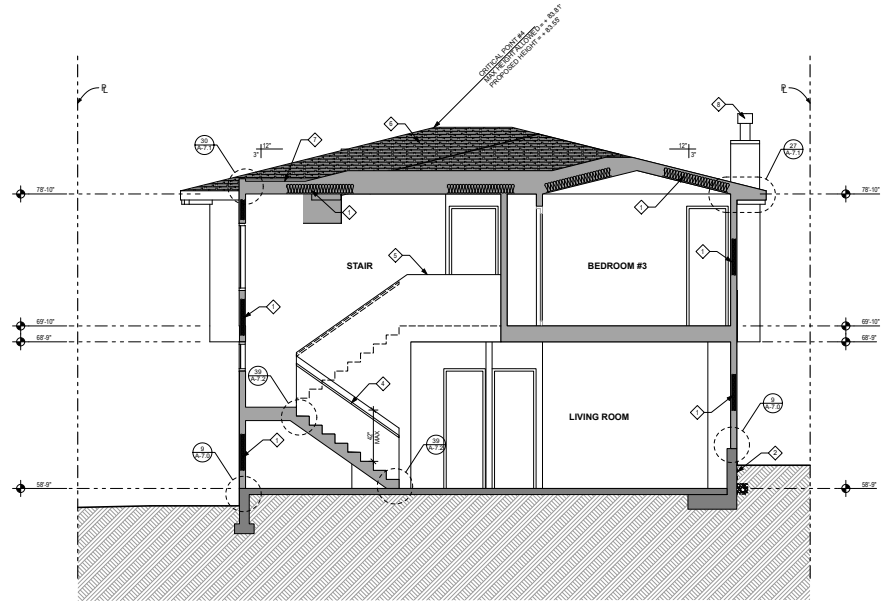
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**SECTION A**  
 SCALE: 1/4"=1'-0"

Sections





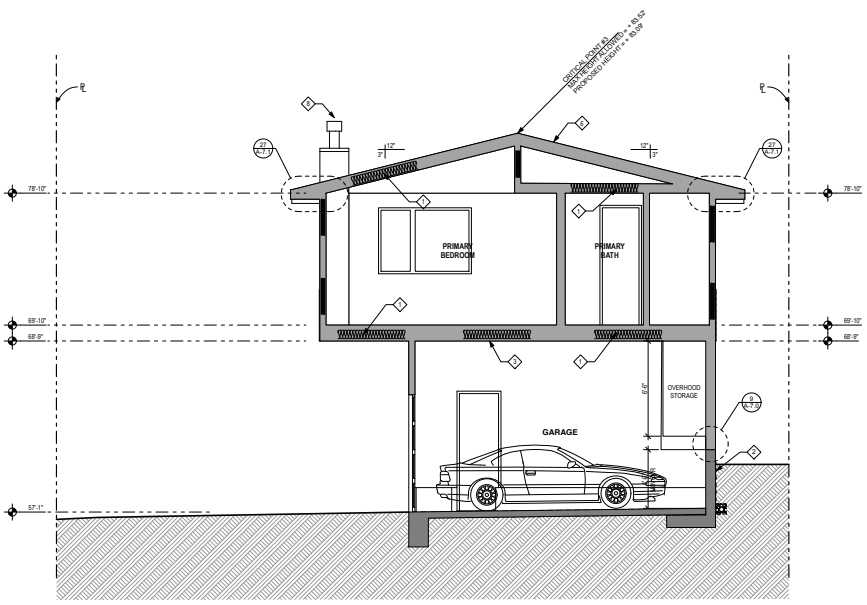
**SECTION C**  
SCALE: 1/4"=1'-0"

- SECTION KEYNOTES:**
- INSULATION REQUIREMENTS**  
FOL BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-IR FORM  
EXTERIOR WALL R-10 PER CF-IR FORM  
INTERIOR WALL R-13  
WHERE SPECIFIED  
BASED W/O FLOOR R-30 PER CF-IR FORM  
FLOOR OVERHEADS R-30 PER CF-IR FORM  
SLAB EDGE INSUL. NA  
REFER TO CF-IR FORMS, SEE SHEET T-6
  - WATERPROOFING @ FOUNDATION WALL**  
MANUF. DMS PLASTICS, LTD.  
PRODUCT: DMS AD WATER PROOFING SYSTEM  
ICCB: ESR 2896  
PROVIDE: 4" DIA. PERFORATED PIPE DRAIN IN  
FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED  
NON-EROSIVE DEVICE. SEE CIVIL DRAWING.  
INSTALL PER MANUF. SPECS.  
USE THIS PRODUCT OR APPROVED EQUAL.
  - ONE-HOUR FIRE RESISTIVE WALL**  
SET TYPE "X" TOP WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE  
AND ADJACENT LIVING SPACES, AND  
ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 100, C.I.C.
  - HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
HANGING ONE RAIL TO EXTEND BEYOND TOP  
AND BOTTOM RISER, AND SHALL TERMINATE IN  
A RISER, POST OR WALL.  
HANDROP CROSS SECTIONAL AREA OF TOP  
RAIL, 1" MIN TO 2" MAX.  
MIN 1" CLEAR BETWEEN RAIL AND WALL  
@ CORNERS. SEE GUARDRAIL NOTE  
PER SECT. 100, C.I.C.
  - GUARDRAIL @ ROOF (LAND)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.  
PER SECT. 100, C.I.C.  
SEE HAND RAIL NOTE FOR TOP RAIL.  
ORNL RAIL SHALL HAVE INTERMEDIATE RAILS,  
SO THAT A 6" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 100, C.I.C.
  - ROOF FINISH ASPHALT ROOFING SHINGLES**  
MANUF. MANVILLE  
MODEL: THREE-TIE APPROVED SELF SEALING  
OR HAND SEALED SHINGLES.  
CLASS: A  
SLOPE: 3" / FT.  
FOR ROOF SLOPES FROM 2:12 UP TO 4:12 FOR ASPHALT  
SHINGLES UNDERLAYMENT SHALL BE 2 LAYERS OF 15# FELT  
LAD WITH 1" OVERLAP PER SECTION R062.2
  - LOW PITCH ROOF WATERPROOFING**  
MANUF. DIVISION OF PRODUCTS GROUP  
PRODUCT: DEL-O-TEL ROOF WATERPROOFING  
MEMBRANE  
ICCB: ESR 1771  
SLOPE: 1/2" / FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 100, C.I.C.
  - CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM  
OF 2' ABOVE ANY PART OF THE BUILDING  
WITHIN 12' CHIMNEY MAY EXCEED THE MAX  
PERMITTED BUILDING HEIGHT BY NO MORE  
THAN 1' PROVIDED THE WIDTH AND DEPTH  
DO NOT EXCEED 2' AND 8" RESPECTIVELY.

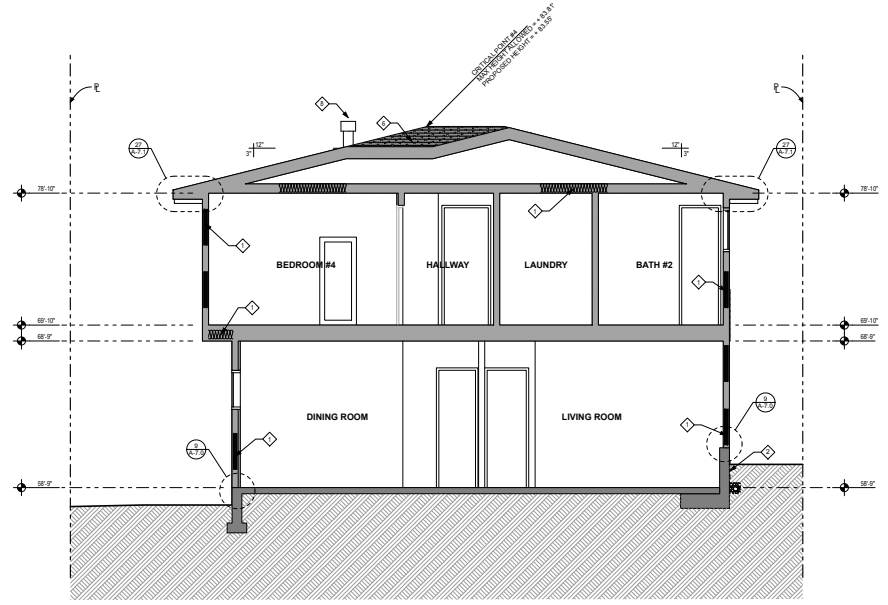
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www.912arch.com

Revisions:

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**SECTION E**  
SCALE: 1/4"=1'-0"



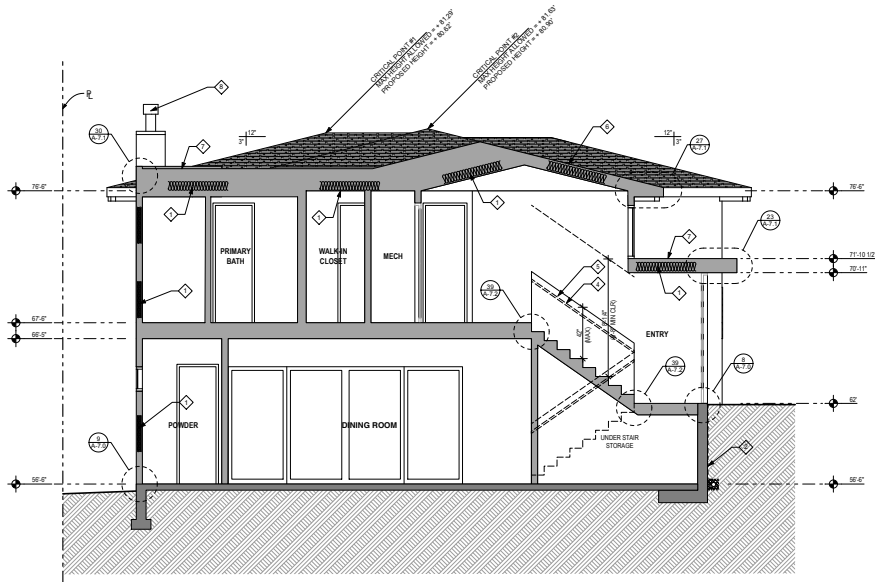
**SECTION D**  
SCALE: 1/4"=1'-0"

**NEW TWO-UNIT CONDOMINIUM**  
520 25th Street, Hermosa Beach, CA, 90254

Sections

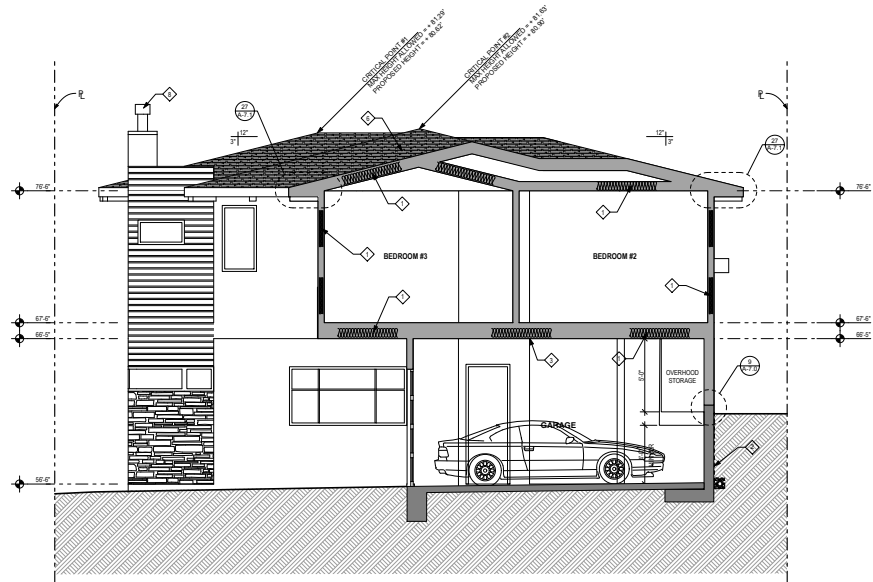
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A-4.1



**SECTION G**

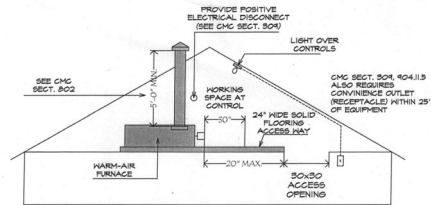
SCALE: 1/4"=1'-0"



**SECTION F**

SCALE: 1/4"=1'-0"

**WARM AIR FURNACE - ATTIC**



RELATED CODE SECTION: CMC SECT. 491  
 CENTRAL WARM-AIR FURNACES INSTALLED IN AN ATTIC MUST BE ACCESSIBLE FOR ROUTINE INSPECTIONS AND MAINTENANCE BY THE OWNER/OCCUPANT AND FOR SERVICE AND REPAIR AS NEEDED, CHANGING FILTERS, LUBRICATING MOTOR AND FAN BEARING, CHECKING BELT TENSION, AND RESETTING THE PILOT FOLLOWING A SERVICE INTERRUPTION ARE NORMAL OWNER FUNCTIONS. ADEQUATE LIGHT, AND ELECTRICAL OUTLET, SAFE ACCESS WAY AND SUFFICIENT WORKING SPACE ON THE CONTROL SIDE ALL ENCOURAGE AND FACILITATE MAINTENANCE AND ALSO ENABLE RAPID EGRESS IN AN EMERGENCY.

**NOTES:**

- 1.-PROVIDE DOUBLE JOISTS BELOW UNIT
- 2.- PROVIDE SEISMIC BRACES OR ANCHOR UNIT TO PLATFORM
- 3.-CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURE

**FAU @ ATTIC**  
 NO SCALE:

912  
 architecture  
 427 Harbor Way, CA, 90296  
 T: 310.376.8171 • F: 310.376.1822  
 www.912arch.com

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**NEW TWO-UNIT CONDOMINIUM**  
 520 25th Street, Hermosa Beach, CA, 90254

**Sections**

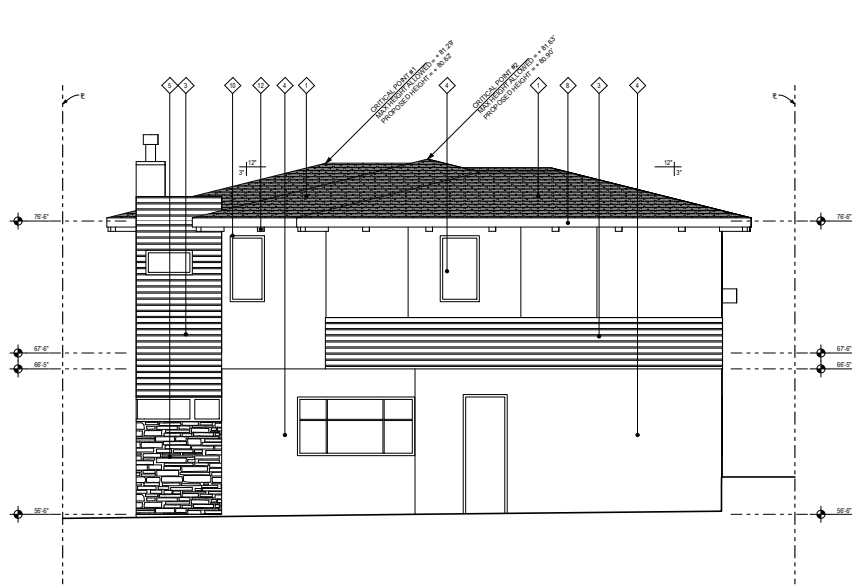


**A-4.2**

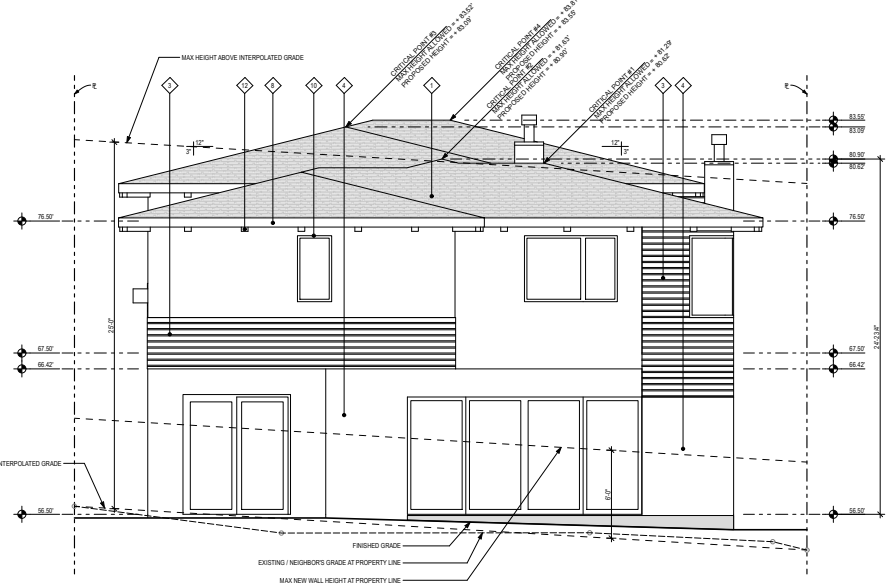


Revisions:

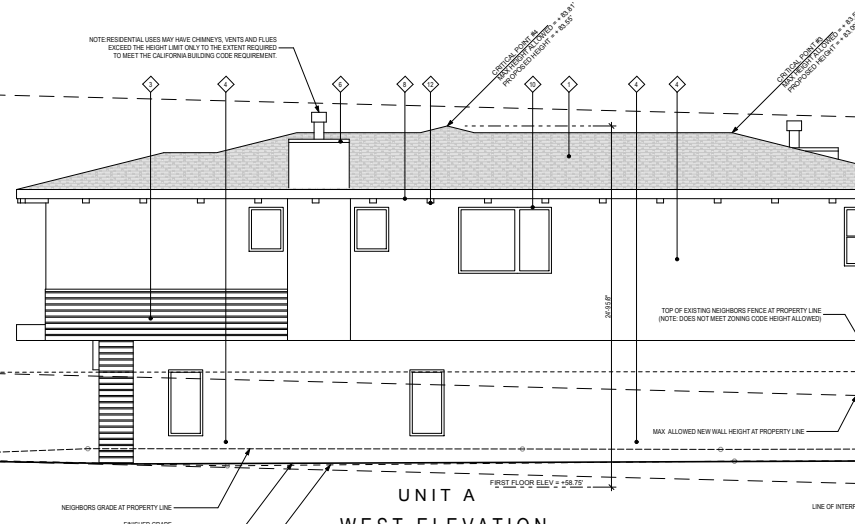
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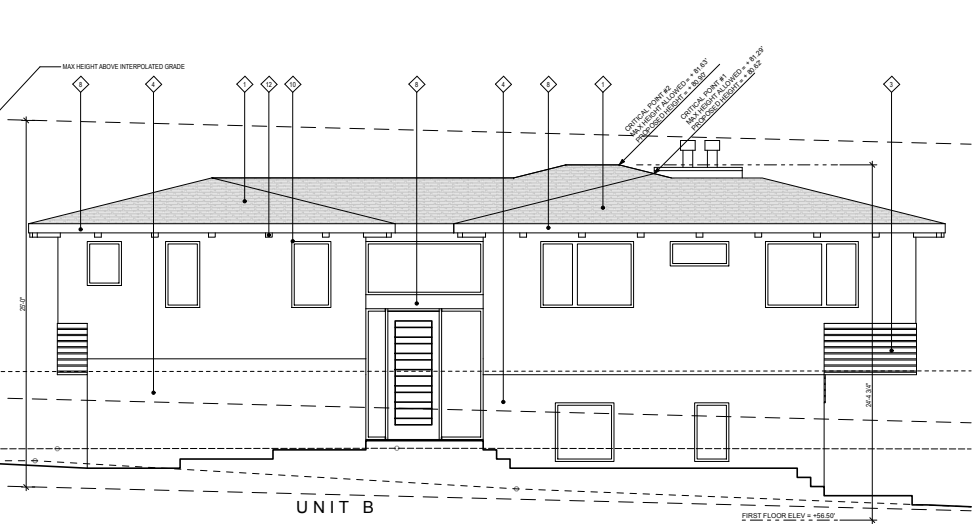
**NORTH ELEVATION - UNIT B**  
 SCALE: 1/4"=1'-0"



**SOUTH ELEVATION - UNIT B**  
 SCALE: 1/4"=1'-0"



**UNIT A**  
**WEST ELEVATION**  
 SCALE: 1/4"=1'-0"



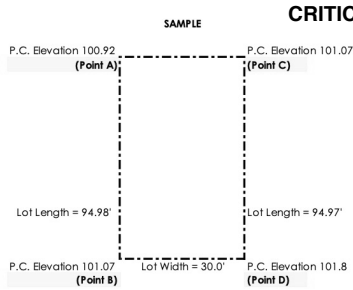
**UNIT B**

NOTES:  
 MAX PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE (6'-0" MAX IN FRONT YARD).  
 IF MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT PERMITS, SATELLITE ANTENNAE, WALL MOUNTED, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

- ELEVATION NOTES:**
- ROOF FINISH: ASPHALT ROOFING SHINGLES**  
 MANUF: MAYVILLE  
 MODEL: THREE TAB APPROVED SELF SEALING OR HARD SEALED SHINGLES  
 CLASS: # 1 FT  
 SLOPE: 12/12  
 FOR ROOF BLOWERS FROM 2:12 UP TO 4:12 FOR ASPHALT SHINGLES UNDERLAYMENT SHALL BE LAYERS OF 15# FELT LAY WITH 1/4" OVERLAY PER SECTION 19A1.2.1
  - LOW PITCH ROOF WATERPROOFING**  
 MANUF: SIKORSKI'S PRODUCTS CORP  
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
 ICC ESR 1767  
 SLOPE: 1/4" FT MIN  
 CLASS: INSURE MANUF SPEC  
 USE THIS PRODUCT OR APPROVED EQUAL PER SECT 19A1.2.C.1.C
  - HORIZONTAL EXTERIOR SIDING**  
 HORIZONTAL PLANK EXTERIOR SIDING OVER 1/2" TYPE BUILDING PAPER LAPPED SHINGLE FASHION  
 SEE DETAIL 31/A1.2
  - EXTERIOR STUCCO**  
 1/2" THICK EXTERIOR STUCCO OVER 2 LAYERS WATERPROOFING PAPER FINISH: SMOOTH STEEL TROWEL COLOR: WHITE
  - STONE VENEER**  
 STONE VENEER OVER BROWN COAT  
 SEE DETAIL 31/A1.2
  - BRONZE ANODIZED ALUMINUM RIGLET**  
 MANUF: FRY RIGLET  
 MODEL: CHANNEL SCHEDULE PCS 75 TO 75  
 FINISH: BRONZE ANODIZED ALUMINUM TO MATCH WINDOW FINISH
  - FASCIA**  
 1 1/4" THICK ALUMINUM TRIM BOARD FASCIA MATCH EXTERIOR WINDOW FRAME FINISH: USE THE PRILLAD (OR APPROVED EQUAL PER SECT 19A2.C.8.C)
  - GLASS GUARDRAIL** (H2 HIGH U.N.O.)  
 TYPICAL SHALL SUPPORT 20 LBS PER LIN. FT. PER SECT 19A.C.8.C.  
 OR RAIL SHALL HAVE INTERMEDIATE RAILS SO THAT A 6" DIA. SPHERE CANNOT PASS THRU PER SECT 19B1.C.8.C.  
 SEE DETAIL 19/A1.1
  - BLACK FIBERGLASS WINDOW**  
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
 SEE SHEET 2 FOR CF-OR ENERGY REQUIREMENTS
  - GUTTER AND DOWNSPOUT**  
 BRONZE ANODIZED ALUM. GUTTER AND DOWNSPOUT  
 SEE DRAINAGE PLAN FOR OUTLET LOCATION
  - EXPOSED WOOD SHAKE**  
 6# WOOD BEAM INSTALLED FLAT PRIME AND PAINT ALL SIDES PRIOR TO INSTALLATION

Exterior Elevations





Dotted Lines = Property Lines

Critical Height Calculation For: **Address**

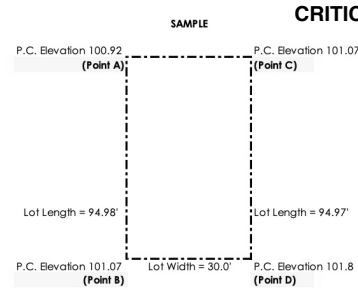
Elev. Pl. A	54.66
Elev. Pl. B	59.34
Length A-B	149.13
Length A-AB'	<b>26.33</b>
Elev. AB'	55.4862885
Elev. Pl. C	57.05
Elev. Pl. D	60.84
Length C-D	149.02
Length C-CD'	<b>26.33</b>
Elev. CD'	57.7196464
Length AB'-CD'	49.94
Length AB'-CPI	<b>17.87</b>
Elev. CPI	56.2851297
Height Limit	25
Max. Ht. @ CPI:	<b>81.22</b>
Prop. Ht. @ CPI:	

Lowest property corner (PC) elevation, this elevation will be reference as A from hereon  
 PC elevation of corner at end of length, this elevation point will be reference as B  
 Distance from A to B (lot length)  
 Distance from A to Critical Point along Line AB

PC elevation of corner across width of A, this elevation point will be reference as C from hereon  
 PC elevation of corner at end of length of C, this elevation point will be reference as D  
 Distance from C to D (lot length)  
 Distance from C to Critical Point along Line CD

Lot width of Critical Point  
 Distance from Line AB to Critical Point (width)

Allowable height limit in the R-3 zone (25' limit for R-1 zone)



Dotted Lines = Property Lines

Critical Height Calculation For: **Address**

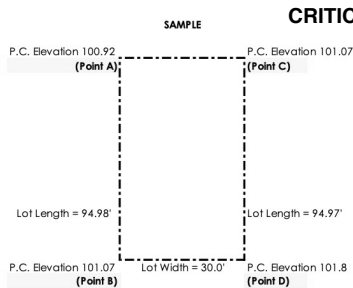
Elev. Pl. A	54.66
Elev. Pl. B	59.34
Length A-B	149.13
Length A-AB'	<b>85.27</b>
Elev. AB'	57.3359445
Elev. Pl. C	57.05
Elev. Pl. D	60.84
Length C-D	149.02
Length C-CD'	<b>85.27</b>
Elev. CD'	59.2186572
Length AB'-CD'	49.94
Length AB'-CPI	<b>31.44</b>
Elev. CPI	58.5212166
Height Limit	25
Max. Ht. @ CPI:	<b>83.52</b>
Prop. Ht. @ CPI:	

Lowest property corner (PC) elevation, this elevation will be reference as A from hereon  
 PC elevation of corner at end of length, this elevation point will be reference as B  
 Distance from A to B (lot length)  
 Distance from A to Critical Point along Line AB

PC elevation of corner across width of A, this elevation point will be reference as C from hereon  
 PC elevation of corner at end of length of C, this elevation point will be reference as D  
 Distance from C to D (lot length)  
 Distance from C to Critical Point along Line CD

Lot width of Critical Point  
 Distance from Line AB to Critical Point (width)

Allowable height limit in the R-3 zone (25' limit for R-1 zone)



Dotted Lines = Property Lines

Critical Height Calculation For: **Address**

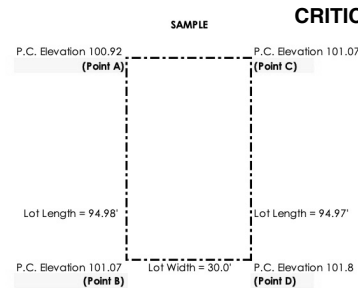
Elev. Pl. A	54.66
Elev. Pl. B	59.34
Length A-B	149.13
Length A-AB'	<b>27.46</b>
Elev. AB'	55.5217502
Elev. Pl. C	57.05
Elev. Pl. D	60.84
Length C-D	149.02
Length C-CD'	<b>27.46</b>
Elev. CD'	57.7483855
Length AB'-CD'	49.94
Length AB'-CPI	<b>24.83</b>
Elev. CPI	56.6283825
Height Limit	25
Max. Ht. @ CPI:	<b>81.63</b>
Prop. Ht. @ CPI:	

Lowest property corner (PC) elevation, this elevation will be reference as A from hereon  
 PC elevation of corner at end of length, this elevation point will be reference as B  
 Distance from A to B (lot length)  
 Distance from A to Critical Point along Line AB

PC elevation of corner across width of A, this elevation point will be reference as C from hereon  
 PC elevation of corner at end of length of C, this elevation point will be reference as D  
 Distance from C to D (lot length)  
 Distance from C to Critical Point along Line CD

Lot width of Critical Point  
 Distance from Line AB to Critical Point (width)

Allowable height limit in the R-3 zone (25' limit for R-1 zone)



Dotted Lines = Property Lines

Critical Height Calculation For: **Address**

Elev. Pl. A	54.66
Elev. Pl. B	59.34
Length A-B	149.13
Length A-AB'	<b>104.69</b>
Elev. AB'	57.9453832
Elev. Pl. C	57.05
Elev. Pl. D	60.84
Length C-D	149.02
Length C-CD'	<b>104.69</b>
Elev. CD'	59.7125627
Length AB'-CD'	49.94
Length AB'-CPI	<b>24.33</b>
Elev. CPI	58.8063259
Height Limit	25
Max. Ht. @ CPI:	<b>83.81</b>
Prop. Ht. @ CPI:	

Lowest property corner (PC) elevation, this elevation will be reference as A from hereon  
 PC elevation of corner at end of length, this elevation point will be reference as B  
 Distance from A to B (lot length)  
 Distance from A to Critical Point along Line AB

PC elevation of corner across width of A, this elevation point will be reference as C from hereon  
 PC elevation of corner at end of length of C, this elevation point will be reference as D  
 Distance from C to D (lot length)  
 Distance from C to Critical Point along Line CD

Lot width of Critical Point  
 Distance from Line AB to Critical Point (width)

Allowable height limit in the R-3 zone (25' limit for R-1 zone)



Revisions:

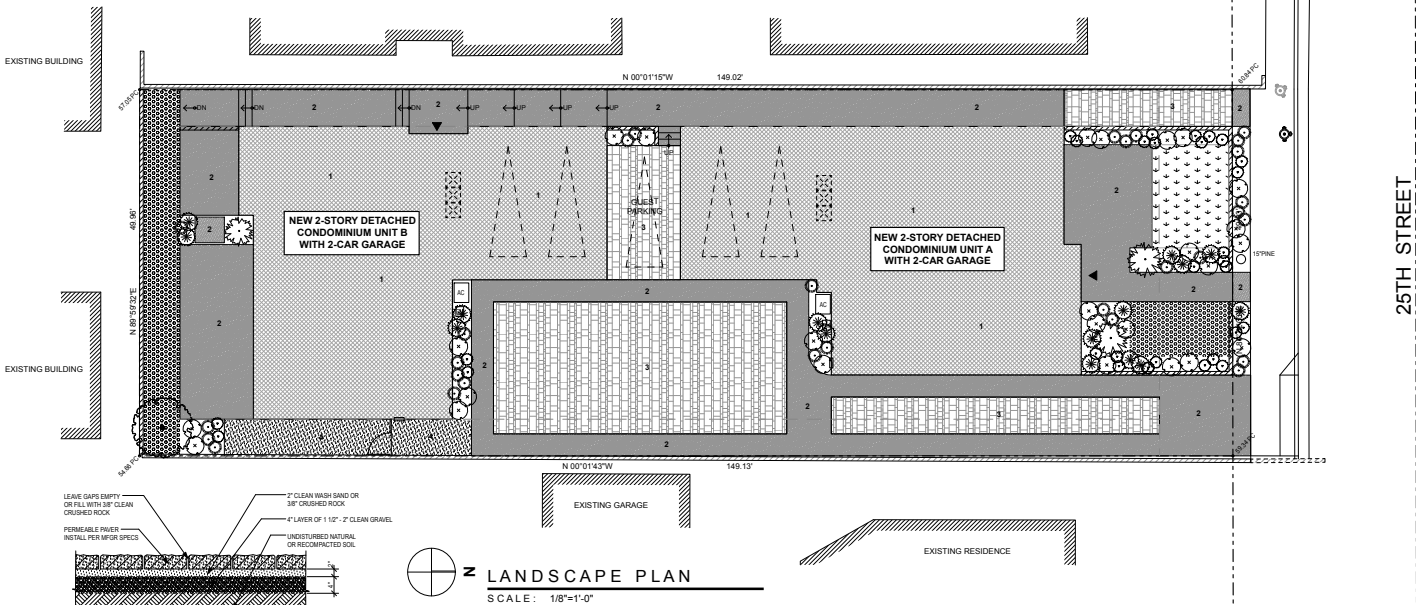
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**NEW TWO-UNIT CONDOMINIUM**  
 520 25th Street, Hermosa Beach, CA, 90254

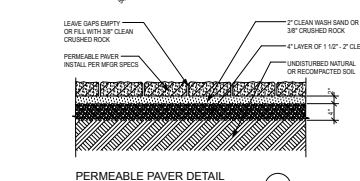
Critical Points



A-6.2



**LANDSCAPE PLAN**  
SCALE: 1/8"=1'-0"



- GENERAL INSTALLATION NOTES**
1. INSTALL ALL MATERIALS TO COMPLY WITH APPLICABLE CODES AND ORDINANCES AS CALLED FOR IN DETAIL DRAWINGS AND SPECIFICATIONS.
  2. ALL SCALE DIMENSIONS SHOWN ARE APPROXIMATE AND DIMAGRAMMATIC COMPONENTS SHOWN WITHIN PAVED AREAS ARE DRAWN FOR CLARITY ONLY AND SHALL BE INSTALLED WITHIN PLANTED AREAS WHEREEVER POSSIBLE.
  3. VERIFY STATIC PRESSURE SHOWN ON DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT IF LESS THAN THAT SHOWN.
  4. FINAL LOCATION OF BACKFLOW PREVENTERS AND CONTROLLERS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
  5. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL SPRINKLER SYSTEMS AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE WERE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, OBSTRUCTIONS IN AREA DIMENSIONS, ETC. UNITS, SUCH CONDITIONS ARE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
  6. ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING. INSTALL CLASS 315 PVC FOR 2" AND LARGER, AND SCH 40 PVC FOR 1" AND SMALLER. INSTALL ALL SLEEVING WHERE INDICATED ON DRAWINGS. AND SAND BACKFILL TRENCHES OVER PAVED TRAFFIC AREAS.
  7. ALL PIPING BETWEEN WATER METER AND BACKFLOW PREVENTER SHALL BE PERI-LOCK CODED.
  8. INSTALL MAIN LINES 18" BELOW GRADE IN UNPAVED AREAS, AND 24" BELOW GRADE, SLEEVED, UNDER PAVED TRAFFIC AREAS.
  9. UNLESS OTHERWISE INDICATED, LINE VOLTAGE WILL BE PROVIDED TO CONTROLLERS AND PUMP LOCATIONS BY OWNER OR GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AND INSTALL IRCCO EQUIPMENT.
  10. INSTALL #14 UP DIRECT BURIAL IRRIGATION WIRE UNITS, OTHERWISE INDICATED. INSTALL WHITE COPPER AND BLACK PILOT WIRE LINE EPICURE TRENCHES. TAPED TOGETHER EVERY 20 FEET MAIN LINE TRENCH. TAPED TOGETHER EVERY 20 FEET PILOT WIRE TRENCH. EXTENSION CABLE SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION AND EVERY 100 FT OF WIRE AT INSTALL. WIRE IN PVC SLEEVE UNDER ALL PIPING.
  11. ADJUST ALL SPRINKLERS AND VALVES TO PROVIDE REQUIRED COVERAGE WITH MINIMAL OVERSPRAY. PERFORM COVERAGE TEST UPON COMPLETION IN PRESENCE OF INSPECTOR.
  12. CONTRACTOR SHALL PROVIDE BLUE LINE "AS BUILT" DRAWINGS TO OWNER UPON COMPLETION. SHOW LOCATION OF CONTROLS, VALVES, CABLE, COUPLERS, AND ALL OTHER WIRE LINE. DIMENSIONED FROM NEAREST PERMANENT POINT OF REFERENCE.
  13. CONTRACTOR SHALL DELIVER TO OWNER UPON COMPLETION EXTRA MAINTENANCE EQUIPMENT AS NOTED ON DRAWINGS.
  14. CONTRACTOR SHALL GUARANTEE THE ENTIRE SPRINKLER SYSTEM FOR ONE (1) YEAR AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP ANY REPAIRS REQUIRED DURING THIS PERIOD. IF DUE TO DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE MADE BY CONTRACTOR AT NO COST TO OWNER.
- DRIP IRRIGATION NOTES**
1. PROVIDE DRIPLINE EMITTER TUBING SYSTEM FOR PLANTING AREAS AS SHOWN IN DRAWING.
  2. DRIPLINE TUBING IS SHOWN DIAGRAMMATICALLY FOR CLARITY. INSTALL PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS.
  3. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND COPPER PERMI-DRIP EMITTERS TO PLANTER'S WALLS.
  4. DRIPLINE TUBING AS SHOWN ON PLANS CROSSES NON-PRESSURE LATERAL LINE PIPING OF OTHER SYSTEM WITHOUT CONNECTION.
  5. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION.
  6. CONNECT DRIPLINE PVC PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS.
  7. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING TO TUBING CONNECTIONS AND THREADED CONNECTIONS TO PVC PIPING.
  8. PROVIDE TWO (2) EMISSION OUTLET EMITTERS TO EVERY VINE AND THREE LOCATE EMITTERS SPACES EQUALLY AT EDGE OF POTENTIAL FOR VINES AND AT BUNCHES CLEAR FROM TREE TRUNK.
  9. CONNECT DRIPLINE TUBING TO PVC HARD PIPE WHEN CROSSING PAVEMENT.
- HARDSCAPE LEGEND**
- 1 BUILDING FOOTPRINT
  - 2 POURED-IN-PLACE CONCRETE (IMPERMEABLE)
  - 3 PERMEABLE PAVERS (SEE DETAIL 1/L-10)
  - 4 DECOMPOSED GRANITE (PERMEABLE)

PLANT LEGEND									
PICTURE OF PLANTS	SYMBOL	VEGETATION TYPE	BOTANICAL NAME	COMMON NAME	REGIONAL EVALUATIONS WATER NEEDS	SIZE	DIAMETER (MATURED)	HEIGHT (MATURED)	QUANTITY
		TREE	ACACIA VESTITA	HAIRY WATTLE	LOW	24"	10'-15"	12'-15"	1
		TREE	DRACAENA DRACO	DRAGON TREE	VERY LOW	24"	10'	10'-15"	3
		SHRUB	DASYLIRION WHEELERII	DESERT SPOON	LOW	15 GAL	4"	5'	14
		SHRUB	YUCCA FILAMENTOSA	DWARF YUCCA	LOW	5 GAL	3"	3'	27
		SHRUB	HESPERALOE PARVIFLORA	RED/YELLOW YUCCA	VERY LOW	5 GAL	3"	4'	23
		SHRUB	EUPHORBIA TIRUCALLI	MILK BUSH/STICKS OF FIRE	VERY LOW	5 GAL	6"	18"	28
		GROUND COVER	DYMONDIA MARGARITAE	SILVER CARPET	LOW	4" FLATS	1'-0"	4"	100
		TURF	FESTUCA ARUNDINACEA	MARATHON II	HIGH	SOD			160 SQ. FT.

- REQUIRED LANDSCAPE NOTES**
1. A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OR PLANTING AREAS EXCEPT TURF AREAS, GREENING OR ROOTING GRASS COVERS OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
  2. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
  3. UNLESS CONTRAINDICATED BY A SOILS TEST COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

AREA CALCULATION		REQUIRED PERMEABLE AREA	
LOT AREA	7,445.0 SQ.FT.	LOT AREA	7,445.0 SQ.FT.
BUILDING FOOTPRINT	3,094.5 SQ.FT.	BUILDING FOOTPRINT	3,094.5 SQ.FT.
IMPERMEABLE (CONC. DRIVEWAY AREA)	1,295.0 SQ.FT.	IMPERMEABLE (CONC. DRIVEWAY AREA)	1,295.0 SQ.FT.
PERMEABLE PAVED DRIVEWAY AREA	1,242.5 SQ.FT.	REQUIRED PERMEABLE AREA (30% TOLERANCE)	2,175.4 SQ.FT.
HARDSCAPE AREA	1,428.7 SQ.FT.	OPEN LANDSCAPE AREA	1,012.2 SQ.FT.
LANDSCAPE AREA	1,712.5 SQ.FT.	PERMEABLE DRIVEWAY/WALK	1,292.5 SQ.FT.
HIGH WATER USE LANDSCAPE AREA	160.0 SQ.FT.	TOTAL PERMEABLE AREA	2,484.7 SQ.FT.
MAX. 60% OF LANDSCAPE AREA (1,612.2 x 20% = 322.4)		CONCRETE DRIVEWAY	1,295.0 SQ.FT.
		CONCRETE WALKWAY	1,428.7 SQ.FT.
		TOTAL CONCRETE	2,723.7 SQ.FT.

**City of Hermosa Beach**  
Community Development Department | Planning Division  
1315 Valley Drive, Hermosa Beach, CA 90254  
310.318.0242 • [cdm@cityofhermosabeach.gov](mailto:cdm@cityofhermosabeach.gov)  
Office Hours: Monday - Thursday 7:00 AM - 6:00 PM

**Water Efficient Landscape Ordinance (WELCO) Determination**

**Applicant Information**

Applicant Name: HOWARD CHAMBERS, ARCHITECT  
Telephone Number: (310) 216-2171 Email Address: [info@hcbm.com](mailto:info@hcbm.com)  
Applicant Address: 140 AVANTON BLVD. SUITE A REDONDO BEACH, CA 90270

**Project Information**

Project Name: 25th STREET TWO-UNIT CONDOMINIUM  
Project Address: 520 25th STREET, HERMOSA BEACH  
Project Type (Residential, Commercial, Rehabilitation): RESIDENTIAL

**Check One**

Currently, this project does not include landscaping. I am aware that future landscape violations may be required to comply with the Model Water Efficient Landscape Ordinance (MWELO) requirements per California Code of Regulations, Title 23, Division 2, Chapter 2.7.

This project does incorporate landscaping but does not meet the WELCO threshold.

This project does incorporate landscaping and meets the WELCO threshold for additional review. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used.)

Total Landscape Area (square feet): 1,712.5 sq ft Turf Area (square feet): 160.0 sq ft  
Non-Turf Plan Area (square feet): 1,552.5 sq ft Special Landscape Area (square feet): 0.0 sq ft  
Water Type (potable, recycled, well): POTABLE

**Compliance Method**

Prescriptive Method for landscape projects between 500 and 2,499 square feet.

Prescriptive Method for landscape projects between 500 and 2,499 square feet.

Prescriptive Method for landscape projects greater than 2,499 square feet (Items included in Prescriptive Checklist are included on plans).

**Signature**

I certify the above information is correct and agree to comply with the requirements of the WELCO.  
Signature of Property Owner or Authorized Representative: [Signature] Date: 08/12/2025

**City of Hermosa Beach**  
Community Development Department | Planning Division  
1315 Valley Drive, Hermosa Beach, CA 90254  
310.318.0242 • [cdm@cityofhermosabeach.gov](mailto:cdm@cityofhermosabeach.gov)  
Office Hours: Monday - Thursday 7:00 AM - 6:00 PM

**Water Efficient Landscape Ordinance (WELCO) Requirements: Prescriptive Compliance Option**  
Landscape Documentation Package for small landscape projects.

To reduce the complexity and cost for smaller landscape projects, the State of California allows a prescriptive compliance approach for landscapes between 500 and 2,499 square feet. Landscapes within this size range can comply after through meeting the full requirements of the Model Water Efficient Landscape Ordinance or through this prescriptive compliance approach. The following contains a checklist of all of the prescriptive requirements in accordance with the California Code of Regulations Title 23, Water, Division 2, Department of Water Resources, Chapter 2.7, Model Water Efficient Landscape Ordinance, Appendix D.

For general questions regarding this ordinance contact the Planning Division at (310)318-0242 or [planning@hermosabeach.gov](mailto:planning@hermosabeach.gov).

**Project Information**

Date: 08/12/2025 Project Number: [Blank]

Project Name: 25th STREET TWO-UNIT CONDOMINIUM  
Project Address: 520 25th STREET, HERMOSA BEACH  
Name of Project Applicant: HOWARD CHAMBERS, ARCHITECT  
Telephone Number: (310) 216-2171 Email Address: [info@hcbm.com](mailto:info@hcbm.com)  
Total Landscape Area (in square feet) including breakdown of turf and plant material (must be between 500 and 2,499 square feet):  
Turf Area: 160.0 sq ft  
Non-Turf Landscape Area: 1,552.5 sq ft  
Project Type (Residential, Commercial, New, Rehabilitation): RESIDENTIAL  
Water Supply Type (potable, recycled, well and Purervey): POTABLE CAL WATER SERVICE  
Number of New Residential Units: TWO

**Signature**

I agree to comply with the requirements of the Prescriptive Compliance Option of the MWELO.  
[Signature] Date: 08/12/2025

architecture  
427 Main Street, Suite 200, Hermosa Beach, CA 90254  
Tel: 310.318.9171 • F: 310.376.1822

912

- Revisions:**
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**NEW TWO-UNIT CONDOMINIUM**  
520 25th Street, Hermosa Beach, CA, 90254

**Landscape Plan**

Date: 11/19/25  
Name of file: 520\_25th

SEAL: REGISTERED ARCHITECT  
C-05127  
STATE OF CALIFORNIA

L-1.0