

MOTTRAM 25th ST. RESIDENCE

120 25th STREET, HERMOSA BEACH, CA 90254

PROJECT INFORMATION:

STREET ADDRESS:	120 25TH ST HERMOSA BEACH, CA 90254
NUMBER OF STORIES:	2 STORIES PLUS BASEMENT
FLOOR AREA:	2,645 SF
MAX. ALLOWABLE HT.:	25' - 0"
NET LOT AREA:	2,296 SF
LEGAL DESCRIPTION:	FIRST ADD TO HERMOSA BEACH LOT COM AT MOST W COR OF LOT 12 BLK 29 TH N 54°30' E 46.18 FT TH SE TO SE LINE OF LOT 13 SD BLK TH SW 45.75 FT TO MOST S COR THEREOF TH N 27°20'W 47 FT TO BEG PART OF LOTS 12 AND LOT 13 BLK 29
CONSTRUCTION TYPE:	V-8, SPRINKLERED
OCCUPANCY:	R-3
ZONING:	R-1
PROJECT DESCRIPTION:	DEMOLISH EXISTING RESIDENCE. BUILD NEW 2 STORY STRUCTURE W/ BASEMENT BELOW. THE BASEMENT FLOOR WILL BE A GARAGE & ADU; AND THE 2 FLOORS ABOVE WILL BE A SINGLE FAMILY RESIDENCE, WITH A ROOF DECK.
PROJECT SUMMARY:	SEE SHEET A1.00 FOR PROJECT SUMMARY TABLE
SMALL LOT EXCEPTION:	THE LOT AREA IS BETWEEN 2,101 & 2,310 SF. WE HOPE TO RECEIVE APPROVAL FOR SOME OPEN SPACE EXCEPTIONS FOR SMALL LOTS. THE PROPOSED STRUCTURE IS SET BACK 7 FEET FROM THE FRONT PROPERTY LINE AND WE WOULD LIKE THE FRONT YARD AREA TO BE INCLUDED IN THE REQUIRED AMOUNT OF OPEN SPACE. A TEN FOOT OPEN SPACE BAND IN THE FRONT OR REAR YARD (APPROX. 20% OF THE LOT DIMENTIONS) WOULD BE OUT OF CHARACTER FOR THE NEIGHBORHOOD. WE WOULD LIKE TO ACHIEVE A CONSISTENT AND COMPARABLE AMOUNT OF INDOOR LIVING SPACE WITH EXISTING DWELLING UNITS IN THE IMMEDIATE NEIGHBORHOOD, AND TO ADDRESS UNUSUAL LOT CONFIGURATIONS OR TOPOGRAPHY, AS COMPARED WITH SURROUNDING LOT AND DEVELOPMENT PATTERNS. THE LOT WAS ORIGINALLY TWO LOTS LENGTHWISE THAT NARROWED AT THE WEST END. AT A LATER TIME THE LOT WAS RE-CUT IN THE OTHER DIRECTION, CREATING TWO THAT ARE NEARLY SQUARE. BECAUSE OF THIS, THE SETBACK REQUIREMENTS BECOME BURDENSOME FOR THE LOT.

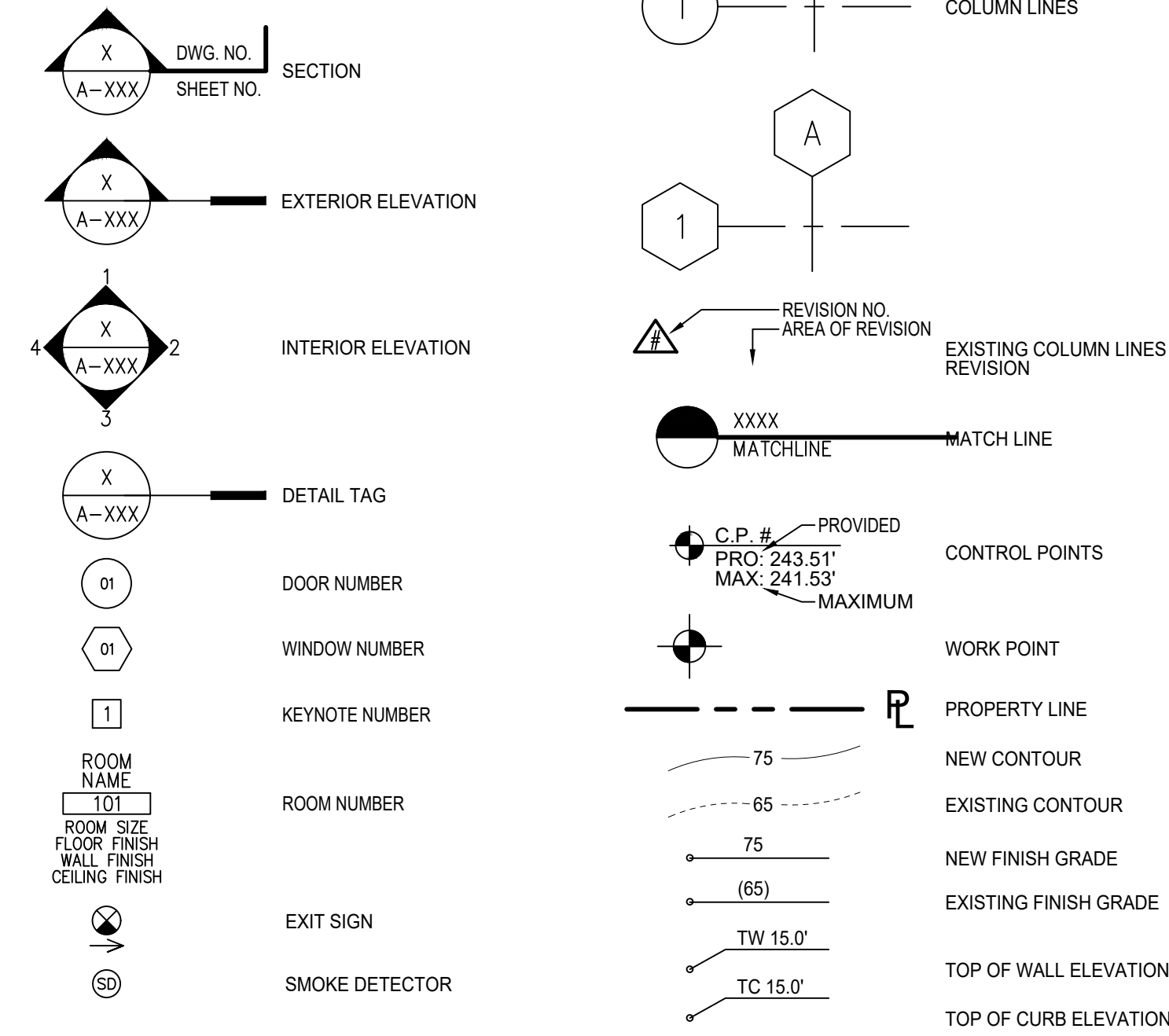
ABBREVIATIONS:

A.C.	ASPHALT PAVING	MAX.	MAXIMUM
A/C	AIR CONDITIONING	MECH	MECHANICAL
AL	ALUMINUM	MED	MEDIUM
A.B.	ANCHOR BOLT	MBR	MEMBER
ARCH	ARCHITECT (URAL)	MET	METAL
ADJ.	ADJUSTABLE	MIN	MINIMUM
@	AT	MIR	MIRROR
		MISC	MISCELLANEOUS
BM	BEAM	NAT	NATURAL
B.MK	BENCH MARK	NOM	NOMINAL
BLK	BLOCK	N.I.C.	NOT IN CONTRACT
BLKG	BLOCKING	N.T.S.	NOT TO SCALE
BRD	BOARD	NAR. GR.	NATURAL GRADE
BOT	BOTTOM	OF	OVER
B.W.	BOTTOM OF WALL	OA	OVERALL
CAB	CABINET	OHD	OVERHEAD
CPT	CARPET	O.C.	ON CENTER
C.B.	CATCH BASIN	OPG	OPENING
CLG	CEILING	OPP	OPPOSITE
CEM	CEMENT	O.D.	OUTSIDE DIAMETER
CER	CERAMIC TILE	O.S.	OVERFLOW SCUPPER
C.T.	CERAMIC TILE	PLANTING AREA	PLANTING AREA
C.I.	CAST IRON	PNT	PAINTED
CLR	CLEAR	PTD	PAINTED
COL	COLUMN	PAR	PARALLEL
CONC	CONCRETE	PKG	PARKING
C.J.	CONTROL JOINT	PLAS	PLASTER
CONT.	CONTINUOUS	PLAM	PLASTIC LAMINATE
		PL	PROPERTY LINE / PLATE
DTL	DETAIL	PL GL	PLATE GLASS
DIAG.	DIAGONAL	PLBG	PLUMBING
DIM	DIMENSION	PWD	PLYWOOD
DISP	DISPATCH	PC.C	PRECAST CONCRETE
DIV	DIVISION	PERF	PERFORATED
DR	DOOR	PLYWD	PLYWOOD
DS	DOWNSPOUT	PAIR	PAIR
DWR	DRAWER	PRO	PROPOSED
DWG	DRAWING		
		RAD	RADIUS
E.J.	EXPANSION JOINT	REF	REFERENCE
ELEC	ELECTRIC	REFR	REFRIGERATOR
EL	ELEVATION	REG	REGISTER
ELEV	ELEVATOR	REIN	REINFORCED
EQU	EQUAL	RES	RESILIENT
EXH	EXHAUST	RET	RETURN
EXIST	EXISTING	R.A	RETURN AIR
EXT	EXTERIOR	REV	REVISED, REVISION
EXP	EXPOSED	R.H.	RIGHT HAND
		RISER	RISER
		R.D.	ROOF DRAIN
		RF	ROOF
		RFG	ROOFING
		RM	ROOM
		R.O.	ROUGH OPENING
		S.A.W.M.	SELF-ADHESIVE WATERPROOF MEMBRANE
		SCH	SCHEDULE
		SECT	SECTION
		S.F.	SQUARE FEET
		SFTG	SHEATHING
		SHT	SHEET
		SIM	SIMILAR
		S.C.	SOLID CORE
		S.P.	SOUND PROOF
		SPRC	SPECIFICATION (S)
		STL	STEEL
		STOR	STORAGE
		S.B.	STORM DRAIN
		STRUCT	STRUCTURAL
		SUSP	SUSPENDED
		SHWR	SHOWER
		T.O.C.	TOP OF CHIMNEY
		T.O.P.	TOP OF PARAPET
		T.C.	TOP OF CONCRETE
		TEL	TELEPHONE
		TV	TELEVISION
		TK	THICKNESS
		T&G	TONGUE AND GROOVE
		T.W.	TOP OF WALL
		TYP	TYPICAL
		T.D.	TERRACE DRAIN
		T.O.S.	TOP OF SHEATHING
		UNF.	UNFINISHED
		U.N.O.	UNLESS NOTED OTHERWISE
		VEST	VESTIBULE
		VERT	VERTICAL
		VIN	VINYL
		V.A.T.	VINYL ASBESTOS TILE
		V.T.	VINYL TILE
		VIN.B.	VINYL BASE
		WSP	WET STANDPIPE
		W	WITH
		WSHR	WASHER
		WSCT	WAINSCOT
		W.C.	WATERCLOSET
		W.P.	WORK POINT
		W.W.F.	WELDED WIRE FABRIC
		W	WIDTH
		WIDW	WIDE
		W.GL	WIRED GLASS
		W.M.	WIRE MESH
		WIO	WITHOUT
		W/O	WITHOUT
		W.I.	WROUGHT IRON
		W.R.	WATER RESISTANT
		W.I.C.	WALK IN CLOSET

GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE OWNER/CONTRACTOR AGREEMENTS AND IN CONFORMANCE WITH THE GOVERNING CODES AND ORDINANCES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACT WORK SHALL COMPLY WITH THE FOLLOWING CODES: 2019 CALIFORNIA BUILDING CODE, CALIFORNIA ADMINISTRATIVE CODE TITLE 24 AND CALIFORNIA ADMINISTRATIVE CODE TITLE 22 (WHERE APPLICABLE). WORK THAT IS NOT IN COMPLIANCE WITH APPLICABLE CODES AND INSPECTIONS SHALL BE CORRECTED AT GENERAL CONTRACTORS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER.
- THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL PURCHASE AND MAINTAIN CERTIFICATE OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY AND SECURITY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION DURING CONSTRUCTION IN ACCORDANCE WITH 2019 CALIFORNIA BUILDING CODE.
- THE GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OVERTIME COSTS UNLESS OTHERWISE AGREED UPON IN WRITING.
- THE GENERAL CONTRACTOR SHALL BE LIABLE FOR REPAIRING ANY DAMAGES CAUSED TO EXISTING CONSTRUCTION TO REMAIN, CAUSED BY THE GENERAL CONTRACTOR OR ANY OF HIS SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AS REQUIRED FOR "FIRE PROTECTION" COMPLIANCE.
- THE DRAWINGS AND SPECIFICATIONS CONSTITUTE ONLY A PART OF THE CONTRACT DOCUMENTS AS IDENTIFIED IN THE OWNER/CONTRACTOR AGREEMENT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REQUIREMENTS SET FORTH IN THE OTHER INSTRUMENTS OF THE OWNER/CONTRACTOR AGREEMENT. DISCREPANCIES IN THE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT AT ONCE FOR RESOLUTION.
- CONSULTANT WORK THAT IS NOT A PART OF THESE CONTRACT DOCUMENTS HAS NOT BEEN COORDINATED BY THE ARCHITECT. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT PREVENT EXECUTION OF THE WORK COVERED BY THESE DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITION AND DIMENSIONS AT THE PROJECT SITE PRIOR TO BID SUBMITTAL AND START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT PREVENT EXECUTION OF THE WORK COVERED BY THESE DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS. PLAN DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTER LINES OF COLUMNS AND TO THE CENTER OF STUDS IN PARTITION WALLS UNLESS NOTED OTHERWISE. HEIGHT DIMENSIONS ARE DIMENSIONED FROM THE TOP OF EXISTING SLAB UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR). DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS OF WORK AT HIS OWN EXPENSE, FOR WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
- UPON AWARD OF THE CONTRACT, THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT TO THE ARCHITECT A CONSTRUCTION PROGRESS SCHEDULE. THE CONSTRUCTION SCHEDULE SHALL BE CONTINUOUSLY UPDATED AND POSTED AT THE JOB SITE AT ALL TIMES.
- CONDUIT FROM ROOF TO ELECTRIC SERVICE PANEL WILL BE INSTALLED TO ACCOMMODATE FUTURE SOLAR INSTALLATION PER CH.15.32.140 OF THE HERMOSA BEACH MUNICIPAL CODE.
- THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL AND ELECTRICAL LAYOUTS AND CUT SHEETS FOR MATERIALS THAT IMPACT FINISH DESIGN APPEARANCE, FOR ARCHITECT'S REVIEW AND RETURN.
- THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SAMPLE SUBMITTALS IN ACCORDANCE WITH AIA GENERAL CONDITIONS A201 AND THE REQUIREMENTS OF THE CONSTRUCTION DRAWING AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS DIRECTLY AND SEPARATELY EMPLOYED BY THE OWNER FOR TIMELY STORAGE AND INSTALLATION OF THEIR PRODUCTS(S).
- SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR APPROVAL BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS AND SHALL PROTECT ALL WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOOR, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY (INCLUDING EXISTING STOREFRONT GLAZING AND MULLIONS, BOTH INTERIOR AND EXTERIOR AND SPACE FRAME).
- ALL CONSTRUCTION SHOWN AS "EXISTING" HAS BEEN REDRAWN FROM DOCUMENTS PREPARED BY OTHERS. FOR ADDITIONAL INFORMATION REGARDING THE BASE BUILDING CONSTRUCTION REFER TO THE APPROPRIATE PLANS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THOSE FOR THE BASE BUILDING MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
- "TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- FIRE RESISTANT CONSTRUCTION REQUIREMENTS SET FORTH IN THE 2019 CALIFORNIA CODE SHALL BE ADHERED TO; OCCUPANCY SEPARATION AND OPENINGS IN SEPARATIONS SHALL CONFORM.
- SOUND RATED WALLS SHALL ACOUSTICALLY SEAL WALLS TOP AND BOTTOM AND AT ANY OTHER WALL PENETRATIONS FOR PIPES, DUCTS, ETC. SOUND RATED CEILINGS SHALL COVER BACK CONCEALED OR RECESSED FIXTURES WITH A SOUND ATTENUATION BLANKET.
- ALL INSULATION SHALL BE NONCOMBUSTIBLE.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES AND APPLIANCES, AND SHALL SUPPLY AND INSTALL ALL SUCH FIXTURES AND APPLIANCES (U.O.N.), WHERE REQUIRED. PROVIDE MINIMUM ADDITIONAL PARTITION THICKNESS FOR FURRING AND PLUMBING WALLS, AND SUPPORT FOR FIXTURE CARRIERS.
- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALL AND CEILING. DUCT OPENINGS IN FIRE RATED WALLS SHALL HAVE APPROVED FIRE DAMPERS. SEAL BETWEEN DUCT AND WALL/CEILING PENETRATIONS WHERE REQUIRED.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT, THE LOCATION OF ACCESS PANELS FOR MECHANICAL DUCT WORK, PLUMBING, AND ELECTRICAL WORK AS REQUIRED BY CODE. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ACCESS PANELS ACCORDING TO PLANS, OR SHALL BE REQUIRED TO OBTAIN ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE FINISHED TO MATCH ADJACENT SURFACES (U.O.N.), AND SHALL MEET ALL SECURITY, SOUND AND FIRE RATING REQUIREMENTS APPLICABLE TO THE WALL/CEILING CONSTRUCTION TO WHICH THEY ARE INSTALLED.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETS, FURNISHINGS AND OTHER ITEMS REQUIRING THE SAME.
- ALL CABINETS TO BE CONSTRUCTED, FINISHED AND INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE WOODWORKING INSTITUTE OF CALIFORNIA. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES FOR REVIEW, AND SHALL BE APPROVED IN WRITING BEFORE COMMENCEMENT OF RELATED WORK.
- ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE 2019 CALIFORNIA BUILDING CODE.
- GLASS DOORS, ADJACENT PANELS AND ALL GLAZED PANELS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
- ELECTRICAL, TELEPHONE AND COMMUNICATIONS OUTLETS AND/OR FURNITURE PARTITION CONNECTIONS SHALL BE PROVIDED AS INDICATED ON THE PLANS.
- CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER/PROPERTY MANAGER FOR PARKING ACCESS, SECURITY ACCESS, MATERIAL STORAGE AND WASTE DUMPSTER LOCATION ON THE CONSTRUCTION SITE.
- CONTRACTOR SHALL PROVIDE TO THE OWNER ONE SET OF REPRODUCIBLE AS-BUILTS FOR ARCHITECTURAL, MECHANICAL AND ELECTRICAL WORK. ADDITIONAL SITE WORK, SECURITY SYSTEMS AND COMMUNICATIONS SYSTEMS WORK PERFORMED BY THE CONTRACTOR(S) SHALL ALSO BE DOCUMENTED IN AS-BUILT DRAWINGS TO BE SUBMITTED TO THE OWNER. AS-BUILT DRAWINGS TO BE COMPUTER-BASED DOCUMENTS PROVIDED ON COMPUTER-BASED MEDIA (DISKS).
- CONTRACTOR SHALL BE RESPONSIBLE TO FINAL CLEAN THE SPACE.
- CONTRACTOR SHALL PROVIDE WARRANTIES AND MANUALS FOR ALL EQUIPMENT AND PRODUCTS INSTALLED ON THE PROJECT WHERE SUPPLIED BY THE MANUFACTURER OF SAID EQUIPMENT AND PRODUCTS INSTALLED ON THE PROJECT WHERE SUPPLIED BY THE MANUFACTURER OF SAID EQUIPMENT OR PRODUCTS.
- CONTRACTOR SHALL INSPECT SUBFLOOR TO INSURE IT IS LEVEL AND FREE OF DIPS, DIMPLES AND JOINTS THAT WOULD SHOW THROUGH ON FINISH INSTALLATION. THE GENERAL CONTRACTOR SHALL NOTIFY OWNER IF THERE ARE PROBLEMS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION.
- EXISTING WALLS AND SURFACES TO REMAIN, IF DAMAGED, SHALL BE REPAIRED AND REFINISHED TO MATCH ADJACENT QUALITY LEVEL AND TYPE.
- OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE.
- BUILDING SHALL NOT BE OCCUPIED DURING WORK WHERE:
 - THE BUILDING STRENGTH IS SUBSTANTIALLY WEAKENED DURING ANY WORK.
 - REQUIRED EXITS ARE NOT AVAILABLE OR ARE OBSTRUCTED.
 - REQUIRED FIRE SAFETY DEVICES SUCH AS STANDPIPES AND ALARM SYSTEMS ARE NOT OPERATIONAL.
- THE CONTRACTOR WILL SECURE THE NECESSARY PERMITS FROM THE PUBLIC WORKS AND WILL ERECT THE NECESSARY BARRIERS, PROTECTION FENCES AND/OR CANOPIES ALONG PUBLIC WAYS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR WILL PROVIDE CERTIFICATION THAT ROOFING MATERIALS MEET CLASS A FIRE RETARDANT REQUIREMENTS.
- FIRE SAFETY AND LIFE SAFETY DOCUMENTS ARE PROVIDED SEPARATELY, AND WILL BE COVERED UNDER A SEPARATE PERMIT
- A 4" WASTE LINE SHALL BE PROVIDED TO SERVE THE WATER CLOSETS PER THE CPC TABLE 703.2 FOOTNOTE #4.
- THE IRRIGATION SYSTEM SHALL UTILIZE LOW WATER-USE FIXTURES SUCH AS DRIP AND MICROSPRAY.
- THE PROJECT SHALL COMPLY WITH CAL GREEN STANDARDS
- THE PROPOSED SEWER LATERAL LINE LOCATION TO BE FIELD VERIFIED. SURVEY VIDEO FOOTAGE DOCUMENTATION AT THE CONNECTION OF THE PROPOSED SEWER LATERAL LINE IS REQUIRED PER PUBLIC WORKS AND SHALL BE COORDINATED AS REQ'D.

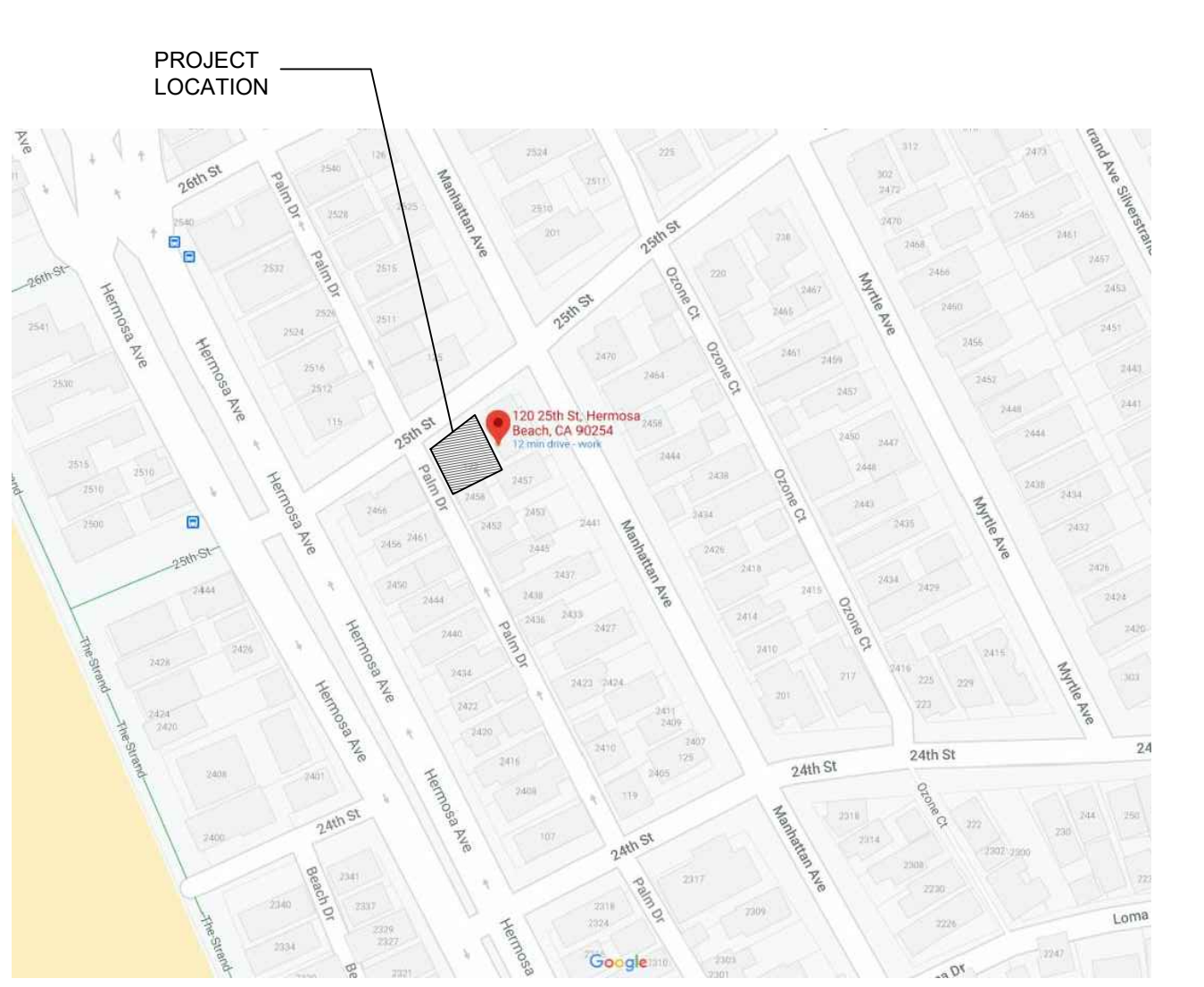
SYMBOLS:



PROJECT DIRECTORY:

OWNER	ARCHITECT
NAME: BRYAN & MAUREEN COSTELLO	NAME: JOSEPH SPIERER ARCHITECTS
CONTACT: BRYAN COSTELLO	CONTACT: JOSEPH SPIERER, AIA
ADDRESS: 2463 MANHATTAN AVE	ADDRESS: 707 TORRANCE BLVD, SUITE 100
HERMOSA BEACH, CA 90254	REDONDO BEACH, CA 90277
PHONE: (415) 747-6736	PHONE: (310) 876-8761
E-MAIL: bryan.costello@hubinternational.com	E-MAIL: info@calarchitect.com
	WEB SITE: www.calarchitect.com
CONTRACTOR	SURVEYOR
NAME: BUILD BY DESIGN	NAME: DENN ENGINEERS
CONTACT: DOUG MOTTRAM	CONTACT: GEORGE SHWEIRI
ADDRESS: 26123 MARINA DRIVE	ADDRESS: 3914 DEL AMO BLVD, SUITE 921
ROLLING HILLS ESTATES, CA 90274	TORRANCE, CA 90503
PHONE: (310) 594-2024	PHONE: 310.542.9433
E-MAIL: buildbydesign1@gmail.com	E-MAIL: george@denn.com
	WEB SITE: www.denn.com

VICINITY MAP:



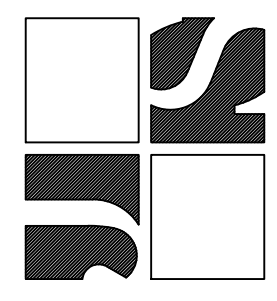
DEFERRED SUBMITTALS:

- NOTE: DEFERRED SUBMITTALS TO BE SUBMITTED SEPARATELY FOR PLAN CHECK
- ELECTRICAL
 - LIGHTING
 - PLUMBING (INCLUDING SINK)
 - FIRE SPRINKLERS

SHEET INDEX:

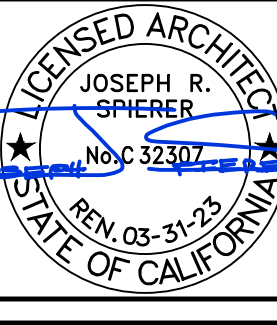
GENERAL	A0.00 COVER SHEET
SURVEY	1 SURVEY
ARCHITECTURAL	A1.00 SITE PLAN
	A1.01 OPEN SPACE DIAGRAM & LOT COVERAGE DIAGRAM
	A2.01 FLOOR PLAN - BASEMENT (ADU) & LEVEL 1
	A2.02 FLOOR PLAN - LEVEL 2
	A3.00 EXTERIOR ELEVATIONS

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MOTTRAM 25th ST. RESIDENCE
120 25th STREET.
HERMOSA BEACH, CA 90254

REVISION LOG	DATE
DELTA NO.	
REASON:	
REASON:	
REASON:	
REASON:	



DATE:	9/7/21
DRAWN:	--
JOB #:	20-067
SHEET NO.	

A0.00

NOTE

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SURVEY AND TOPOGRAPHY

FOR
MAUREEN & BRYAN COSTELLO
120 25TH STREET
HERMOSA BEACH, CA 90254
PHONE 415-747-6736

JOB ADDRESS

120/122 25TH STREET
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

PORTIONS OF LOTS 12 & 13, BLOCK 29
FIRST ADDITION TO HERMOSA BEACH
M.B. 1-59-60
APN 4182-011-012

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY: KW CHECK BY: TS

DRAWN ON: JANUARY 12, 2021

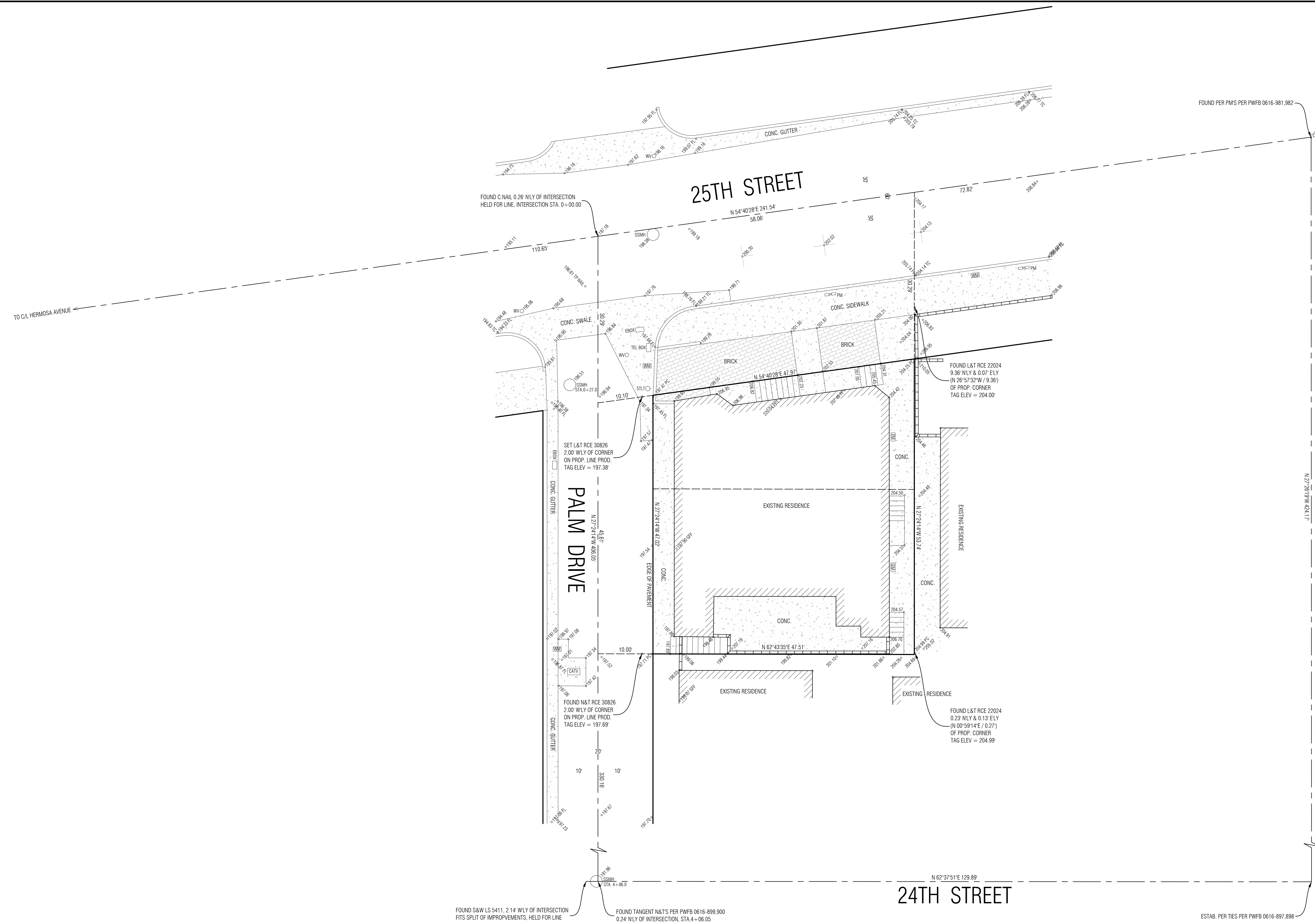
REVISIONS:
REVISIONS:

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		
	EXISTING CONTOUR		
	BLOCK WALL		
	EXISTING FENCE		
	BEGINNING OF CURB RETURN		
	CENTERLINE		
	CHAIN-LINK		
	EASTERLY		
	ELECTRIC METER		
	FOUND		
	FENCE		
	FINISH FLOOR		
	FIRE HYDRANT		
	FLOW LINE		
	GARAGE FINISH FLOOR		
	GAS METER		
	GUY WIRE		
	LEAD AND TAG		
	MANHOLE		
	NORTHERLY		
	PROPERTY CORNER / PROP. CORNER		
	PROPERTY LINE / PROP. LINE		
	POWER POLE		
	PARAPET		
	SPIKE AND WASHER		
	SOUTHERLY		
	SPIKE		
	SANITARY SEWER CLEAN OUT		
	SANITARY SEWER MANHOLE		
	STAKE / STAKE & TAG		
	STREET LIGHT		
	TOP OF CURB		
	TOP OF WALL / T.O.W.		
	TOP OF DRIVEWAY APRON		
	WESTERLY		
	WATER METER		

NOTE: ALL STRUCK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT (310) 542-9433. M-F 8:00 AM TO 5:00 PM.

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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELY ON ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



MANHATTAN AVENUE
N 27°26'19"W 424.17'



SCALE 1" = 8'

NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.

FOUND S&W LS 5411, 2.14' WLY OF INTERSECTION FITS SPLIT OF IMPROVEMENTS, HELD FOR LINE
FOUND TANGENT N&T'S PER PWFB 0616-899,900 0.24' NLY OF INTERSECTION, STA. 4+06.05

ESTAB. PER TIES PER PWFB 0616-897,898

PROJECT SUMMARY

PROJECT LOCATION: 120 25th St., Hermosa Beach, CA 90254
LEGAL DESCRIPTION: First add to Hermosa Beach lot com at most W cor of Lot 12 Bk 29 th N 54°30' E 46.18 Ft th SE line of Lot 13 sd Bk th SW 45.75 ft to most S cor thereof th N 27°20' W 47 ft to beg part of Lots 12 and Lot 13 Bk 29
ASSESSOR PARCEL NO.: 4182-011-012
ZONING: R-1
SCOPE OF WORK: PLEASE SELECT ALL APPLICABLE AREAS OF WORK:

X	NEW SINGLE-FAMILY ADDITION	PATIO COVER
X	ACCESSORY DWELLING UNIT	TRELLIS
	REMODEL	POOL/SPA
	EXTERIOR MODIFICATIONS	STORAGE UNIT
	ROOF MODIFICATIONS	SHED
	DRIVEWAY MODIFICATIONS	MECHANICAL EQUIPMENT (A/C, WATER HEATER)
	OTHER:	UTILITY METERS (WATER, GAS ETC.)

Description:
 Demolish existing residence. Build new 3 story structure: the ground floor will be a garage & ADU; and the 2 floors above will be a single family residence, with a roof deck.

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)

	Existing	Proposed
GARAGE (INTERIOR DIMENSIONS)		360 SF
1ST LEVEL LIVING AREA (Basement)	838 SF	780 SF Basement ADU (stair included)
2ND LEVEL LIVING AREA (1st Floor)	838 SF	1,095 SF (42 SF stair not included)
DECKS/BALCONIES		76 (covered)
3RD LEVEL LIVING AREA (2nd Floor)		770 SF
DECKS/BALCONIES		390 SF (178 SF only uncovered portion)
TOTAL LIVING AREA	1,677 SF	2,645 SF
TOTAL DECKS/BALCONIES		466 SF + 114 SF @ Roof = 580 SF
NO. OF BEDROOMS	2	3
NO. OF BATHROOMS	2	2

ZONING INFORMATION

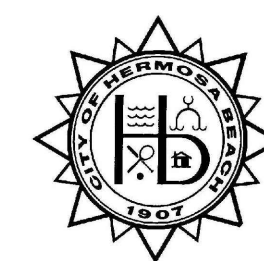
AREA:	REQUIRED	PROVIDED
LOT AREA	2,296 SF	2,296 SF
LOT COVERAGE	65% (standard) / 70% (small lot)	58%
YARDS:		
FRONT	5'-0"	7'-0"
SIDE	4'-8"	4'-8"
REAR	5'-0" / 3'-0" @ 2nd Floor	5'-0"
PARKING AND DRIVEWAYS:		
NUMBER OF SPACES	2	2
GUEST SPACES	2	1
PARKING SETBACK	3'-0" (Alley)	4'-8"
PARKING STALL DIMENSION	8'-6" X 20'	8'-6" X 20'
TURNING AREA	23'	23'-11"
DRIVEWAY WIDTH	42'	18'
DRIVEWAY MAXIMUM SLOPE	9%	9%

OPEN SPACE:	REQUIRED	PROVIDED
ON GRADE		464 SF
DECKS/BALCONIES		292 SF (uncovered)
TOTAL	300 SF	756 SF

BASEMENT QUALIFICATION CALCULATION (REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND BASEMENT)

1ST LEVEL F.F. ELEVATION	198.00 (Basement) & 207.00 (First Floor)
LINEAL FEET (LF) OF PERIMETER	145'-7"
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	85'-9"
% OF PERIMETER < 6' TO FF ABOVE	59%

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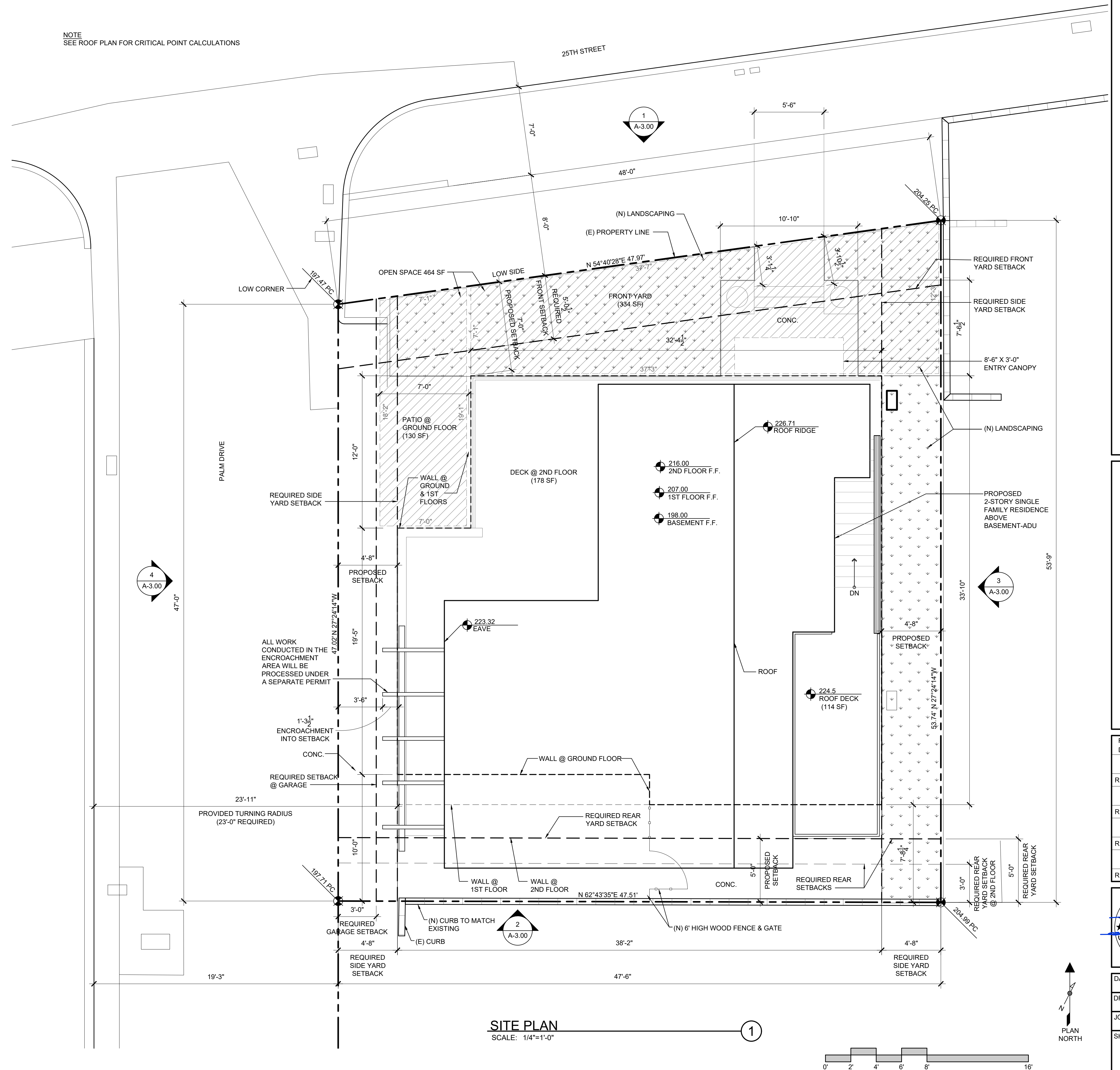


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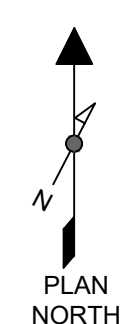
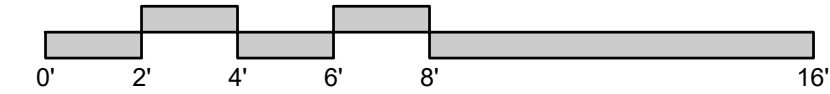
BASEMENT QUALIFICATION CALCULATION

	DWELLING	ACCESSORY
1 ST LEVEL FINISHED FLOOR ELEVATION	207.00 (First Floor)	198.00 (Basement)
LINEAL FEET OF PERIMETER	132'-8"	143'-11"
LINEAL FEET OF PERIMETER <6 FEET FROM GRADE TO FINISHED FLOOR ABOVE	N/A	85'-9"
PERCENT OF PERIMETER <6 FEET TO FINISHED FLOOR	N/A	59%

NOTE
 SEE ROOF PLAN FOR CRITICAL POINT CALCULATIONS



SITE PLAN
 SCALE: 1/4"=1'-0"



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 120 25th STREET.
 HERMOSA BEACH, CA 90254

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PLANT SCHEDULE

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	HT	DIAMETER
	AGAVE GEMINIFLORA	TWIN FLOWERED AGAVE	5 GAL	LOW	18	24"	3-1/2"
	ECHEVERIA X 'AFTERGLOW'	AFTERGLOW ECHEVERIA	1 GAL	LOW	20	12"	12"
	JUNCUS PATENS 'ELK BLUE'	SPREADING RUSH	1 GAL	LOW	30	24"	24"
	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	LOW	18	48"	36"

PERMEABILITY

PERMEABLE SURFACE	LANDSCAPED AREAS	PERMEABLE PAVING	IMPERVIOUS SURFACE	CONCRETE PAVING	
	504 SQ. FT.		170 SQ. FT.		525 SQ. FT.

LOT SQUARE FOOTAGE: 2,298 SQ. FT.
 BUILDING FOOTPRINT: 1,156 SQ. FT.
 DRIVEWAY: 88 SQ. FT.

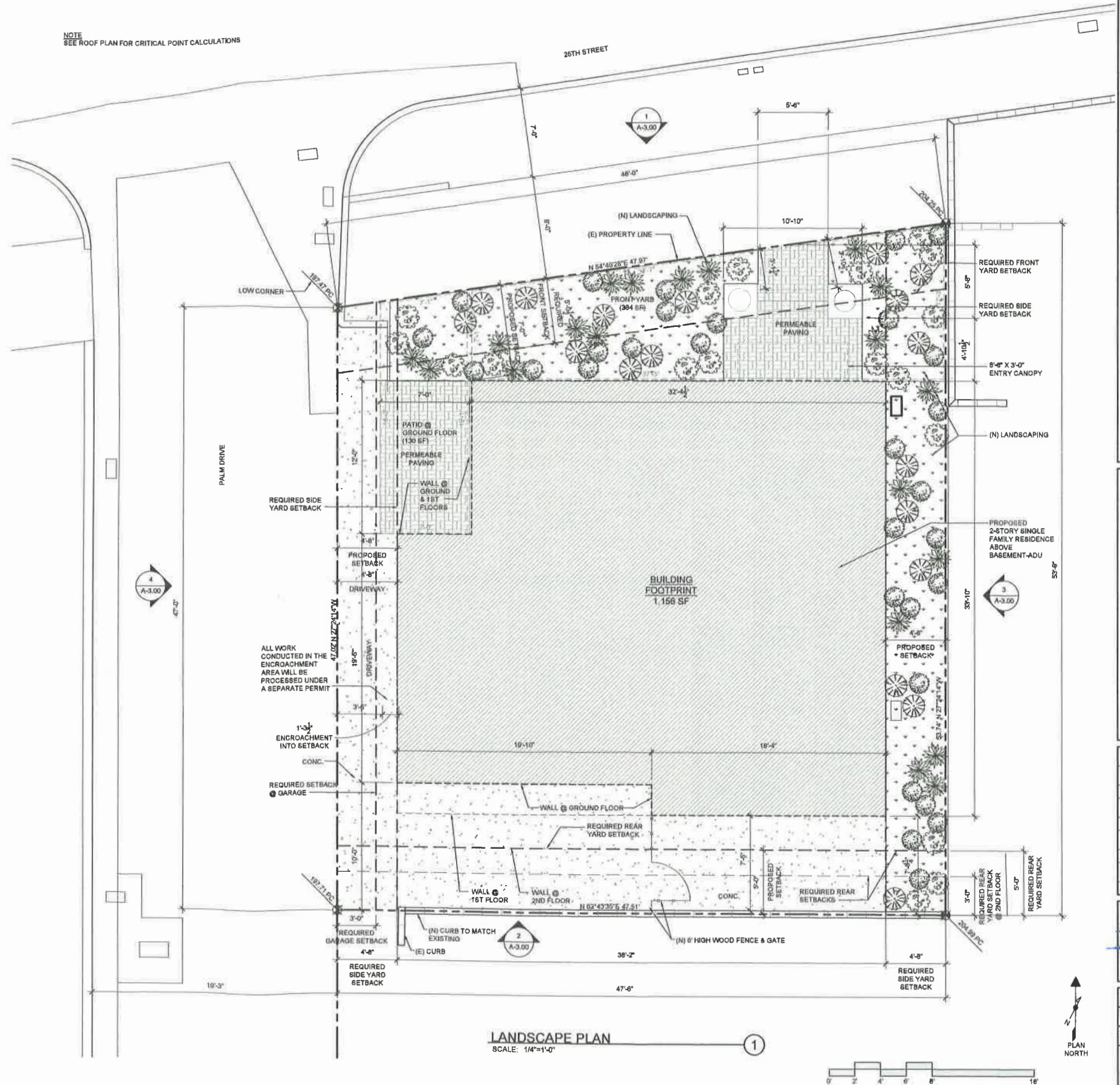
TOTAL EXTERIOR SURFACE AREA=LOT SQ. FT. - BUILDING FOOTPRINT
 =2,298 SQ. FT. - 1,156 SQ. FT. = 1,140 SQ. FT.

MAXIMUM 20% OF LANDSCAPED AREA MAY BE USED FOR HIGH WATER USE LANDSCAPE (TURF AND PLANTS) AS LISTED IN THE WATER USE CLASSIFICATION FOR LANDSCAPE SPECIES (WUCOLS)

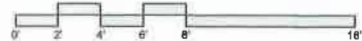
504 SQ. FT. (LANDSCAPED AREAS) X 20% (MAX HIGH WATER USE)
 MAX HIGH WATER USE =100.8 SQ. FT.
 =0 SQ. FT. PROPOSED <100.8 SQ. FT.

MINIMUM 50% OF EXTERIOR SURFACE AREA MUST CONSIST OF WATER PERMEABLE SURFACES AS REQUIRED IN HBMC.
 PERMEABLE AREAS: 674 SQ. FT.
 NONPERMEABLE AREAS: 525 SQ. FT.
 PERMEABLE AREAS 674 SQ. FT./1,140 SQ. FT. = 59% PERMEABLE

NOTE: SEE ROOF PLAN FOR CRITICAL POINT CALCULATIONS



LANDSCAPE PLAN
 SCALE: 1/4"=1'-0"



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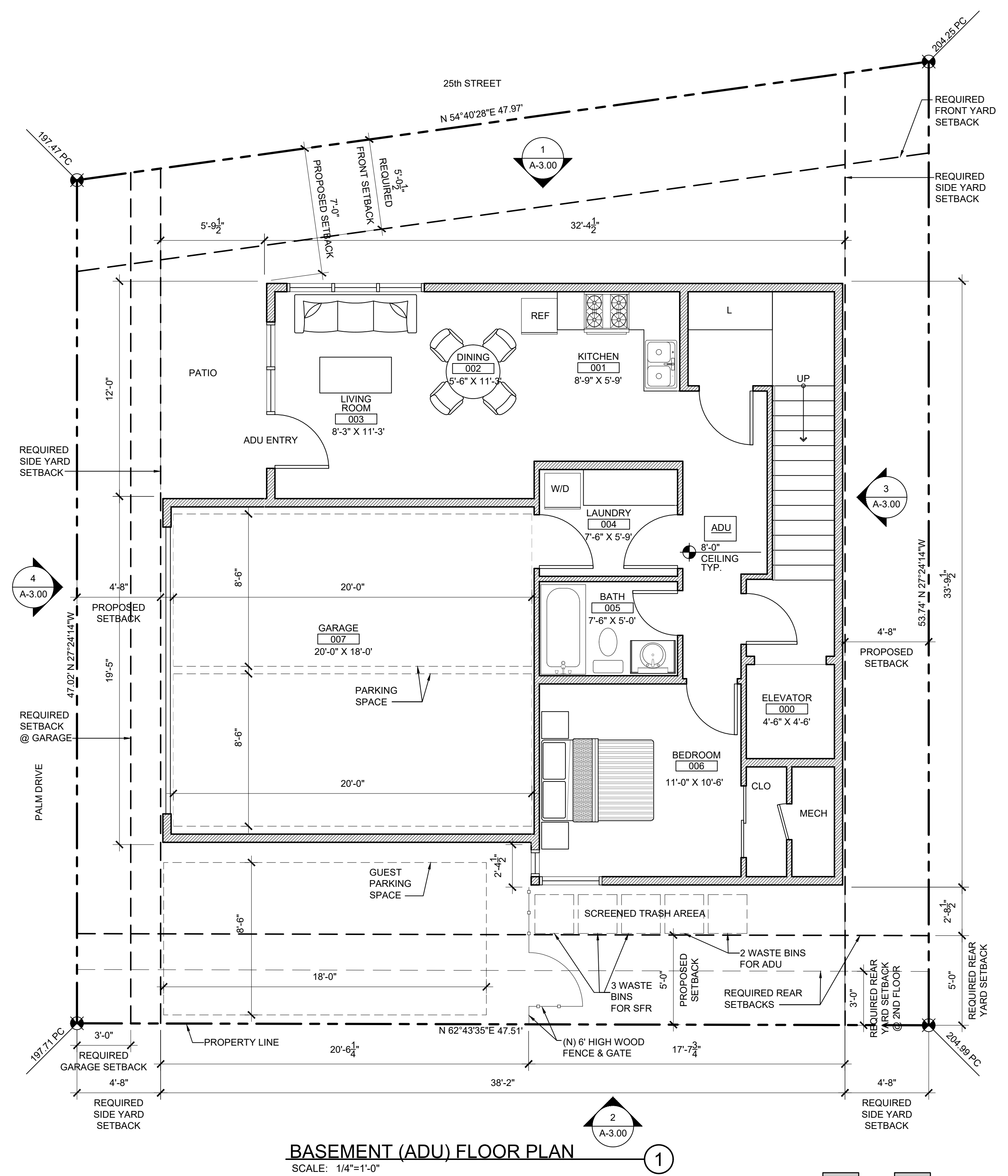
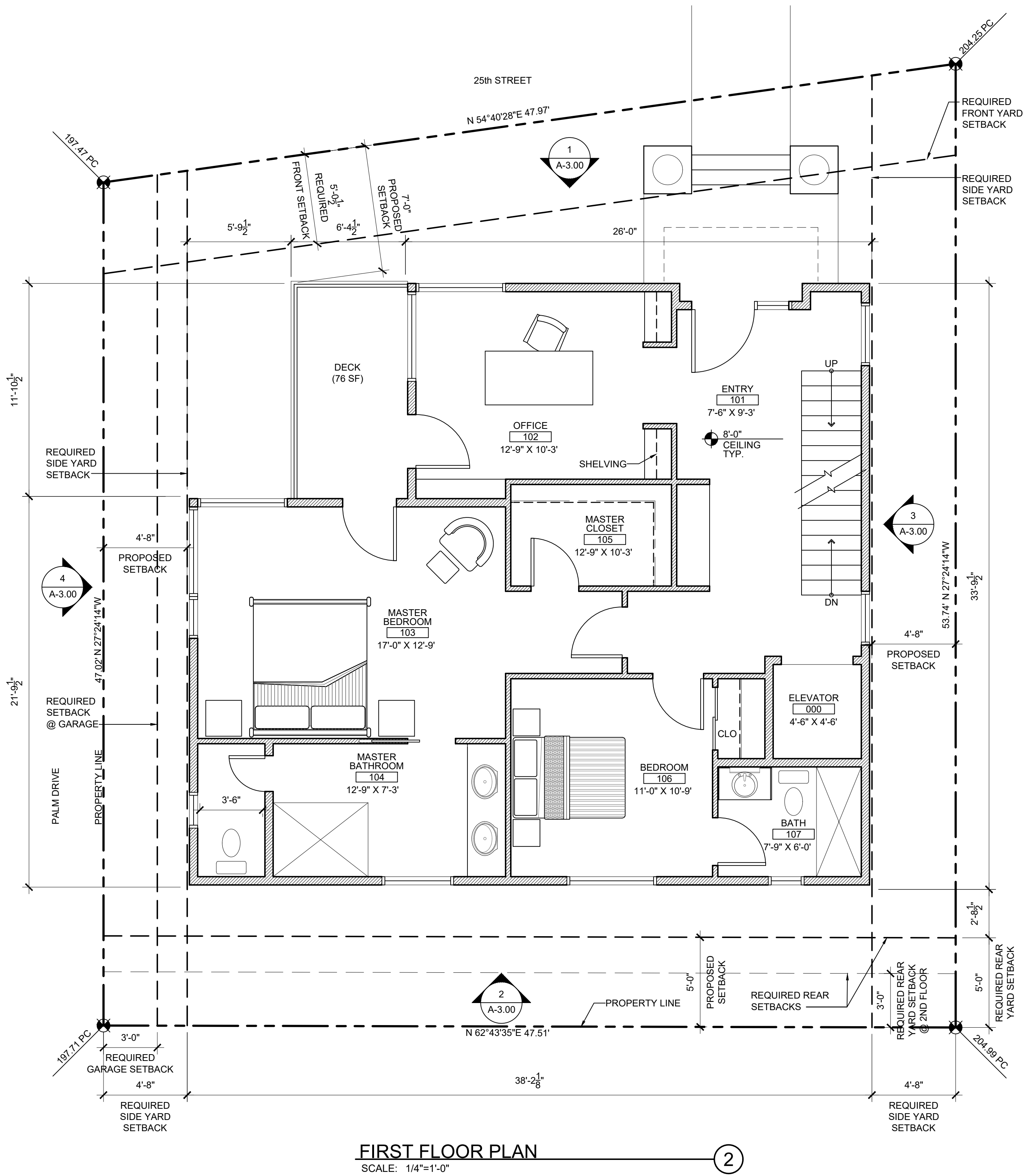
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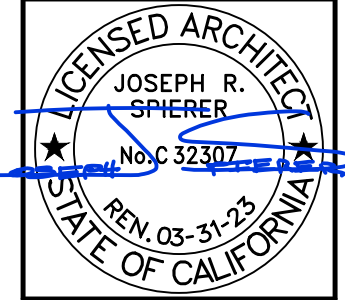
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NOTE

CRITICAL POINT CALCULATIONS

CRITICAL POINT #1

NORTH SIDE (AC)		SOUTH SIDE (BD)		CROSS LOT (CD)	
204.25	HIGH CORNER	204.99	200.82	SOUTH SIDE ELEV. @ CRITICAL POINT (C.P.)	
-197.47	LOW CORNER	197.71	-200.32	NORTH SIDE ELEV. @ (C.P.)	
= 6.78 / 48'	DIV. BY LOT DEPTH	= 5 / 49.83		DIFFERENCE / LOT WIDTH (@ THAT POINT)	
= .14	= SLOPE PER FOOT	= .01		SLOPE / FT.	
X 20.33	= DISTANCE FROM LOW	X 9.17		DISTANCE NORTH SIDE TO C.P.	
= 2.87	= RISE ALONG P.L.	= .09		TOTAL RISE TO C.P. (GROUND LEVEL)	
+197.47	LOW CORNER	+197.71	+200.34	NORTH SIDE ELEV. @ C.P.	
= 200.34	P.L. ELEV. @ C.P.	200.82	+200.43	GROUND ELEV. @ C.P.	
			+25'	HEIGHT LIMIT	
			=225.43'	MAX ALLOWABLE @ C.P.	

CRITICAL POINT #2

NORTH SIDE (AC)		SOUTH SIDE (BD)		CROSS LOT (CD)	
204.25	HIGH CORNER	204.99	200.82	SOUTH SIDE ELEV. @ CRITICAL POINT (C.P.)	
-197.47	LOW CORNER	197.71	-200.32	NORTH SIDE ELEV. @ (C.P.)	
= 6.78 / 48'	DIV. BY LOT DEPTH	= 5 / 49.83		DIFFERENCE / LOT WIDTH (@ THAT POINT)	
= .14	= SLOPE PER FOOT	= .01		SLOPE / FT.	
X 20.33	= DISTANCE FROM LOW	X 9.17		DISTANCE NORTH SIDE TO C.P.	
= 2.87	= RISE ALONG P.L.	= .09		TOTAL RISE TO C.P. (GROUND LEVEL)	
+197.47	LOW CORNER	+197.71	+200.34	NORTH SIDE ELEV. @ C.P.	
= 200.34	P.L. ELEV. @ C.P.	200.82	+200.43	GROUND ELEV. @ C.P.	
			+25'	HEIGHT LIMIT	
			=225.43'	MAX ALLOWABLE @ C.P.	

CRITICAL POINT #3

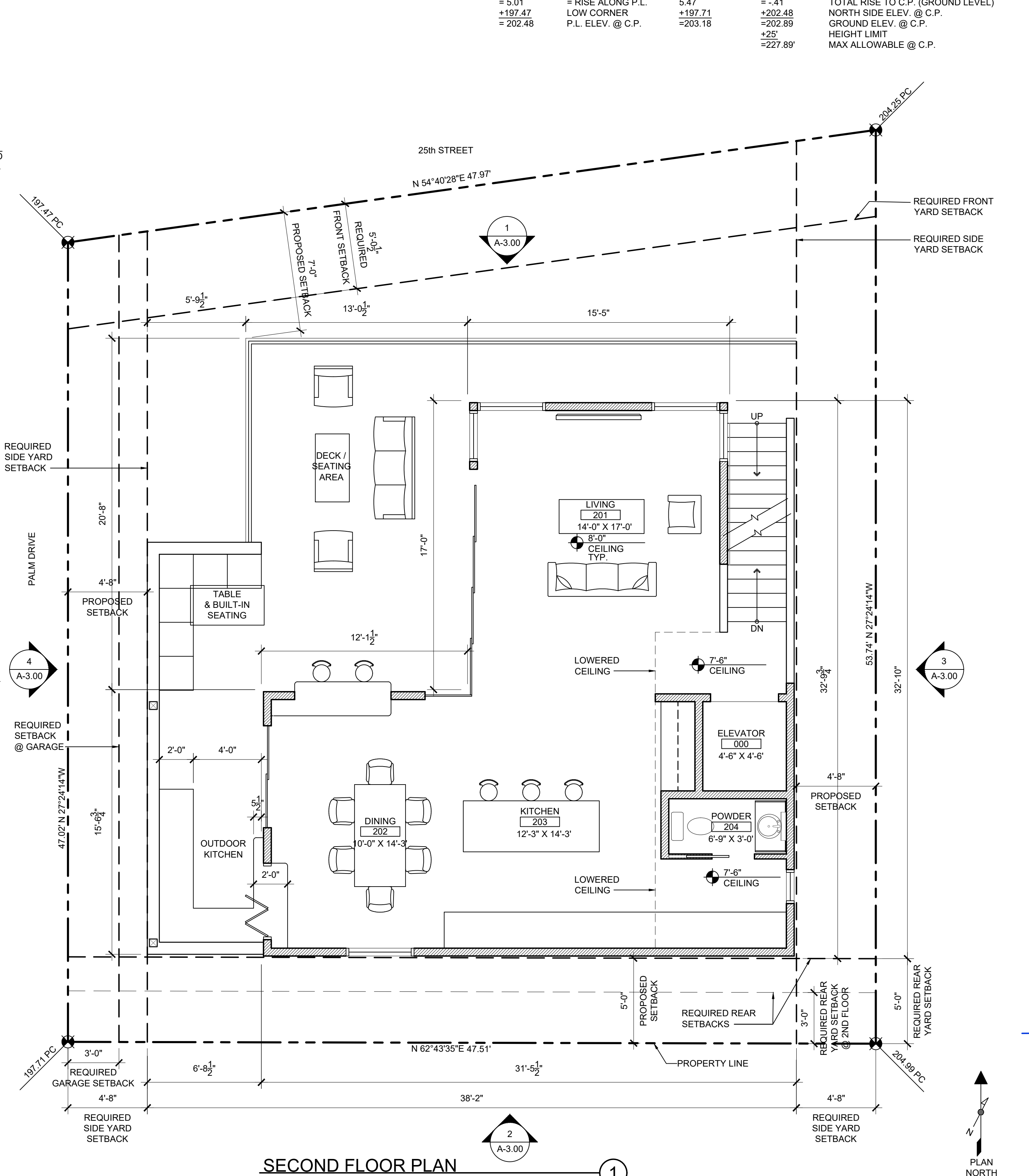
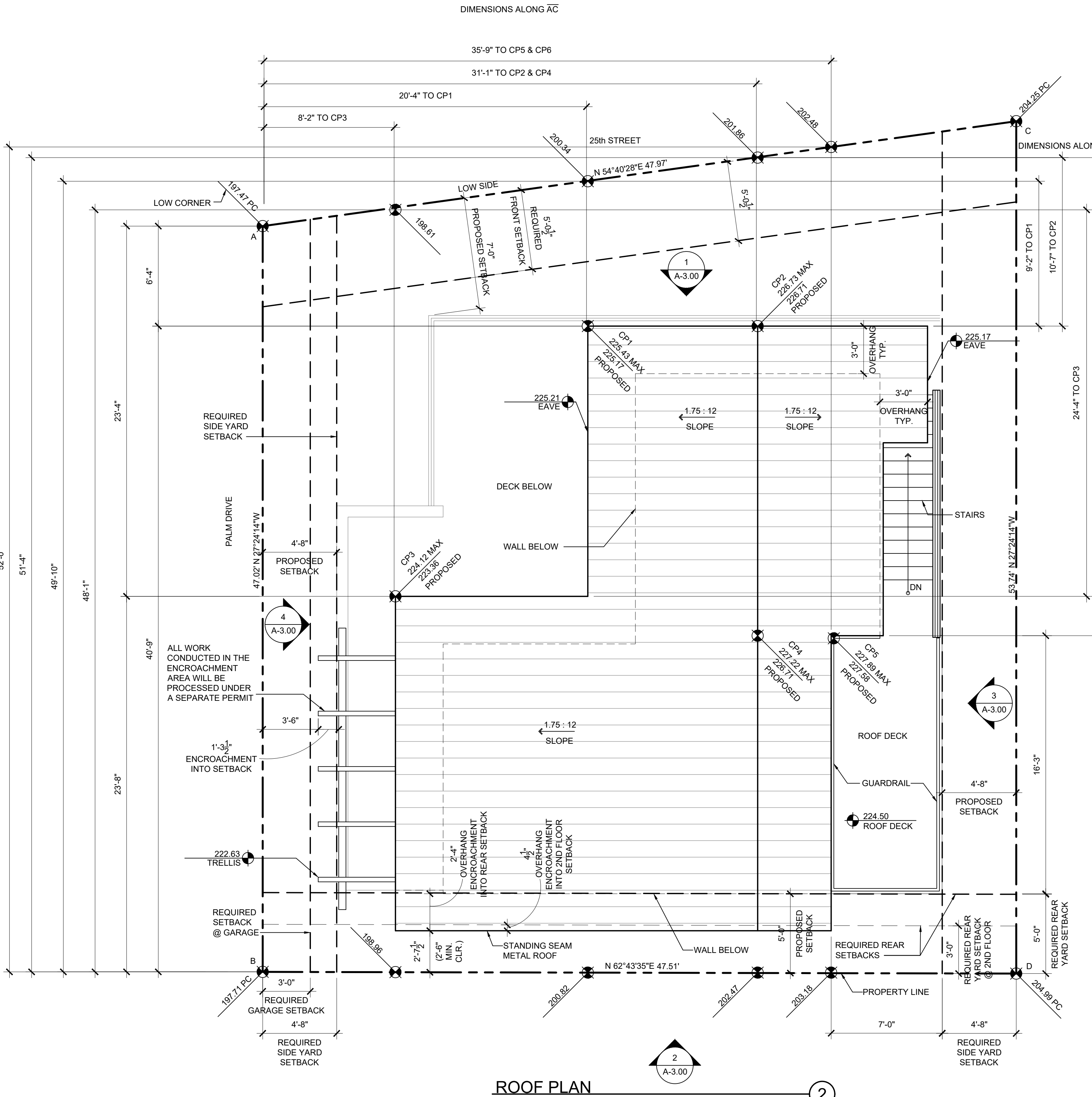
NORTH SIDE (AC)		SOUTH SIDE (BD)		CROSS LOT (CD)	
204.25	HIGH CORNER	204.99	200.82	SOUTH SIDE ELEV. @ CRITICAL POINT (C.P.)	
-197.47	LOW CORNER	197.71	-200.32	NORTH SIDE ELEV. @ (C.P.)	
= 6.78 / 48'	DIV. BY LOT DEPTH	= 5 / 49.83		DIFFERENCE / LOT WIDTH (@ THAT POINT)	
= .14	= SLOPE PER FOOT	= .01		SLOPE / FT.	
X 20.33	= DISTANCE FROM LOW	X 9.17		DISTANCE NORTH SIDE TO C.P.	
= 2.87	= RISE ALONG P.L.	= .09		TOTAL RISE TO C.P. (GROUND LEVEL)	
+197.47	LOW CORNER	+197.71	+200.34	NORTH SIDE ELEV. @ C.P.	
= 200.34	P.L. ELEV. @ C.P.	200.82	+200.43	GROUND ELEV. @ C.P.	
			+25'	HEIGHT LIMIT	
			=225.43'	MAX ALLOWABLE @ C.P.	

CRITICAL POINT #4

NORTH SIDE (AC)		SOUTH SIDE (BD)		CROSS LOT (CD)	
204.25	HIGH CORNER	204.99	200.82	SOUTH SIDE ELEV. @ CRITICAL POINT (C.P.)	
-197.47	LOW CORNER	197.71	-200.32	NORTH SIDE ELEV. @ (C.P.)	
= 6.78 / 48'	DIV. BY LOT DEPTH	= 5 / 49.83		DIFFERENCE / LOT WIDTH (@ THAT POINT)	
= .14	= SLOPE PER FOOT	= .01		SLOPE / FT.	
X 20.33	= DISTANCE FROM LOW	X 9.17		DISTANCE NORTH SIDE TO C.P.	
= 2.87	= RISE ALONG P.L.	= .09		TOTAL RISE TO C.P. (GROUND LEVEL)	
+197.47	LOW CORNER	+197.71	+200.34	NORTH SIDE ELEV. @ C.P.	
= 200.34	P.L. ELEV. @ C.P.	200.82	+200.43	GROUND ELEV. @ C.P.	
			+25'	HEIGHT LIMIT	
			=225.43'	MAX ALLOWABLE @ C.P.	

CRITICAL POINT #5

NORTH SIDE (AC)		SOUTH SIDE (BD)		CROSS LOT (CD)	
204.25	HIGH CORNER	204.99	200.82	SOUTH SIDE ELEV. @ CRITICAL POINT (C.P.)	
-197.47	LOW CORNER	197.71	-200.32	NORTH SIDE ELEV. @ (C.P.)	
= 6.78 / 48'	DIV. BY LOT DEPTH	= 5 / 49.83		DIFFERENCE / LOT WIDTH (@ THAT POINT)	
= .14	= SLOPE PER FOOT	= .01		SLOPE / FT.	
X 20.33	= DISTANCE FROM LOW	X 9.17		DISTANCE NORTH SIDE TO C.P.	
= 2.87	= RISE ALONG P.L.	= .09		TOTAL RISE TO C.P. (GROUND LEVEL)	
+197.47	LOW CORNER	+197.71	+200.34	NORTH SIDE ELEV. @ C.P.	
= 200.34	P.L. ELEV. @ C.P.	200.82	+200.43	GROUND ELEV. @ C.P.	
			+25'	HEIGHT LIMIT	
			=225.43'	MAX ALLOWABLE @ C.P.	



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