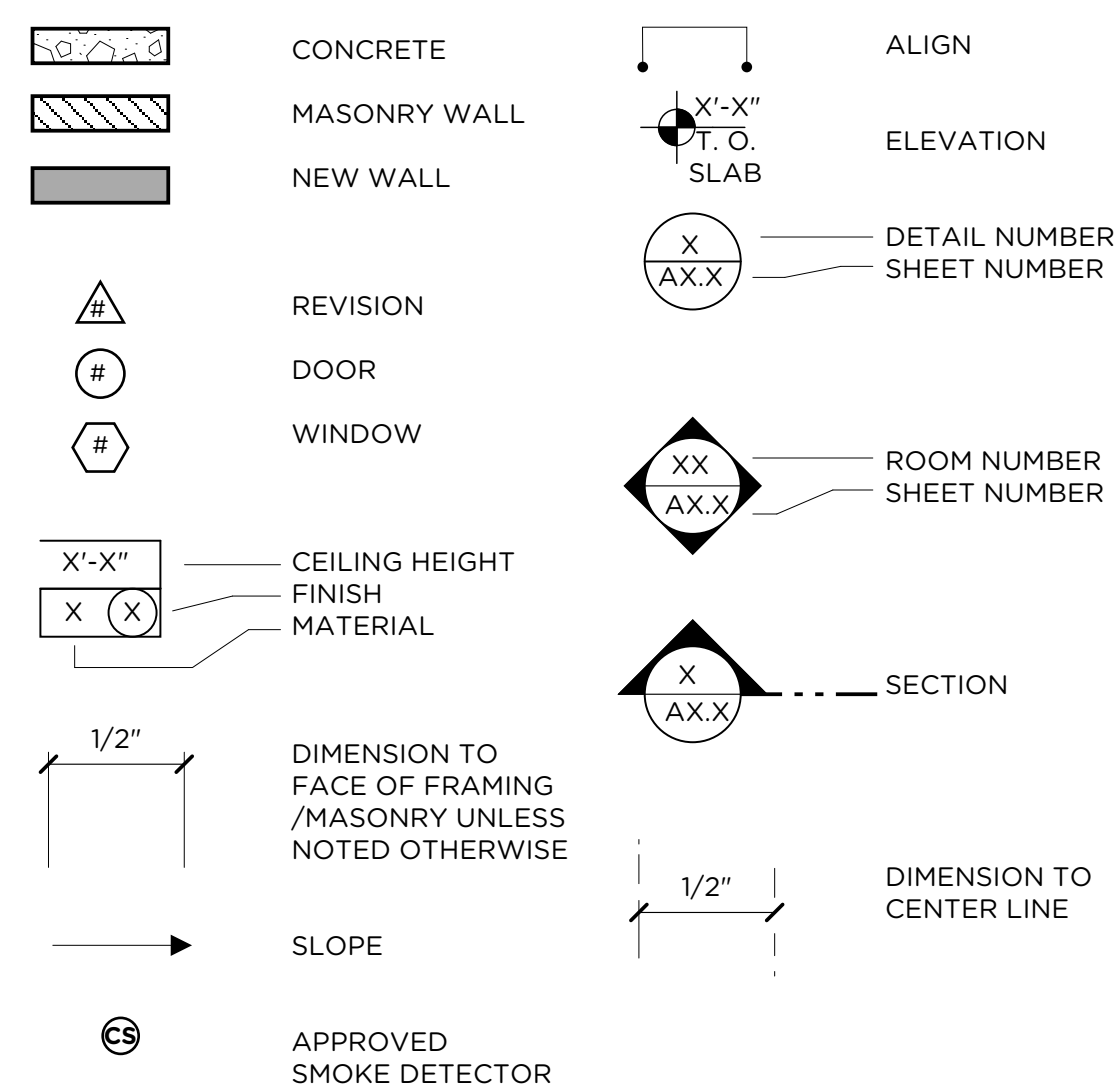


CITY NOTES & REQ'MENTS

- NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE PLACED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
- ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA A NON-EROSIVE DEVICE PER HB4MC.
- PROTECT THE PEDESTRIAN WAY PER UBC SECT 3303 DURING CONSTRUCTION.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 502.
- THE STRUCTURE SHALL COMPLY WITH THE SECURITY REQUIREMENTS OF 'APPENDIX CHAPTER 10 SECURITY' OF HBMC.
- BACKWATER VALVE REQUIRED IF DRAINAGE FIXTURE IS LOCATED BELOW THE NEXT UPSTREAM MANHOLE OR BELOW THE MAIN SEWER LEVEL PER CPC SECT 710.0
- THE DEMOLITION AND SHORING PERMIT TO BE ISSUED UNDER SEPERATE PERMIT.
- ROOF GUTTERS AND DOWNSPOUTS TO BE CONSTRUCTED PER HBMC.

LEGEND



PROJECT CONTACTS

OWNER
Clifix, LLC
1020 Palos Verdes Dr. W
Palos Verdes Estates,
CA 90274
775 339 1642
john@esatbiz.com

CONTRACTOR
TBD

DESIGNER
Starr Design Group, Inc.
643 Cypress Avenue
Hermosa Beach, CA 90254
(310) 376-6997 tele
Contact: Jonathan Starr

STRUCTURAL ENGINEER
Envision Engineering, Inc.
7734 Herschel Ave. #F
La Jolla, CA 92037
(619) 9905 467 tele
Contact: Alex Barajas

SURVEYOR
Denn Engineers
3914 Del Amo Blvd., Ste. 921
Torrance, CA 90503
(310) 542-9433
(310) 542-9491 fax
Gary J. Roehl
R.C.E. 30826

SOILS ENGINEER
NorCal Engineering
10641 Humboldt St
Los Alamitos, CA 90720
(562) 799-9469 tele
Contact: Scott Spensiero
License # 841

PROJECT INFORMATION

BUILDING TYPE: NEW 3 STORY DUPLEX WITH ATTACHED 4 CAR GARAGE + 1 GUEST SPACE

OCCUPANCY GROUP: R3 RESIDENCE / GARAGE-U

CONSTRUCTION TYPE: TYPE V-B, SPRINKLERED

NUMBER OF STORIES: 3 STORIES

APPLICABLE CODES:
2016 California Building Code
2016 California Residential Code
2016 California Plumbing Code
2016 California Mechanical Code
2016 California Electrical Code
2016 Energy Code
2016 California Green Building Standards Code

LOT SIZE: (79.87' + 79.91')/2 x (45.01' + 45.00')/2 = 3595.45 SQ. FT.

HEIGHT RESTRICTION: 30'

PROJECT SUMMARY FORM

DEVELOPMENT PROGRAM ATTACHMENT 2

PROJECT LOCATION: HERMOSA BEACH, CA 90254
OWNER'S NAME: OFIPEX, LLC
ADDRESS: 44 THE STRAND
LEGAL DESCRIPTION: LOT 11 AND SE 15' OF LOT 12, BLOCK 1, HERMOSA BEACH TRACT, APN 4188-002-034
TEL: 775 339 1642
ZONING: R-3

GENERAL BUILDING INFORMATION		TOTAL BUILDING AREA:	
LOT AREA:	SFR	A.D.U.	
1ST LEVEL LIVING AREA	348.75	752.19	
GARAGE	522.25	410.60	
2ND LEVEL LIVING AREA	1963.55		
DECKS/BALCONIES	94.74		
3RD LEVEL LIVING AREA	1,509.31		
DECKS/BALCONIES	522.68		
TOTAL LIVING AREA	3,821.61	752.19	
TOTAL DECKS/BALCONIES	622.42		
NO. OF BEDROOMS	3	1	
NO. OF BATHROOMS	3.5	1	

ZONING INFORMATION		REQUIRED	PROVIDED
AREA:			
LOT AREA PER DWELLING UNIT	3595.45 SF	3595.45 SF	
LOT COVERAGE	2337.04 SF	2289.58 SF	
YARDS:			
FRONT	2'-0"	6'-8"	
SIDE	4'-6"	4'-7"	
REAR	3'-0" @ 1 FL., 0'-0" @ 2 FL.	5'-1"	
PARKING AND DRIVEWAYS:			
NUMBER OF SPACES	4	4	
GUEST SPACES	1	1	
PARKING SETBACK	23'-0"	34'-1"	
PARKING STALL DIMENSION	17'-0" x 20'	8'-6" x 40'	17'-6" x 20'-4" 8'-6" x 40'-5"
TURNING AREA	23'-0"	34'-1"	
DRIVEWAY WIDTH	N/A	N/A	
DRIVEWAY MAXIMUM SLOPE	12.5%	5.91%	
FENCES/WALLS:			
HEIGHT FROM FINISHED SURFACE	6'-0"	6'-0"	
LINEAL FEET	N/A	N/A	
OPEN SPACE:			
TOTAL	300 SF	713.29 SF	
PRIVATE (PER UNIT)	N/A	N/A	
PRIVATE STORAGE SPACE:			
CUBIC FEET PER UNIT		N/A	

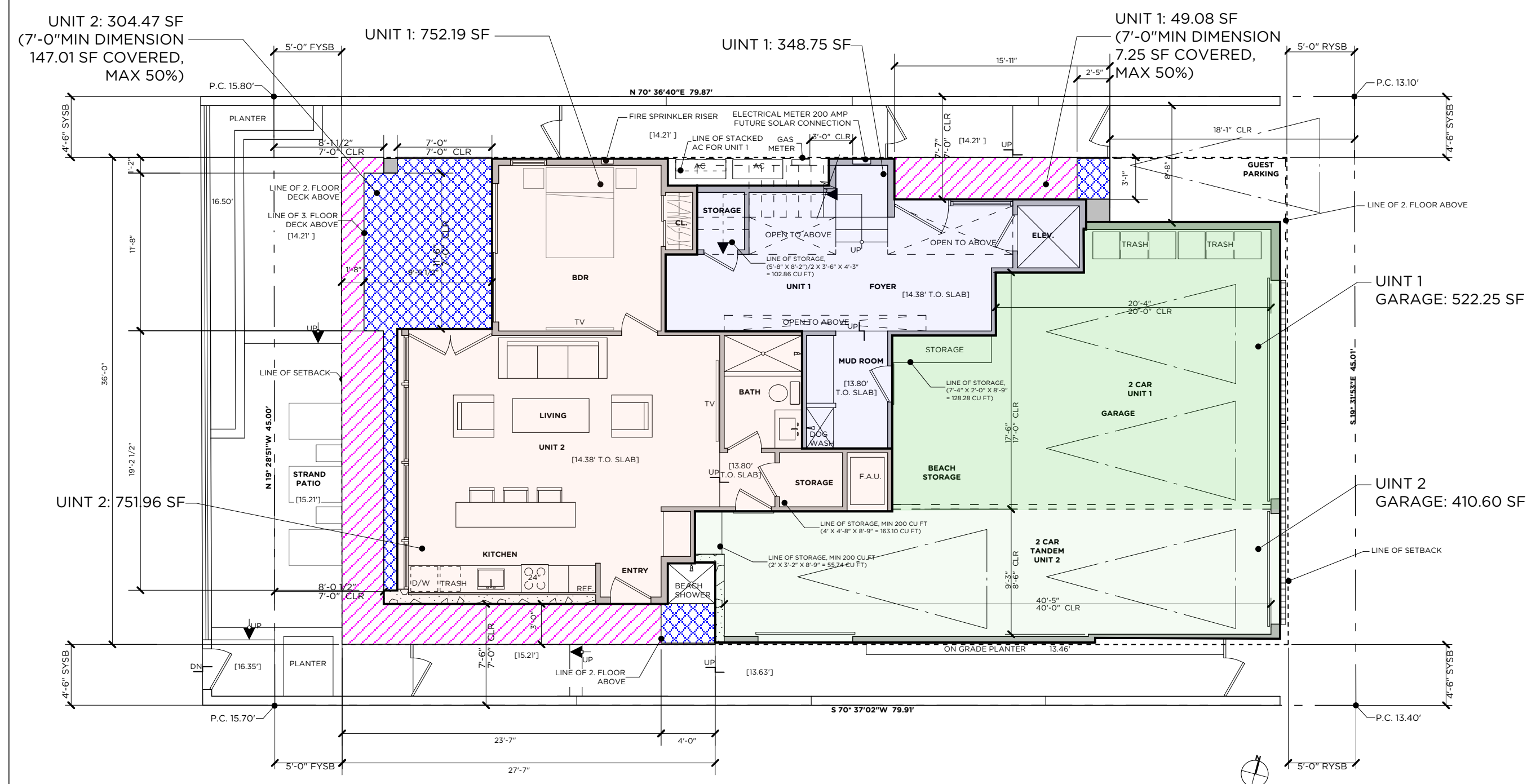
BASEMENT QUALIFICATION CALCULATION				
	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4
1ST LEVEL F.F. ELEVATION	N/A	N/A	N/A	N/A
LINEAL FEET(LF) OF PERIMETER	N/A	N/A	N/A	N/A
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	N/A	N/A	N/A	N/A
% OF PERIMETER <6' TO FF ABOVE	N/A	N/A	N/A	N/A

fb99cd\applicat\devprog 7/30/08

SHEET INDEX

- A-0.0** COVER SHEET/ DIAGRAMS AND CALCS.
A-0.1 SURVEY
A-0.2 GENERAL NOTES
A-0.3 DOOR & WINDOW SCHEDULE
A-0.4a - A0.4b T24
A-0.5 SITE PLAN
A-0.6 LANDSCAPE PLAN
A-0.7 CP POINTS
A-0.8 ENCROACHMENT
A-1.0 FIRST FLOOR PLAN
A-1.1 SECOND FLOOR PLAN
A-1.2 THIRD FLOOR PLAN
A-1.3 ROOF PLAN
A-2.0 - A2.2 RCP/ ELEC.
A-3.0 - A-3.2 ELEVATIONS, RENDERINGS
A-4.0 - A-4.1 SECTIONS
A-6.0 - A6.3 DETAIL
- CIVIL**
C-1.0 TITLE SHEET
C-2.0 GRADING & DRAINAGE PLAN
C-3.0 PUBLIC IMPROVEMENT
C-4.0 DETAILS
C-5.0 DRIVEWAY PROFILES AND SECTIONS
- STRUCTURAL**
S1.0 S1.0 GENERAL STRUCTURAL NOTES
S1.1 S1.1 SHEARWALL SCHEDULE + STANDARD STRUCTURAL DETAILS
S1.2 S1.2 STANDARD STRUCTURAL DETAILS
S1.3 S1.3 STANDARD STEEL CONNECTION DETAILS
S2.0 S2.0 1st. LEVEL FOUNDATION PLAN
S2.1 S2.1 2nd. LEVEL FLOOR FRAMING PLAN
S2.2 S2.2 3rd. LEVEL FLOOR FRAMING PLAN
S2.3 S2.3 ROOF FRAMING PLAN
S3.0 S3.0 FOUNDATION DETAILS
S3.1 S3.1 TYPICAL STRUCTURAL DETAILS
S3.2 S3.2 STAIR + MISC. DETAILS
S3.3 S3.3 FLOOR FRAMING DETAILS
S3.4 S3.4 ROOF FRAMING DETAILS
S3.5 S3.5 STEEL CONNECTION DETAILS
HFX 1-3 HARDY FRAME TYP. DETAIL SHEET

OPEN SPACE & LOT COVERAGE DIAGRAMS AND CALCS.:



OCCUPANCY & FLOOR AREA CALCS.

OCCUPANCY GROUP: R3 RESIDENCE.

UNIT 1:
FIRST FLOOR: 348.75 Sq. Ft.
SECOND FLOOR: 1963.55 Sq. Ft.
THIRD FLOOR: 1509.31 Sq. Ft.
TOTAL FLOOR AREA: 3821.61 Sq.Ft.

UNIT 2:
FIRST FLOOR: 752.19 Sq. Ft.
TOTAL FLOOR AREA: 752.19 Sq. Ft.

OCCUPANCY GROUP: U

UNIT 1:
GARAGE: 522.25 Sq. Ft.

UNIT 2:
GARAGE: 410.60 Sq. Ft.

DECKS:

UNIT 1:
DECK: 94.74 Sq. Ft.
SECOND FLOOR: 114.61 Sq. Ft.
THIRD FLOOR: 413.07 Sq. Ft.

TOTAL DECK AREA: 622.42 Sq. Ft.

OPEN SPACE:

UNIT 1:
FIRST FLOOR: 49.08 SF
SECOND FLOOR: 251.04 SF
TOTAL OPEN SPACE UNIT 1: 300.12 SF > 300 REQ. = OK

UNIT 2:
FIRST FLOOR: 304.47 SF
TOTAL OPEN SPACE UNIT 2: 304.47 SF > 300 REQ. = OK

300 SF OF USABLE OPEN SPACE WITH A MINIMUM DIMENSION OF 7'- 100 SF OF THIS OPEN SPACE MAY BE PROVIDED ON ROOF DECKS WITH A MINIMUM DIMENSION OF 10'. MAX ROOF PROJECTIONS 30"

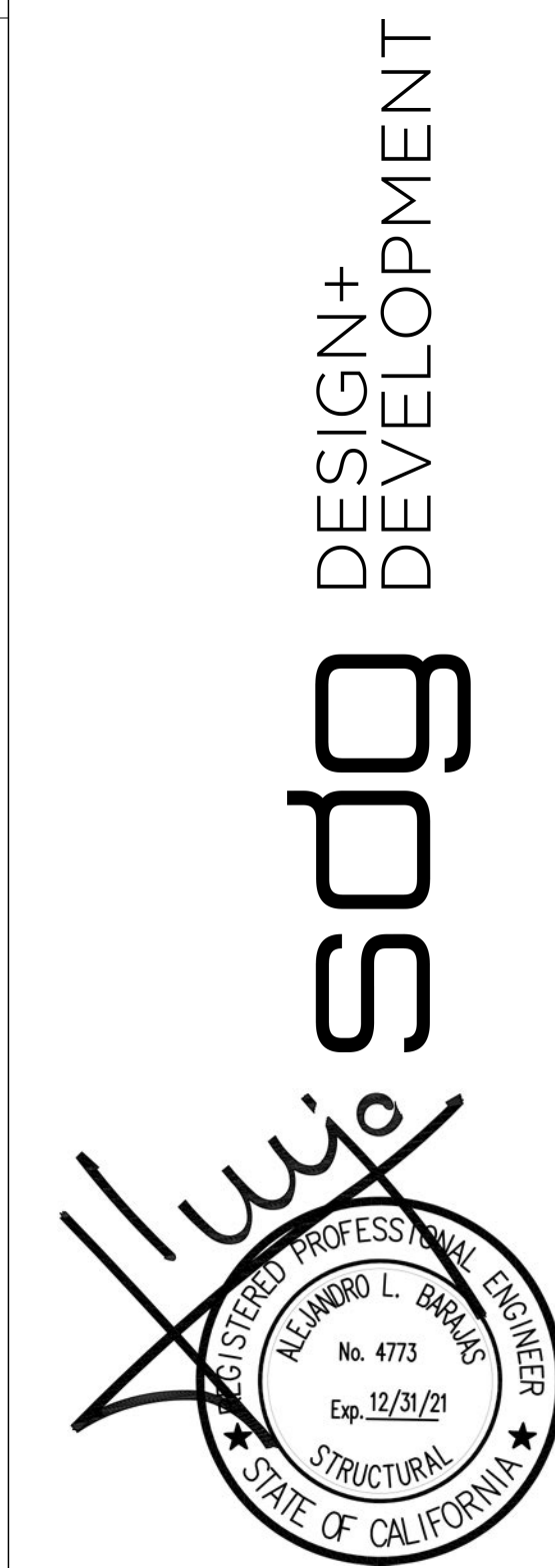
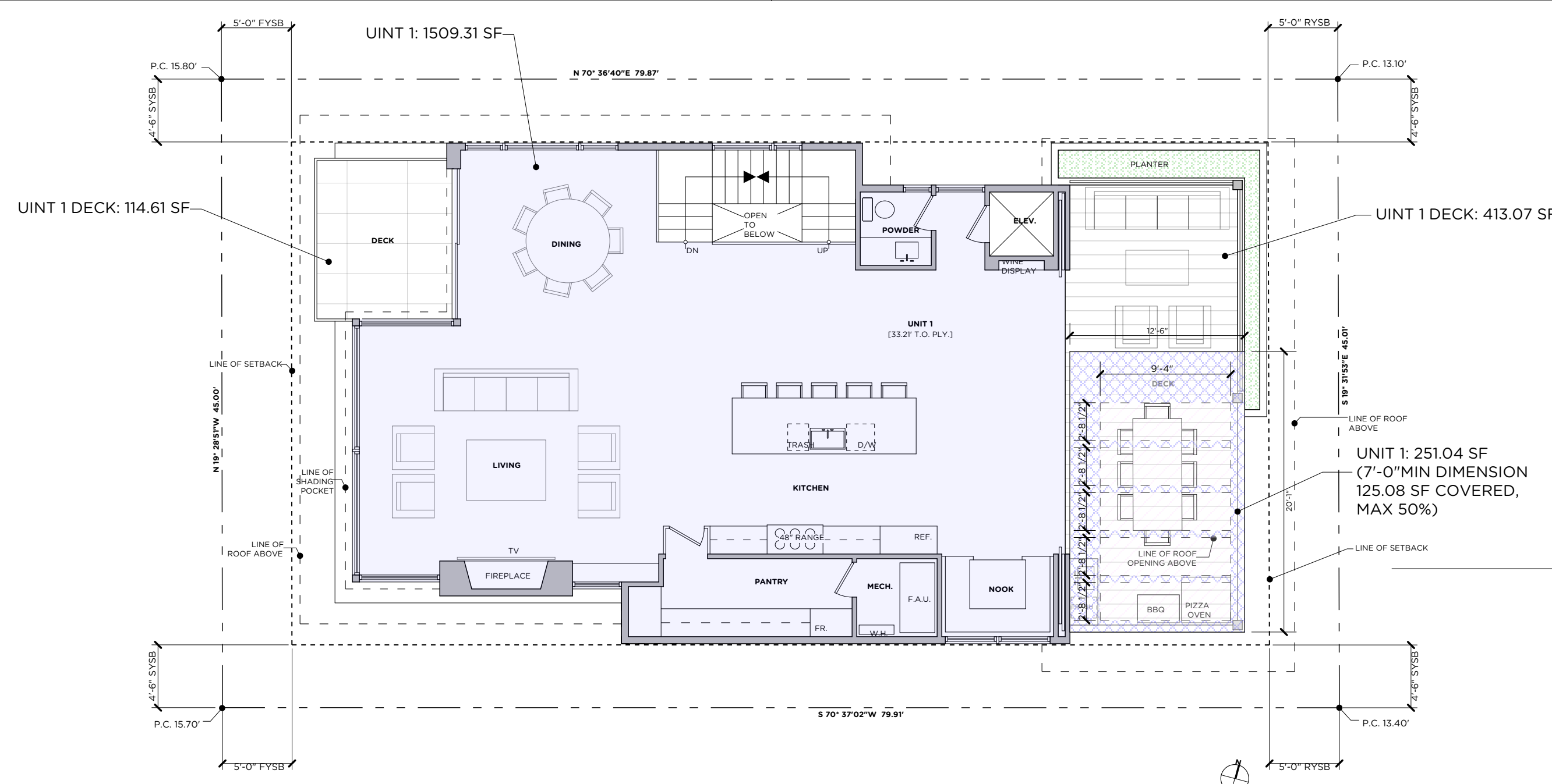
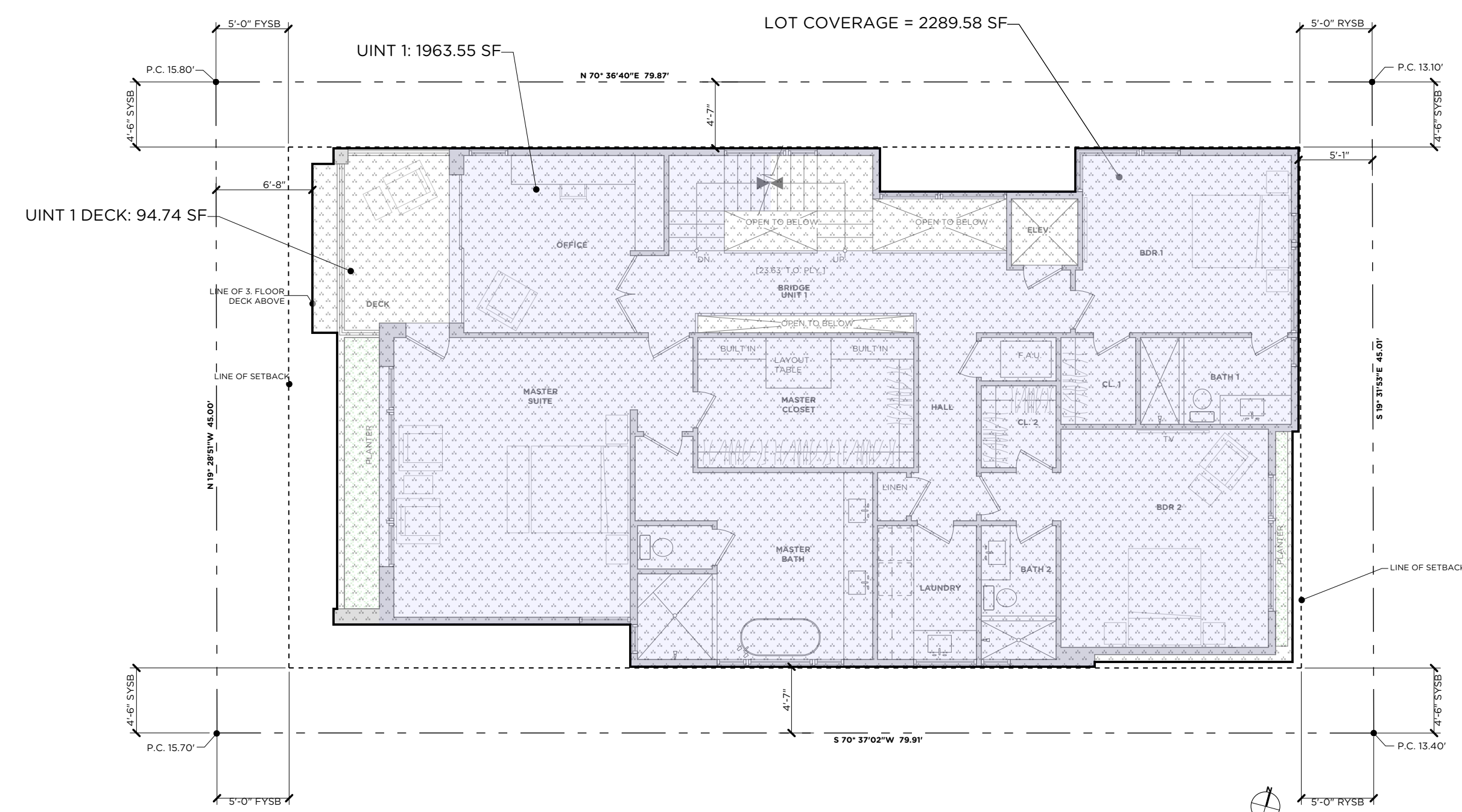
LOT COVERAGE

PROPOSED LOT COVERAGE: 2289.58 SF
 MAXIMUM LOT COVERAGE (0.65 x 3595.45 SF = 2337.04 SF)
LOT COVERAGE: 2289.58 SF < 2337.04 SF = OK

SEPARATE SUBMITTALS

- STORMWATER INFILTRATION SYSTEM UNDER SEPERATE PERMIT/ SEE C- SHEETS C-1/C-2
- DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS
- SHORING PLANS
- ENCROACHMENT PLAN
- BACK UP BATTERY, SECONDARY POWER SOURCE

RENDERING



NOT FOR CONSTRUCTION

REVISIONS

DATE	SCALE	PROJECT NUMBER
11/30/20	NOT TO SCALE	2019.13

DATE: 11/30/20

SCALE: NOT TO SCALE

PROJECT NUMBER: 2019.13

Submittals section with dates: 01/02/2020 PLANNING SUBMITTAL, 01/21/2020 PLANNING RE-SUBMITTAL, 04/15/2020 B&S SUBMITTAL, 05/20/2020 B&S SUBMITTAL, 06/18/2020 B&S RE-SUBMITTAL, 06/25/2020 FIRE SUBMITTAL, 11/12/2020 PLANNING RE-SUBMITTAL, 11/30/2020 PLANNING RE-SUBMITTAL

SUBMITTALS

01/02/2020 PLANNING SUBMITTAL
 01/21/2020 PLANNING RE-SUBMITTAL
 04/15/2020 B&S SUBMITTAL
 05/20/2020 B&S SUBMITTAL
 06/18/2020 B&S RE-SUBMITTAL
 06/25/2020 FIRE SUBMITTAL
 11/12/2020 PLANNING RE-SUBMITTAL
 11/30/2020 PLANNING RE-SUBMITTAL

PROJECT NAME: 44 THE STRAND

PROJECT ADDRESS: 44 THE STRAND, HERMOSA BEACH

SHEET NAME: COVER SHEET

SHEET NUMBER: A-0.0

LEGEND

- A.C. ASPHALT CONCRETE PAVEMENT
- B.M. BENCH MARK
- C.B.W. CONCRETE BLOCK WALL
- C.B.R.W. CONCRETE BLOCK RETAINING WALL
- CONC. CONCRETE
- D.W.Y. CONC. DRIVEWAY APRON
- E.P. EDGE OF PAVEMENT
- F.F. FINISHED FLOOR
- F.G. FINISHED GRADE
- F.H. FIRE HYDRANT
- F.S. FINISHED SURFACE
- F.L. FLOW LINE
- INV. DRAIN INVERT
- I.C.V. IRRIGATION CONTROL VALVE
- L.P. LIGHT POLE
- E.G. EDGE OF GUTTER
- E.M. ELECTRIC METER
- E.V. ELECTRIC VALVE
- G.M. GAS METER
- P.B. PULL BOX
- P.C.R.W. POURED CONC. RETAINING WALL
- P.P. POWER POLE
- R.R.W. ROCK RETAINING WALL
- S.S.M.H. SEWER MANHOLE
- S.D.M.H. STORM DRAIN MANHOLE
- T.C. TOP OF CURB
- T.G. TOP OF DRAIN GRATE
- T.W. TOP OF WALL
- W.M.H. WATER MANHOLE
- W.V. WATER VALVE
- OVERHANG
- EASEMENT LIMIT
- CONCRETE SURFACE
- 8" TREE AND TRUNK DIAMETER
- WOOD FENCE

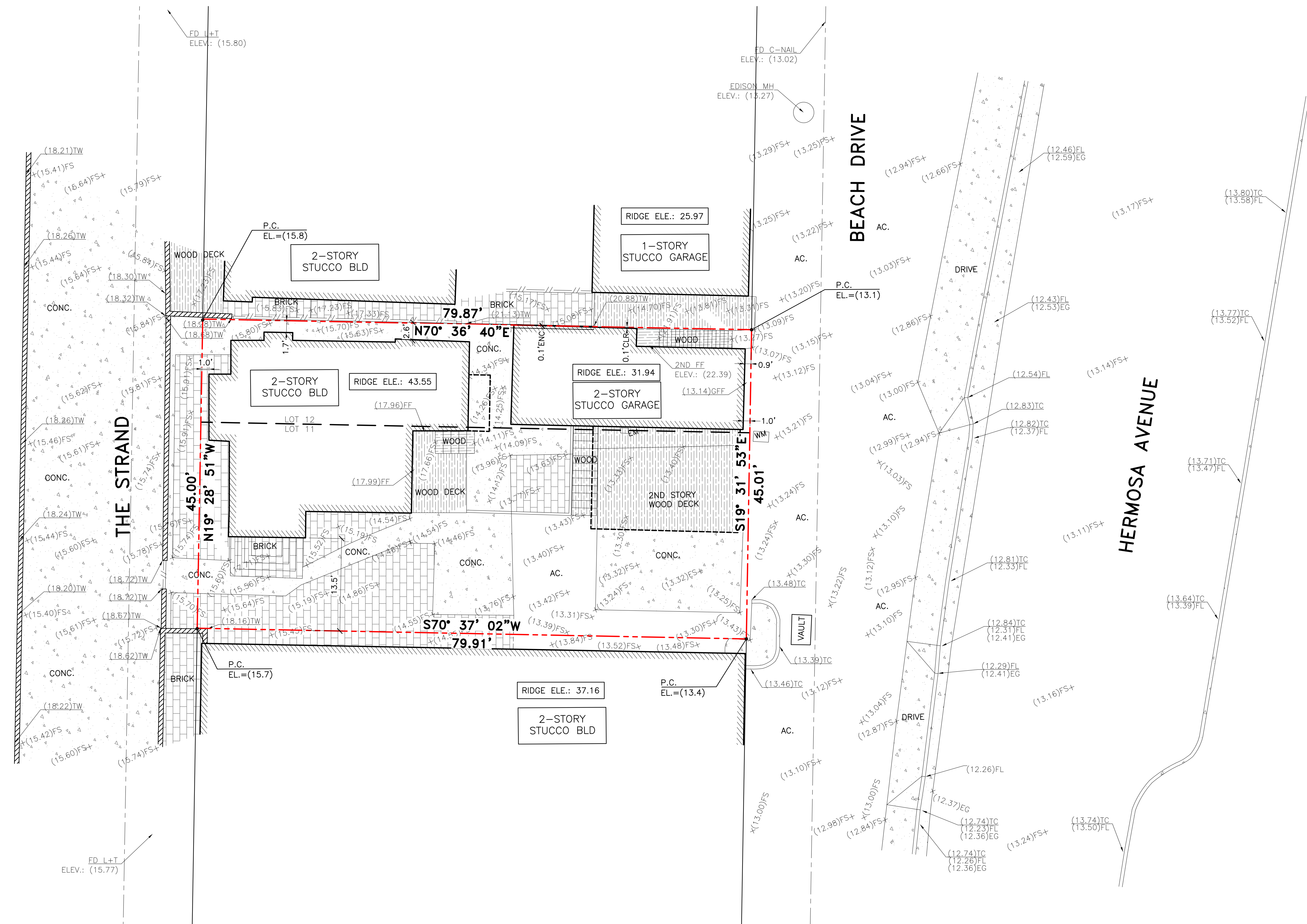
TOPOGRAPHIC NOTES

1. CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS ±1/2 OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THE PLAT WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS ± 0.10 FOOT.
2. IF SPECIFIC ELEVATIONS ARE REQUIRED, THE USER SHOULD CONTACT PACIFIC LAND CONSULTANTS, INC., TEL: (310)544-8689 FOR SAME. INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES, AND LIABILITY FOR INTERPOLATIONS IS NOT ASSUMED BY PACIFIC LAND CONSULTANTS, INC.

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN FEBRUARY, 2019; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

Christopher W. Vassallo
 02-15-19
 CHRISTOPHER W. VASSALLO P.L.S. 8418 DATE
 REGISTRATION EXPIRES 12-31-2020



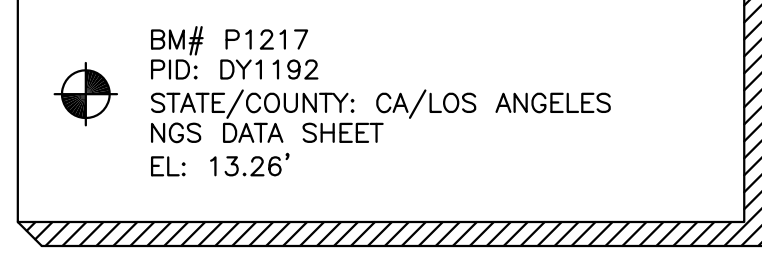
PLEASE NOTE

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

UNDERGROUND UTILITIES

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

BENCHMARK



LEGAL DESCRIPTION

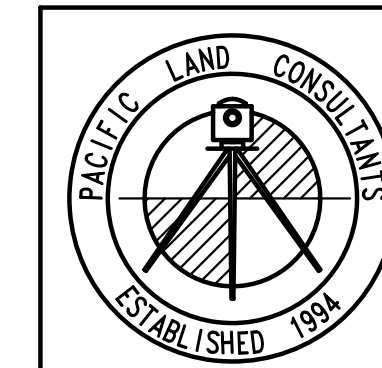
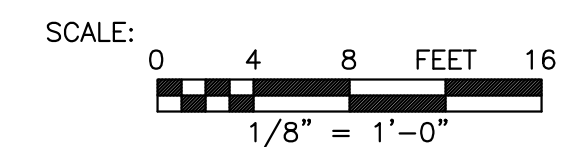
LOT 11 AND SE 15FT OF LOT 12, BLOCK 1 HERMOSA BEACH TRACT, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGES 25 & 26 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EASEMENTS

AN EASEMENT FOR WATER PIPES AND INCIDENTAL PURPOSE, RECORDED IN BOOK 1617, PAGE 47 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. (EASEMENT IS BLANKET-IN-NATURE)

AREA = 3,595.18 SQ.FT.

APN= 4188-002-034



DRAWN BY: A.P.	PROJECT SITE: 44 THE STRAND HERMOSA BEACH, CA	FILE NAME: 19016L.DWG
		DATE: 2-11-2019
		SCALE: 1/8"=1'-0"
		JOB NO. 19016
		SHEET 1 OF 1

LEGEND	
	NON HIGH WATER USE PLANTS/ PERMEABLE
	STEPPING STONES / PERMEABLE
	TILE/ NOT PERMEABLE
	CONCRETE/ NOT PERMEABLE
	WOOD/ NOT PERMEABLE
	RETAINING WALLS AND FENCES
	R3-RESIDENCE
	U-GARAGE

NOTES:
 • PLANTING HEIGHT NOT TO EXCEED 42" ABOVE ADJACENT SIDEWALK. ALL PLANTING TO BE IRRIGATED.
 • SOIL TO BE SAMPLED AND SENT TO GRO-POWER 909.393.3744
 • CONTRACTOR TO AMEND PER GRO-POWER RECOMMENDATION
 • 2" MIN CAL BLEND - LEAFPOST MULCH ON SURFACE OF ALL P.A.

STORM WATER NOTE:
 PER HBMC SECTION 8.44.095, 100% OF THE SITE STORM WATER SHALL BE CAPTURED ON SITE VIA PERMEABLE SURFACES AND/OR A WATER INFILTRATION SYSTEM PER CIVIL ENGINEER DRAWINGS (UNDER SEPARATE PERMIT).

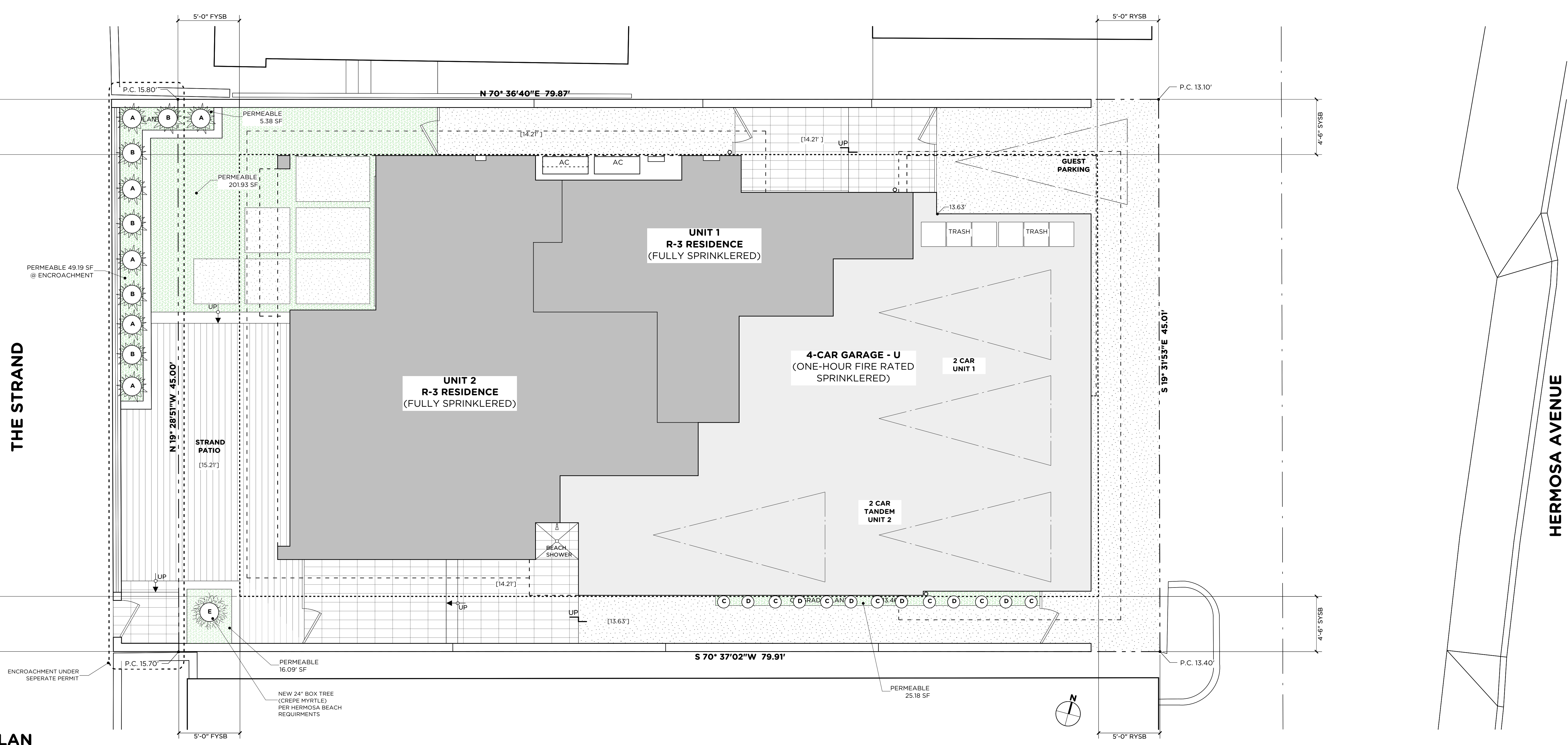
NOTE:
 ALL PLANTS EMPLOYED ON THE SITE SHALL BE DROUGHT TOLERANT. (LOW WATER USE) PLANTS IDENTIFIED BY U.C. DAVIS AND/OR THE WATER RESOURCES BOARD. REFERENCE www.water.ca.gov/wateruseefficiency/docs/wucols00.pdf

WATER CONSERVATION AND DROUGHT MANAGEMENT PLAN

8.56. 050 Applicability.
 This Chapter is applicable to every person, commercial business, or other water user in the use of any water within the City. The City Council may by Resolution exempt pilot programs or special programs of limited scope undertaken by the City or undertaken in conjunction with the City's water providers.

8.56. 060 Water Conservation and Drought Management Plan.
 This Chapter establishes a water conservation and drought management plan consisting of both permanent regulations designed to reduce water usage and increase the efficiency of water use on an ongoing basis, and three increasingly restrictive levels of drought response actions to be implemented in times of drought conditions.

8.56. 070 Water Conservation Requirements.
 The following water conservation requirements shall apply to all persons:
 A. Landscaping
 1. Watering hours and duration. No lawn or landscaped area shall be irrigated or watered by any means between the hours of 9:00 a.m. and 6:00 p.m. on any day. Above-ground spray irrigation or watering shall not exceed fifteen (15) minutes per irrigation station or area. This provision shall not apply to drip irrigation systems, use of a hand-held bucket or similar container, use of a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, irrigation necessary to establish newly planted low water usage plants, or water expended for limited periods of time necessary for irrigation system maintenance or leak repair.
 2. Over-watering. No lawn or landscaped area shall be irrigated or watered to the point where excess water ponds, sprays or runs off the lawn or landscaped area onto any walkways, sidewalks, driveways, streets, alleys or storm drains.
 3. Irrigation during rainfall. No lawn or landscaped area shall be irrigated or watered during rainfall or within 24 hours after measurable rainfall.
 4. Landscape maintenance. All lawns and landscaping shall be regularly maintained to reduce water use by such methods as aerating, thatching and mulching.
 5. Landscape irrigation system maintenance. Landscape irrigation systems shall be regularly inspected, maintained and repaired to eliminate leaks, remove obstructions to water emission devices and eliminate over spraying.
 B. Pools and spas. New pools and spas shall be equipped with a cover. Not later than July 1, 2012, all existing pools and spas shall be constructed, installed or equipped with a cover. Pools and spas shall be covered overnight and daily when use is not required.
 C. Water fountains and decorative water features. No person shall operate a fountain or other decorative water feature that does not recycle or re-circulate the water utilized by the device.
 D. Cleaning. No person shall use water to wash or clean any sidewalks, walkways, patios, driveways, alleys, parking or similar areas, whether paved or unpaved; however, use of water brooms or pressure washers or similar low flow technology, or water recycling systems to clean these surfaces, is permitted. In no case shall such water run off the property or drain onto any walkways, sidewalks, streets, alleys or storm drains.
 E. Car washing. No person shall use water to wash or clean any motorized or un-motorized vehicle, including, but not limited to, an automobile, truck, boat, van, bus, motorcycle, trailer or similar vehicle, except by use of a bucket or similar container or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle. This subsection shall not apply to any commercial car washing facility that uses a water recycling system to capture or reuse water.
 F. Waste and leaks. No person shall:
 1. Cause, permit or allow water to leak from any exterior or interior pipe, hose or plumbing fixture.
 2. Cause, permit or allow water to flow from any source on private or public property onto walkways, sidewalks, streets, alleys or storm drains, except through a volume wash system, bucket or similar container, and/or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, or similar low-flow device by January 1, 2012.
 L. Exceptions. The provisions of this Section are not applicable to uses of water that are necessary to protect public health and safety or for essential governmental services when such uses of water cannot be reduced, such as for fire-fighting and other similar emergency services.



LANDSCAPE PLAN
 1/4 = 1'-0"

LANDSCAPE NOTES:

- 8.60. 060 Standards for New Landscape.
- "New landscape" as defined in Section 8.60.040 shall be designed and managed to use the minimum amount of water required to maintain plant health. New landscape shall comply with all of the requirements in Sections 492.6 through 492.15 of the Model Efficient Ordinance and the following, whichever is more restrictive, unless an exception is granted pursuant to Section 8.60.050(D).
- A. Plant material.
 1. Plant species and landscape design shall be adapted to the climate, soils, topographical conditions, and shall be able to withstand exposure to localized urban conditions such as pavement heat radiation, vehicle emissions and dust, and urban runoff. Water conserving plant and turf species shall be used.
 2. Plant species or specifications shall comply with any official list of species, guidelines or regulations adopted by the City to the extent that such lists, guidelines or regulations do not conflict with this Chapter.
 3. Plants listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or similar source acceptable to the Community Development Director are prohibited, except for known non-fruiting, non-invasive, sterile varieties or cultivars. Plants known to be susceptible to disease or pests in this Climate Zone six (6) shall not be used.
 4. The landscape area of projects proposing exclusively commercial or industrial uses shall be designed using exclusively water conserving plants. Single family residential, multi-family residential, mixed use and institutional use projects shall be designed with not more than twenty (20) percent of the total landscaped area in turf or high water use plants in the Water Use Classification for Landscape Species (WUCOLS). Turf may be used as a bio-swale or bio-filter or for functional purposes such as active recreational areas as determined by the Community Development Director. Public agencies shall be exempt from this requirement.
 5. Turf shall not be allowed on slopes greater than twenty (20) percent. Where the toe of the slope is adjacent to an impermeable surface, alternatives to turf should be considered on slopes exceeding twenty (20) percent, meaning one (1) foot of vertical elevation change for every five (5) feet of horizontal length. Approved turf areas may be watered at 1.0 of the reference evapotranspiration (ET₀).
 6. Planted areas shall be covered with a minimum of two (2) inches of organic mulch, except in areas covered by groundcovers or within twenty-four (24) inches of the base of a tree, or where a reduced application is indicated. Additional mulch material shall be added from time to time as necessary to maintain the required depth of mulch.
 7. Species and landscape design shall complement and to the extent feasible in compliance with this Chapter be proportional to the surroundings and streetscape and incorporate deciduous trees to shade west and south exposures. Landscaping shall not interfere with safe sight distances for vehicular traffic, the vision clearance in Section 17.46.060, height restrictions for hedges in 17.46.130, pedestrian or bicycle ways, or overhead utility lines or lighting.
 B. Water features, pools and spas.
 1. Recirculating water systems shall be used for water features. Where available, recycled water shall be used as a source for decorative water features.
 2. Pools and spas shall be equipped with a cover and covered overnight and daily when use is concluded.
 C. Grading and runoff. Landscape design shall minimize soil erosion and runoff.
 1. Grading plans shall avoid disruption of natural drainage patterns to the extent feasible.
 2. Grading plans shall demonstrate that normal rainfall and irrigation will remain within the property lines and not drain onto impermeable surfaces, walkways, sidewalks, streets, alleys, gutters, or storm drains.
 3. Plans and construction shall protect against soil compaction within landscape areas.
 4. Stormwater best management practices to minimize runoff, to increase on-site retention and infiltration, and control pollutants shall be incorporated into project plans. Rain gardens, cisterns, swales, structural soil, permeable pavement, connected landscape areas, and other landscape features and practices that increase onsite rainwater capture, storage and infiltration, emphasizing natural approaches over technology-based approaches that require ongoing maintenance, shall be considered during project design. Plans and practices shall comply with Chapter 8.44.

- D. Irrigation systems.
 1. An automatic irrigation system using either evapotranspiration or soil moisture sensor data, with a rain shut-off sensor, shall be installed. Drip irrigation emitters shall emit no more than two (2) gallons per hour.
 2. An average landscape irrigation efficiency of 0.71 shall be used for the purpose of determining Maximum Applied Water Allowance. Irrigation systems shall be designed, maintained, and managed to meet or exceed this efficiency. Landscapes using recycled water are considered Special Landscape Areas, where the ET Adjustment Factor shall not exceed 1.0.
 3. The irrigation system shall be designed to prevent water waste resulting in runoff, overspray, or similar conditions where irrigation water ponds or flows onto non-irrigated areas, walkways, sidewalks, streets, alleys, gutters, storm drains, adjacent property, or similar untargeted areas. Runoff to other permeable or impermeable surfaces shall not be allowed.
 4. Narrow or irregularly shaped areas, including turf less than eight (8) feet in width in any direction, shall be irrigated with subsurface irrigation or low volume above-ground irrigation system.
 5. Overhead irrigation shall not be permitted within two (2) feet of any impermeable surface. Drip, drip line, or other low flow non-spray technology shall be used.
 6. All sprinklers shall have matched precipitation rates within each valve and circuit. All irrigation systems shall be designed to include optimum distribution uniformity, head to head spacing, and setbacks from sidewalks, pavement and impermeable surfaces.
 7. All irrigation systems shall provide backflow prevention devices in accordance with the current edition of the California Building/Plumbing Code and check valves at the low end of irrigation lines to prevent unwanted draining of irrigation lines. Pressure regulators may be required if the pressure at the sprinkler head exceeds the manufacturer's recommended optimal operating pressure.
 8. Reclaimed water and graywater irrigation systems shall be used when reasonably feasible and shall conform to the current edition of the California Building/Plumbing Code, and all other applicable local, state and federal laws.
 E. Irrigation system hydrozones.
 1. The irrigation system shall conform to the hydrozones of the landscape design plan.
 2. Each hydrozone shall have plant materials with similar water, with the exception of hydrozones with plants of mixed water use where the plant factor of the higher water using plant is used for calculations. No hydrozone shall mix high and low water use plants.
 3. Sprinkler heads and other emission devices shall be appropriate for the plant type within that hydrozone. Where feasible, trees shall be placed on separate valves from turf, shrubs and groundcovers.
 F. Landscape and irrigation maintenance.
 1. All landscape and related elements shall be designed and properly maintained to insure long-term health and shall maintain conformance with the requirements of this Chapter.
 2. Irrigation scheduling shall be regulated by automatic irrigation controllers.
 3. Watering hours and duration shall be scheduled compliant with the requirements of Chapter 8.56.
 4. A regular maintenance schedule shall include, but not be limited to, routine inspection, adjustment and repair of the irrigation system, aerating and dethatching turf areas, replenishing mulch, fertilizing, pruning, weeding and removing any obstruction to emission devices.
 5. Repair of all irrigation equipment shall be promptly undertaken, using the originally installed components, or equivalent or enhanced components compatible with the irrigation system.

6. Landscape areas shall be permanently maintained and kept free of weeds, debris and litter; plant materials shall be maintained in a healthy growing condition and diseased or dead plant materials shall be replaced, in kind, pursuant to the approved plans within thirty (30) days. Alternatively, diseased or dead plant materials may be replaced with plant materials that have low water needs, as rated in the current edition of the Water Use Classification of Landscape Species.
 7. The use, storage and disposal of all landscape and lawn care products shall comply with all manufacturer's specifications and applicable laws, and minimize the discharge of pollutants to the environment.
 G. Notwithstanding the requirements of this Section, landscape design and maintenance shall additionally comply with the requirements of Chapters 8.44 and 8.56, Title 17 (Zoning), any other applicable provisions of this code, and the requirements of a development permit, whichever is more restrictive.

PLANTING LIST

ALL PLANTS FOR WUCOLS REGION III

Proposed landscaping for: 44 THE STRAND, HERMOSA BEACH, CA 90254

The chart below is based on information from WUCOLS WATER USE CLASSIFICATION OF LANDSCAPE SPECIES

Symbol:	Vegetation Type:	Botanical Name:	Common Name:	Regional Evaluations Water Needs:	Size:	Diameter (planting/matured):	Height (planting/matured):	Quantity:
A	Shrub	Acacia Boormanii	Snowy River Wattle	L	Small	12"/20"	12"/36"	6
B	Shrub	Angozanthos Viridis	Green Kangaroo Paw	L	Small	10"/18"	10"/30"	5
C	Shrub	Heuchera Sanguinea	Coralbelles	VL	Small	8"/16"	8"/18"	7
D	Shrub	Rhaphiolepis Indica	Indian Hawthorne	VL	Small	8"/16"	8"/18"	6
E	Tree	Lagerstroemia	Crepe Myrtle	L	Small	24"/36"	5'/6'	1

SURFACE AREA CALCULATION:

HARDSCAPE	= 1307.79 SF	36.37%
LANDSCAPE/PERMEABLE	= 248.58 SF	15.91%
BUILDING FOOT PRINT	= 2039.08 SF	47.72%
TOTAL LOT AREA	= 3595.45 SF	

SUMP PUMP, DRAINAGE, INFILTRATION SYSTEM AND EROSION CONTROL PER CIVIL DRAWINGS

REVISIONS

DATE	SCALE	AS NOTED	PROJECT NUMBER
11/30/20			2019.13

DATE
11/30/20

SCALE
AS NOTED

PROJECT NUMBER
2019.13

SUBMITTALS
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 05/20/2020 B&S SUBMITTAL
 06/18/2020 B&S RE-SUBMITTAL
 06/25/2020 FIRE SUBMITTAL
 11/12/2020 PLANNING RE-SUBMITTAL
 11/30/2020 PLANNING RE-SUBMITTAL

PROJECT NAME
44 THE STRAND, HERMOSA BEACH

SHEET NAME
LANDSCAPE PLAN

SHEET NUMBER
A-0.6

44 THE STRAND

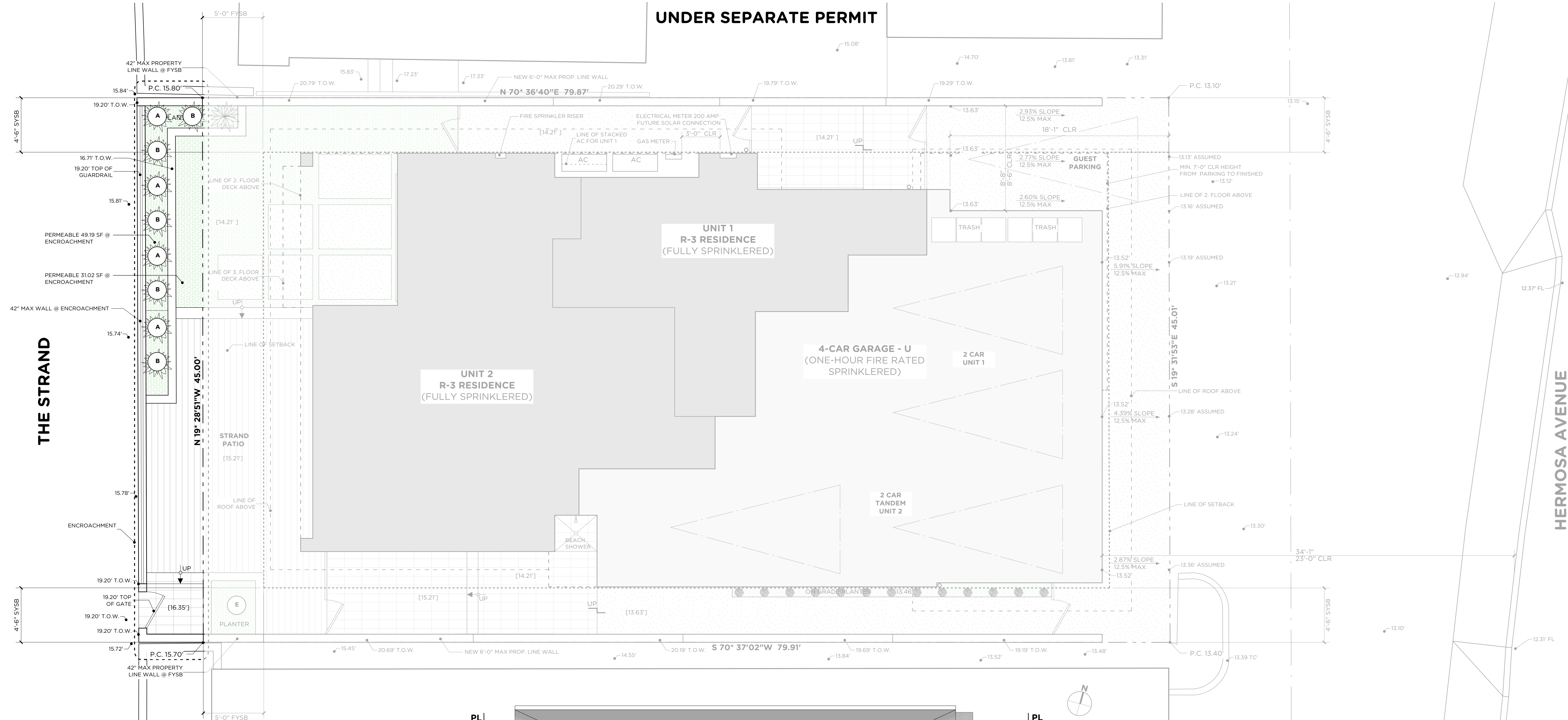
LANDSCAPE PLAN

SHEET NUMBER
A-0.6

WUCOLS DESIGN+ DEVELOPMENT

NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
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UNDER SEPARATE PERMIT

THE STRAND

HERMOSA AVENUE

ENCROACHMENT PLAN
SCALE 1/4"= 1'-0"

ENCROACHMENT AREA:	241.63 SF
LANDSCAPE AREA:	80.21 SF
PLANTING AREA:	80.21 SF
PLANTER WALLS, TILE & PAVEMENT:	161.42 SF
80.21 SF / 241.63 SF = 33.20 % > 1/3 LANDSCAPE AREA	
NON HIGH WATER USE PLANTS/ PERMEABLE	
TILE/ NOT PERMEABLE	
RETAINING WALLS, CURBS AND FENCES	
PAVEMENT	

PLANTING LIST

Proposed landscaping for: Project Address 44 THE STRAND, HERMOSA BEACH, CA 90254

The chart below is based on information from WUCOLS/WATER USE CLASSIFICATION OF LANDSCAPE SPECIES

Symbol:	Vegetation Type:	Botanical Name:	Common Name:	Regional Evaluations Water Needs:	Size:	Diameter (planting/ matured):	Height (planting/ matured):	Quantity:
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B	Shrub	Anigozanthos Viridis	Green Kangaroo Paw	L	Small	10"/18"	10'/30"	5



DESIGN+ DEVELOPMENT

sdg

REGISTERED PROFESSIONAL ENGINEER
ALEXANDER L. BAROIS
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STRUCTURAL
STATE OF CALIFORNIA

NOT FOR CONSTRUCTION

REVISIONS

DATE	SCALE	PROJECT NUMBER
11/30/20		2019.13

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06/25/2020 FIRE SUBMITTAL
11/12/2020 PLANNING RE-SUBMITTAL
11/30/2020 PLANNING RE-SUBMITTAL

PROJECT NAME

44 THE STRAND

PROJECT ADDRESS
44 THE STRAND,
HERMOSA BEACH

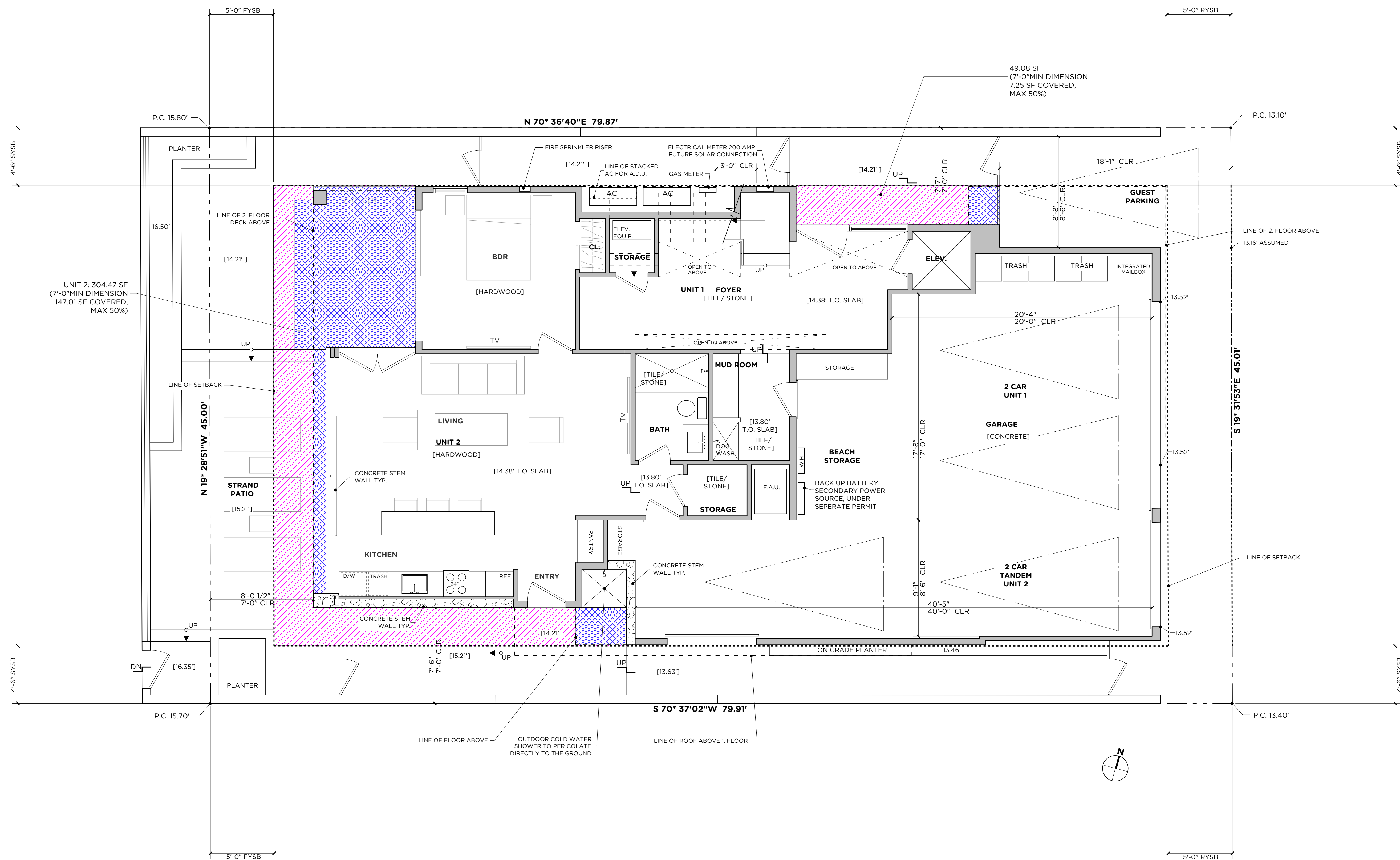
SHEET NAME

ENCROACHMENT

SHEET NUMBER
A-0.8

GENERAL NOTES

- 1 ALL MECHANICAL DUCTS WILL BE FIELD SIZED TO COMPLY WITH MECHANICAL CODE. PROVIDE DUCTS TO OUTSIDE AIR FOR COMBUSTION AIR MECHANICAL DUCTS THROUGH GARAGE INTO DWELLING SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL (308 LMC, S10 UPC, 302.4)
- 2 ALL EXTERIOR WOOD STUDS TO BE 2"x6" AND INTERIOR STUD WALLS TO BE 2"x4" PER STRUCTURAL DRAWINGS UNLESS OTHER SPECIFICATIONS APPLY
- 3 PROVIDE HARD-WIRED AND INTERCONNECTED SMOKE DETECTOR ON CEILING OR TOP OF WALL WITH BATTERY BACKUP ADJACENT TO AND INSIDE BEDROOMS. PROVIDE SEPARATE EARLY WARNING SMOKE DETECTION SYSTEM
- 4 WATER CLOSET TO BE "HIGH EFFICIENCY" TYPE (1.28 GAL MAX./FLUSH) W/ MIN. 24" CLEAR IN FRONT AND 30" MIN. WIDTH SPACE.
- 5 FAUCET TO BE HIGH EFFICIENCY TYPE (1.2 GPM AT BATHROOMS, 1.8 GPM AT KITCHEN). SHOWER TO BE 2.0 GPM
- 6 WALLS IN GARAGE, UTILITY, MECHANICAL UNDER STAIR AND WATERHEATER CLOSETS SHALL HAVE 1 LAYER OF 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD SEPERATION ON EACH SIDE
- 7 PROVIDE 5/8" GREENBOARD ON ALL WALLS OVER TUBS, FAUCETS, AND WATER CLOSET COMPARTMENTS.
- 8 CEILING IN GARAGE, UTILITY, MECHANICAL UNDER STAIR AND WATERHEATER CLOSETS SHALL HAVE 2 LAYERS OF 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD SEPERATION ON UNDERSIDE OF CEILING
- 9 SUMP PUMP PER CIVIL DWG.
- 10 DUCTS THROUGH GARAGE INTO DWELLING SHALL BE MIN. 26-GA GALVANIZED STEEL.
- 11 CLOTHES DRYER SHALL BE VENTED TO OUTSIDE W/ MIN. 4" DIA. SMOOTH METAL EXHAUST DUCT. PROVIDE RECESSED NICHE IN WALL BEHIND DRYER UNIT TO ALLOW UNIT TO REST FLUSH WITH WALL
- 12 PROVIDE MECH. VENTILATION FAN W/ MIN. 5 AIR CHANGES PER HOUR AND HUMIDISTAT CONTROL IN BATHROOMS AND LAUNDRY ROOM
- 13 REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS. NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION.
- 14 VERIFY ALL EXTERIOR GRADE OR PAVING TO SLOPE MIN. 2% AWAY FROM BUILDING.
- 15 DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS, AND DISHWASHERS MUST BE PROVIDED. ALL DRAINS MUST CONNECT TO SEWER SYSTEM AND CONTAIN A TRAP PRIMER
- 16 ALL WATER PIPES TO SINKS AND LAUNDRY FACILITIES SHALL BE INSTALLED WITH SURGE PIPES, OR EQUIVALENT APPROVED SUCH DEVICES. ALL VOIDS AROUND PIPES SHALL BE PACKED WITH ROCK WOOL OR EQUIVALENT SOUND-DEADENING MATERIAL, AND ALL PIPES SHALL BE WRAPPED AT ALL POINTS OF CONTACT WITH WOOD OR STEEL MEMBERS, AND STRAP HANGERS.
- 17 ELECTRICAL SERVICE PANEL LOCATION TO INCLUDE A 1" DIAMETER STUB-OUT CONDUIT. ESTIMATED NET LOAD: 19,000 VA / 240 VOLTS = 90 AMPERS.
- 18 DEX-O-TEX CROSSFIELD PRODUCTS FRACTURE RESISTANT MEMBRANE, ICC#ES 1757 6" UP WALLS OVER FLASHING, TYP.
- 19 CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 420.0
- 20 FAU PER CRC 303.8 ON 18" HIGH PLATFORM BY ALLIED, MODEL #95GUH060E12X 60,000 BTU
- 21 DECK DRAIN WITH OVER FLOW, SLOPE DECK TO DRAIN MIN 1/4" PER T-0" TYP.
- 22 PARAPET, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 23 PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FOR THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER ETC. CPC SECTION 609.10.
- 24 PROVIDE CRICKET AS INDICATED ON PLAN FOR PROPER DRAINAGE AROUND OBJECT.
- 25 60" FIREPLACE SPARK, ANSI Z21.88-2014/CSA 2.33-2014, (PER SECT. R1004.1), NON-WOOD BURNING.
- 26 CONTRACTOR SHALL POST THE INSTALLATION CERTIFICATE (CF-6R) FORM AND THE INSULATION CERTIFICATE (IC-1) FORM IN A CONSPICUOUS LOCATION OR KEPT WITH PLANS AND MADE AVAILABLE TO THE INSPECTOR.
- 27 HERS MEASURES: QUALITY INSULATION INSPECTION, VERIFIED REFRIGERANT CHARGE, VERIFIED AIR CONDITIONER EER, DUCT TEST.
- 28 GARAGE DOOR SPRINGS SHALL COMPLY WITH REQUIREMENTS OF CBC SECTION R309.5: HARD DRAWN SPRING WIRE SHALL CONFORM TO ASTM A227-71; OIL TEMPERED WIRE SHALL TO ASTM A229-71; MINIMUM DESIGN STANDARD SHALL BE 9000 CYCLES. EACH SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING WHEN IT BREAKS. CONTAINMENT DEVICE SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. PHYSICAL CYCLING TESTS SHALL BE PERFORMED AND CERTIFIED BY AN APPROVED TESTING AGENCY.
- 29 CONSTRUCTION AND DEMOLITION DEBRIS RECYCLING SHALL BE 65%
- 30 MAJOR APPLIANCES AND 90% OF LIGHT FIXTURES MUST BE ENERGY STAR, INCLUDING EXHAUST FANS, CEILING FANS, CLOTHES WASHERS, REFRIGERATORS, FREEZERS, WINE COOLERS, HEATING, VENTILATING AND AIR CONDITIONING EQUIPMENT AND DISHWASHERS.
- 31 PROVIDE SUFFICIENT CLEARANCE IN FRONT OF WATER HEATER FOR REPAIR AND MAINTENANCE PER CPC SEC. 507.24
- 32 AUTOMATIC LAWN SPRINKLER CONTROLLERS MUST BE WEATHER-BASED.
- 33 CONTRACTOR SHALL PROVIDE A BUILDING MAINTENANCE AND OPERATION MANUAL TO THE OWNER OR OCCUPANTS PRIOR TO FINAL INSPECTION.
- 34 INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- 35 THE PLUMBING SYSTEM WATER LINES SERVING ALL BASEMENT PLUMBING FIXTURES MUST BE CAPPED UNTIL IT IS VERIFIED WHETHER THE FLOOD RIM OF THE LOWEST PLUMBING FIXTURE IN THE BASEMENT IS LOWER THAN THE NEXT UPSTREAM MANHOLE OF THE CITY'S MAIN. IF VERIFIED THE NECESSARY PREVENTIVE SYSTEMS MUST BE INSTALLED BEFORE THE CAPS CAN BE REMOVED. PER CPC 710.0
- 36 FIRE RATING OF EXTERIOR WALLS, OPENINGS, PROJECTIONS AND PENETRATIONS PER CRC TABLE R3021 (2)-DWELLINGS WITH AUTOMATIC RESIDENTIAL FIRE SPRINKLER PROTECTION
- 37 42" HIGH GUARDRAIL/ WALL - SEE DETAIL CALL OUT, PER STRUCTURAL DWG.
- 38 BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CRC SECTION 319.1.
- 39 DRYER VENT MAX. 14' IN LENGTH WITH 2 - 90 DEGREE BENDS TO THE OUTSIDE PER (CMC 504.4.2.1)
- 40 ELEVATOR WITH ONE HOUR RATED SHAFT WITH SELF CLOSING DOORS, DEPRESS SLAB FOR MIN 12" DEPTH. ELEVATOR WITH 3RD PARTY QEI ELEVATOR INSPECTION.
- 41 GAS-FIRED INSTANT WATER HEATER BY RHEEN, MODEL RTGH-RH1 DVLN OR EQUAL. INSTALL ON COLD WATER SUPPLY PIPE A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATER AND PRE-PLUMB PIPING AND SENSOR WIRING TO ATTIC. SEE TITLE 24 NOTES, VENT TO OUTSIDE. P & T RELIEF VALVE SHALL TERMINATE OUTSIDE. PROVIDE COMBUSTION AIR FROM OUTSIDE VIA SCREED VENT PER CMC AND CPC LOCATED NOT LESS THAN EIGHTEEN 18" ABOVE THE FLOOR TYP.
- 42 COMBUSTION AIR AND VENTILATION PER 506.4.2 CPC. ONE OPENING WITHIN 12" OF THE TOP OF THE ENCLOSURE. OPENING SHALL HAVE A MINIMUM FREE AREA OF 1 SQUARE INCH PER 3000 BTU, BUT NOT LESS THAN SUM OF AREAS OF VENT CONNECTORS IN THE SPACE.
- 43 4" OF WASTE LINE SHALL BE USED FOR BUILDINGS WITH 4 OR MORE WATER CLOSETS PER CPC TABLE 7-5 FOOTNOTE 4.
- 44 ALL NEW PLUMBING FIXTURES SHALL BE CERTIFIED LOW FLOW FIXTURES
- 45 ALL NEW FIXTURES SHALL BE WATER CONSERVING, CPC 401.3
- 46 MINIMUM FIRE SEPERATION DISTANCE OF PROJECTIONS TO BE 30", WITH MINIMUM FIRE-RESISTANCE RATING OF 1 HOUR
- 47 BACKFLOW PROTECTION. FIXTURES INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON SUCH FLOOR LEVEL THAT ARE NOT BELOW THE NEXT UPSTREAM MANHOLE COVER SHALL NOT BE REQUIRED TO BE PROTECTED BY A BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. CLEANOUTS FOR DRAINS THAT PASS THROUGH A BACKWATER VALVE SHALL BE CLEARLY IDENTIFIED WITH A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM". PER CPC, SEC. 710.0



WALL MATERIAL KEY	
LOW WALL	[Symbol]
2"x 6" STUD FRAMED WALL	[Symbol]
2"x 4" STUD FRAMED WALL	[Symbol]
CONCRETE WALL	[Symbol]
CONCRETE WALL & 2"x 4" FLAT STUD FRAMING	[Symbol]
OPEN SPACE	
OPEN SPACE	[Symbol]
COVERED OPEN SPACE	[Symbol]

DESIGN+ DEVELOPMENT

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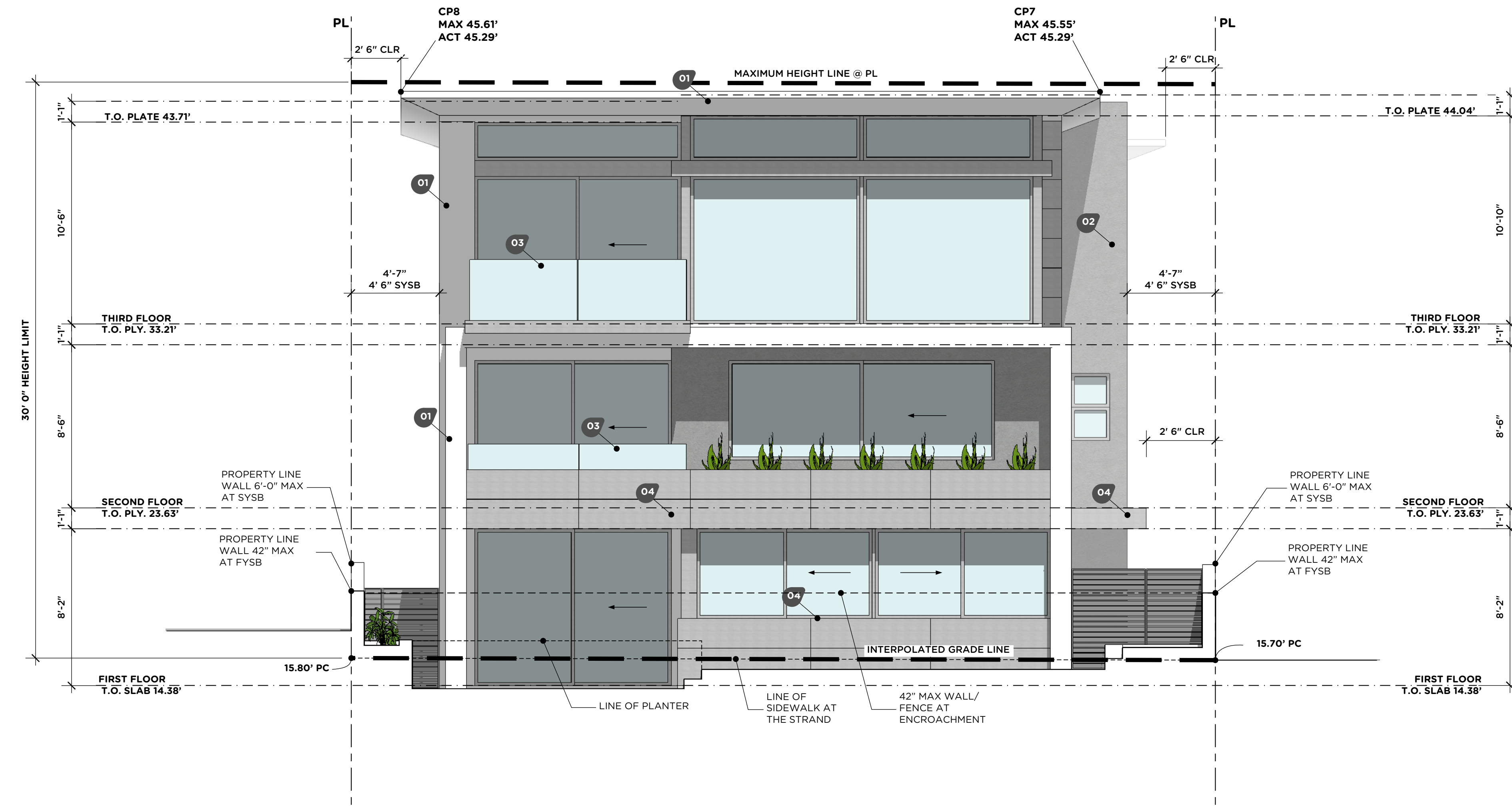
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REVISIONS
DATE 11/30/20
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2019.13
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SUBMITTALS 01/02/2020 PLANNING SUBMITTAL 02/21/2020 PLANNING RE-SUBMITTAL 04/15/2020 B&S SUBMITTAL 05/20/2020 B&S RE-SUBMITTAL 06/18/2020 B&S RE-SUBMITTAL 06/25/2020 FIRE SUBMITTAL 11/12/2020 PLANNING RE-SUBMITTAL
PROJECT NAME 44 THE STRAND
PROJECT ADDRESS 44 THE STRAND, HERMOSA BEACH
SHEET NAME FIRST FLOOR
SHEET NUMBER A-1.0

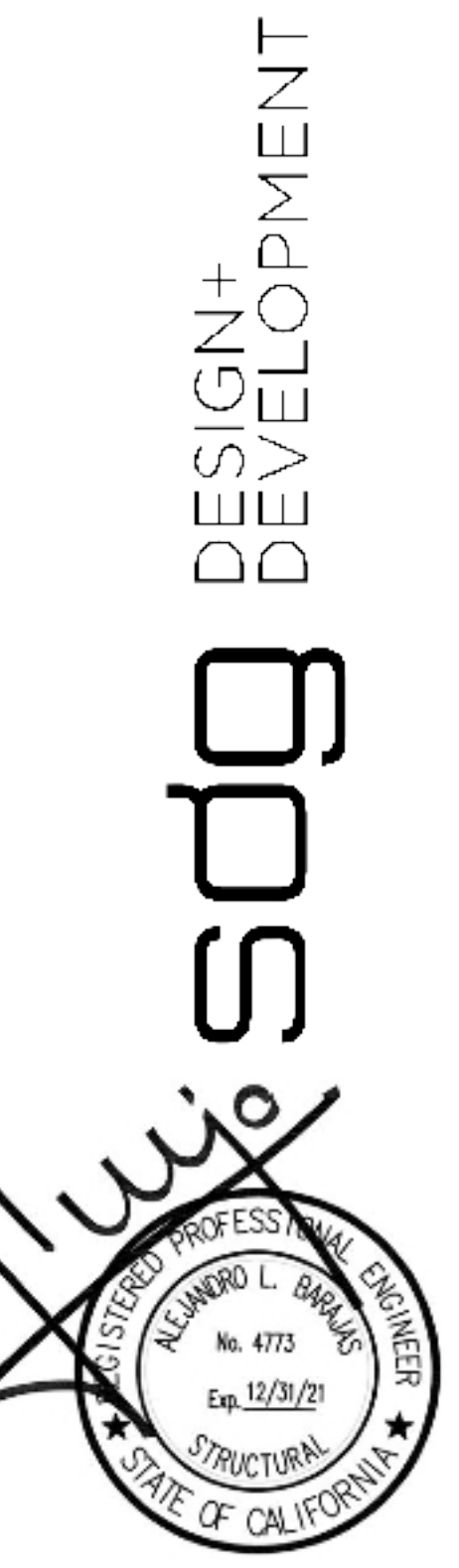
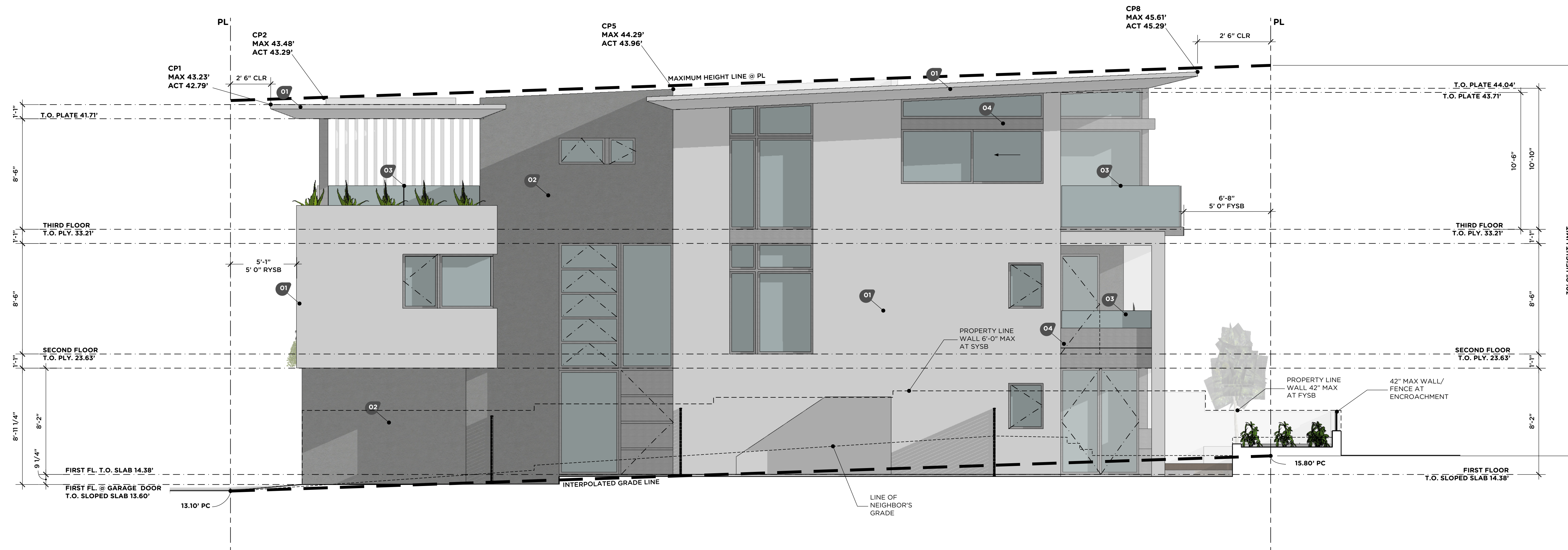
MATERIAL KEY

- 01 SMOOTH STUCCO/ WHITE
- 02 ROUGH STUCCO/ GREY
- 03 GLASS GUARDRAIL MIN 42" / ESR 3269 PER STRUCTURAL DWG
- 04 SHEET METAL CLADDING / TO MATCH WINDOWS

WEST
ELEVATION



NORTH
ELEVATION



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- 06/18/2020 B&S RE-SUBMITTAL
- 06/25/2020 FIRE SUBMITTAL

PROJECT NAME

44
THE STRAND

PROJECT ADDRESS

44 THE STRAND,
HERMOSA BEACH

SHEET NAME

ELEVATIONS

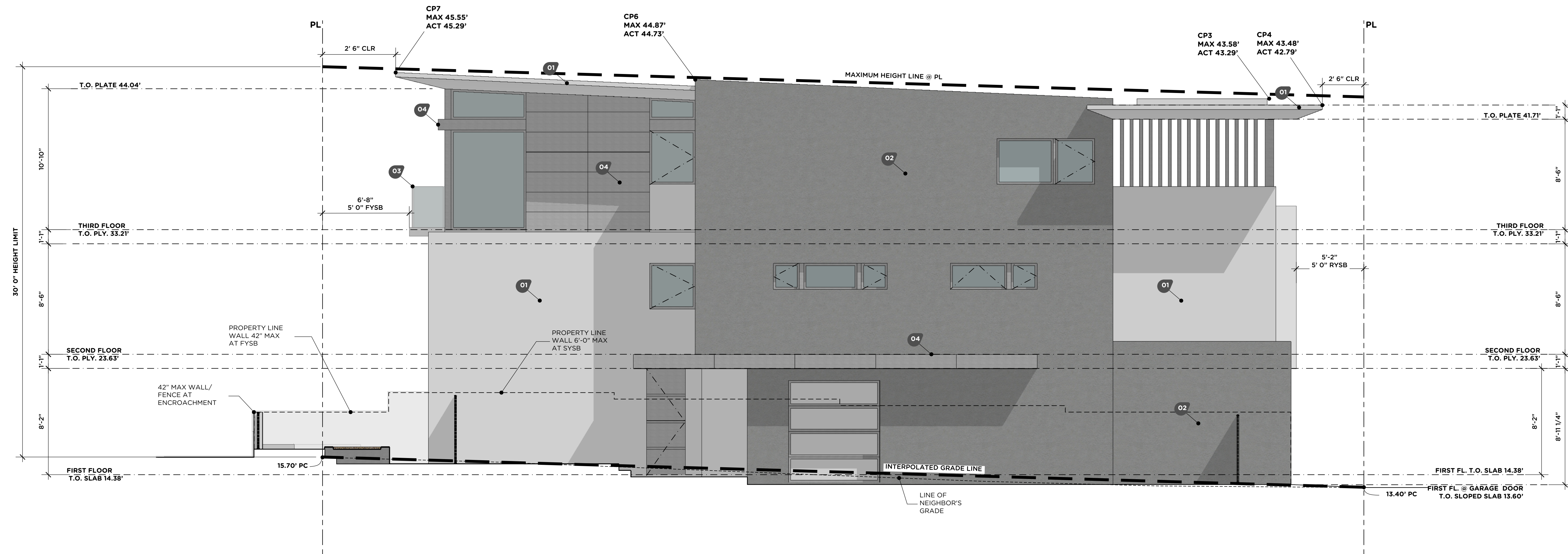
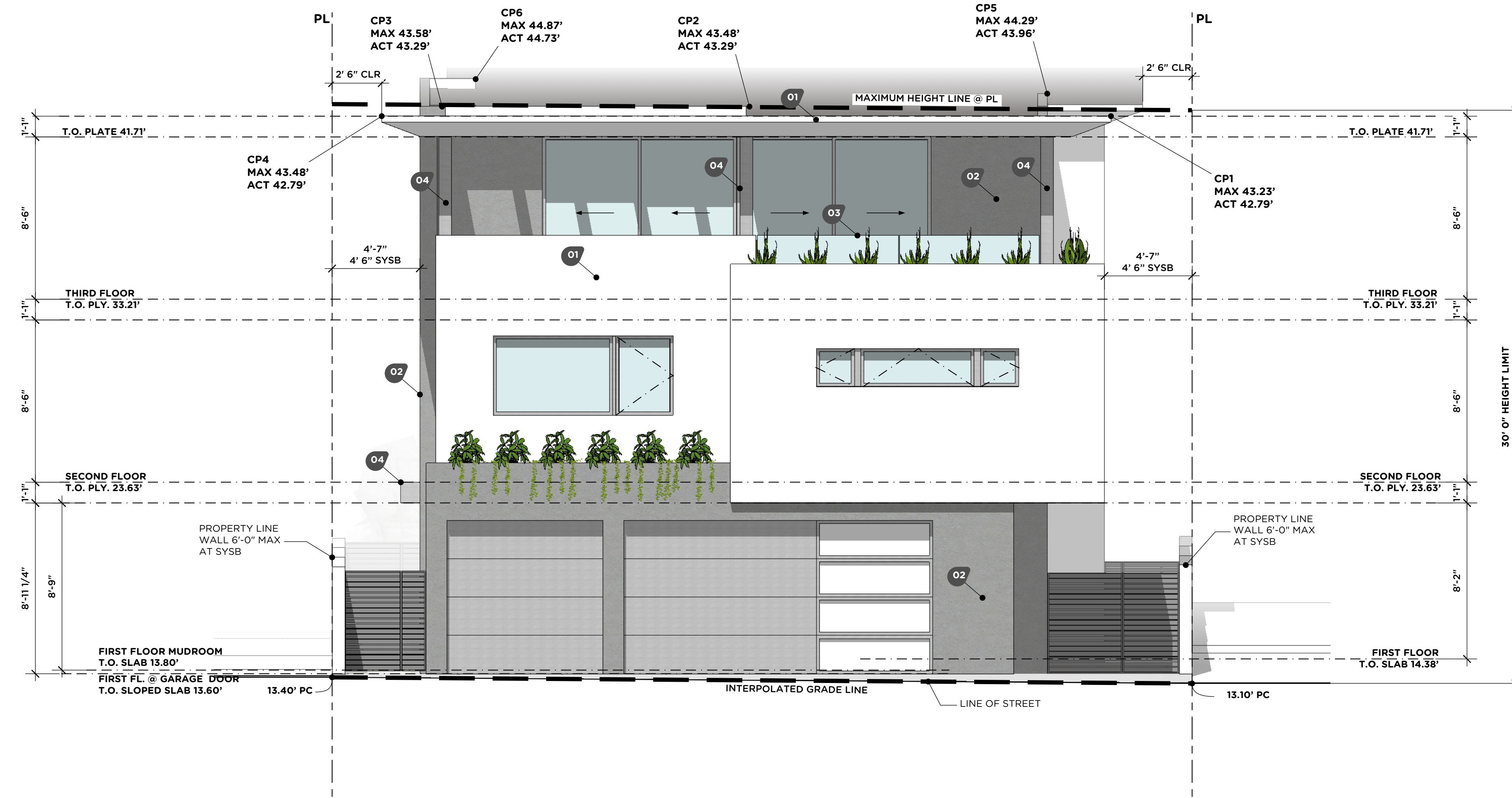
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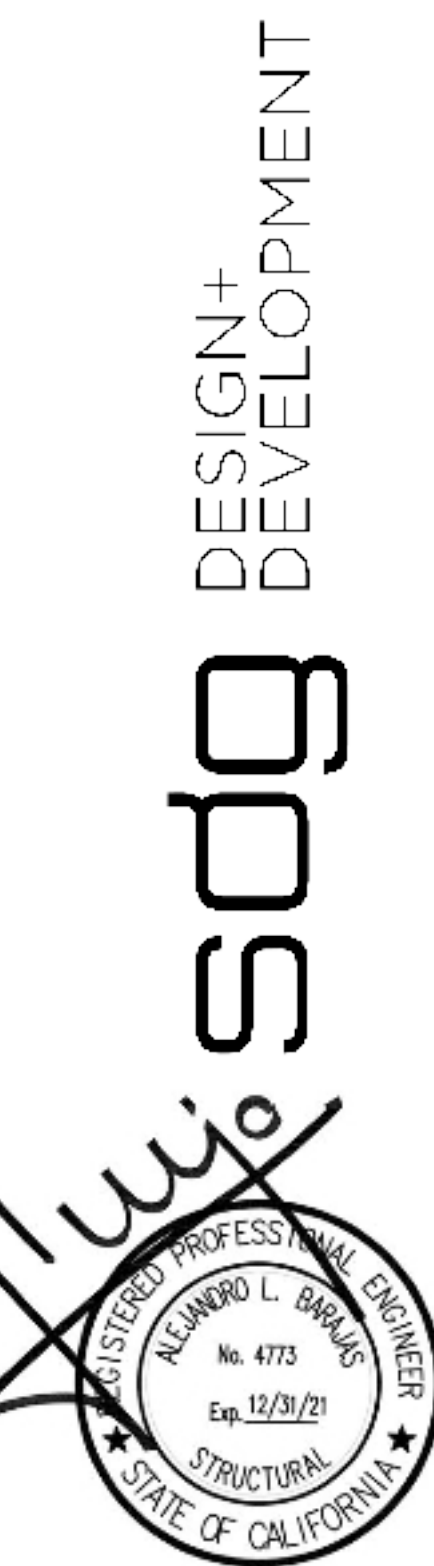
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- 04 SHEET METAL CLADDING / TO MATCH WINDOWS

EAST ELEVATION



SOUTH ELEVATION



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05/20/2020 B&S RE-SUBMITTAL

06/18/2020 B&S RE-SUBMITTAL

06/25/2020 FIRE SUBMITTAL

PROJECT NAME

44

THE STRAND

PROJECT ADDRESS

44 THE STRAND,
HERMOSA BEACH

SHEET NAME

ELEVATIONS

SHEET NUMBER

A3.1



SOUTH EAST
RENDERING



NORTH WEST
RENDERING

**RENDERINGS ARE FOR REFERENCE ONLY,
SEE ALL OTHER PAGES**



SOUTH WEST
RENDERING



NORTH EAST
RENDERING

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1/4" = 1'-0"

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- 06/25/2020 FIRE SUBMITTAL

PROJECT NAME

**44
THE STRAND**

PROJECT ADDRESS

44 THE STRAND,
HERMOSA BEACH

SHEET NAME

RENDERINGS

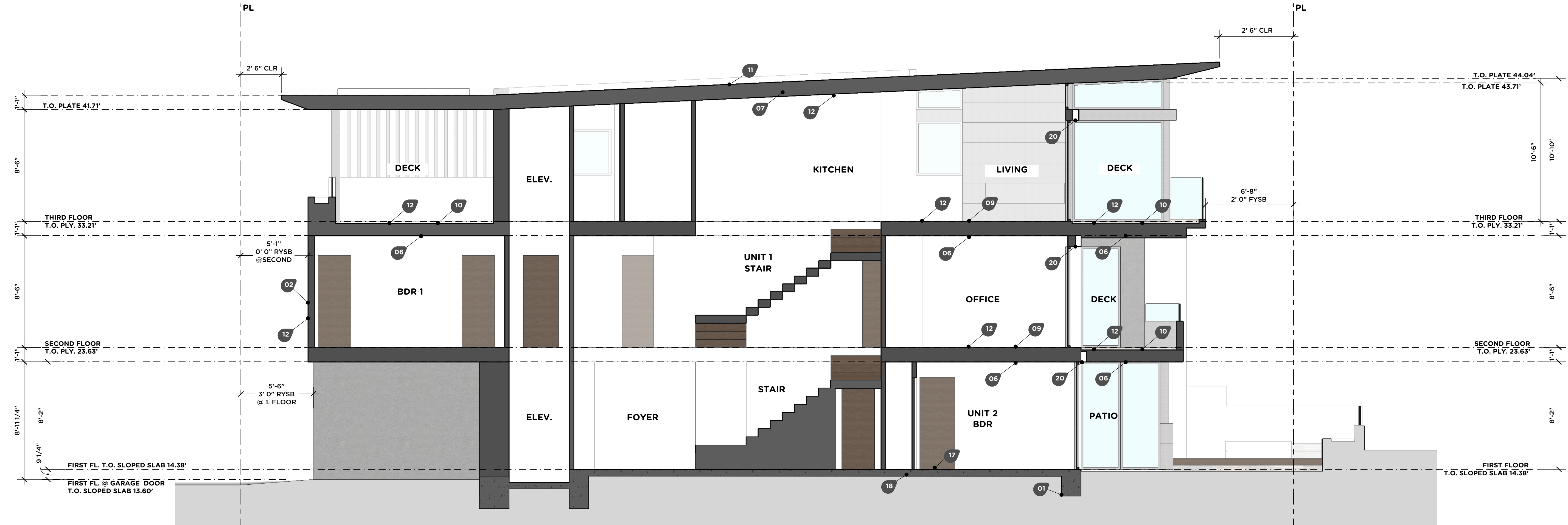
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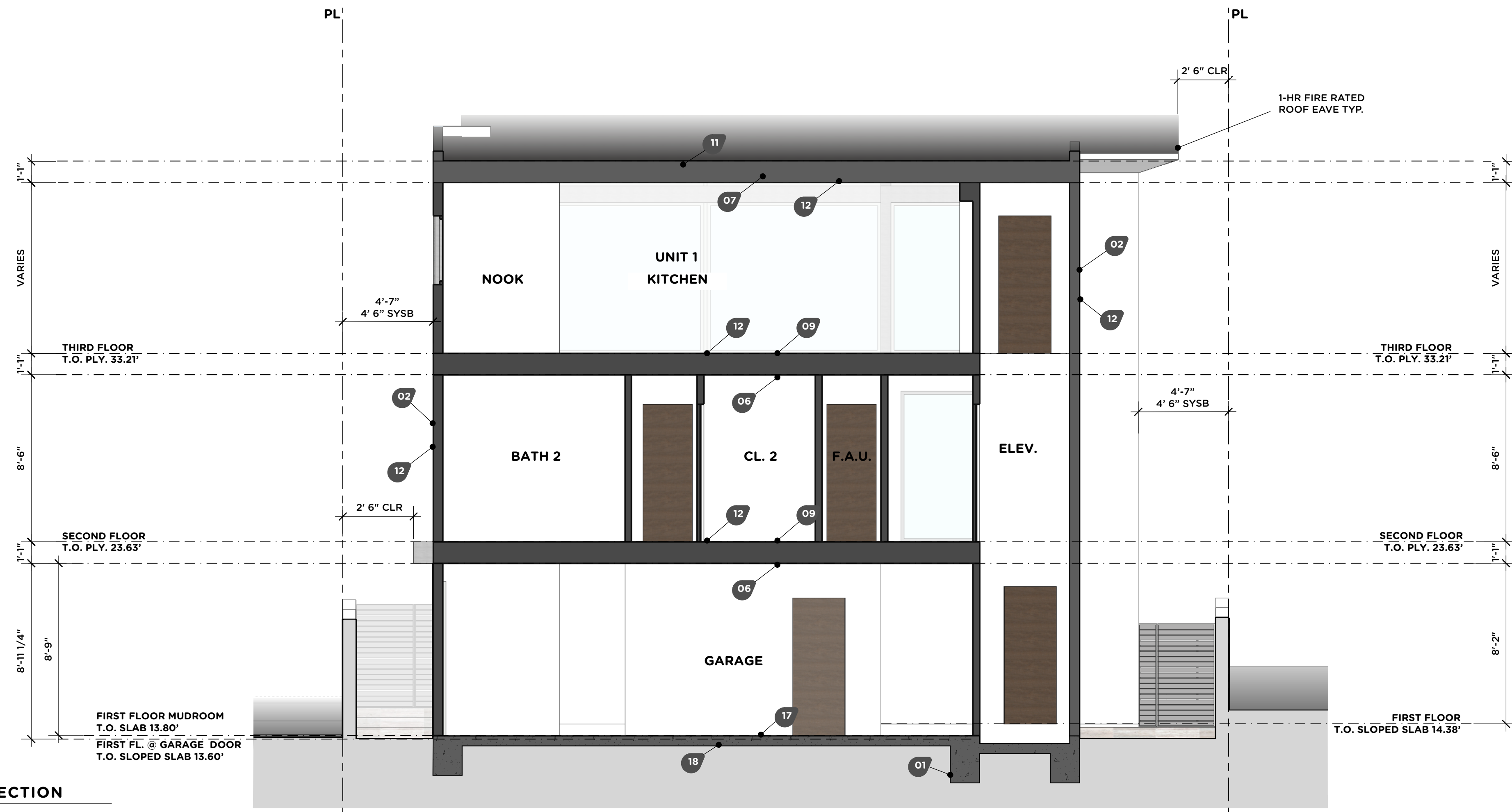
NOTES:

- 01 CONCRETE STEM FOOTING PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- 02 EXTERIOR HOUSE STUDS: U.N.O. SEE FLOOR PLAN WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER. FIREBLOCK STUDS AT CEILING AND AT MID-HEIGHT STUDS BETWEEN FINISH FLOOR AND CEILING HEIGHT PER STRUCTURAL ENGINEER.
- 03 INTERIOR WALL STUDS: 2x4's (EXCEPT WHERE NOTED OTHERWISE ON FLOOR PLANS) WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 04 EXTERIOR AND INTERIOR THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE ROWS OF 2x6 STUDS, SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 05 DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS, AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION.
- 06 TRUSS JOIST FLOOR SYSTEM: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, BLOCKING AND SPECIFICATIONS.
- 07 ROOF RAFTERS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 08 CEILING JOISTS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 09 FLOOR SHEATHING: 1-1/8" TONGUE AND GROOVE PLYWOOD. PROVIDE A CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE BETWEEN PLYWOOD AND SUPPORTS. ALL FLOOR SHEATHING TO BE SCREWED. SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 10 DECK SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. SLOPE SHEATHING 1/4" PER 1'-0" TO DRAINS. VERIFY WITH DECK MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 11 ROOF SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. VERIFY WITH ROOF MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 12 THERMAL INSULATION: ALL WALLS AND ROOFS TO BE THERMAL INSULATED PER THE ENERGY CALCULATIONS
 R-30 FACTOR SHALL BE USED IN ALL CATH. CEILING
 R-19 FACTOR THERMAL INSULATION AT ALL 2x6 EXTERIOR WALLS.
 R-30 FACTOR SHALL BE USED IN ALL ROOF INSULATION PER THE ENERGY CALCULATIONS
 R-30 FACTOR THERMAL INSULATION AT ALL FLOOR JOIST AREAS.
 R-19 AT INTERIOR WALLS FOR NOISE REDUCTION.
 R-30 FACTOR SHALL BE USED IN ALL DECK
 R-4.2 FACTOR SHALL BE USED FOR ALL HVAC - DISTRIBUTION SYSTEMS DUCTS
- 13 5/8" GYPSUM BOARD FINISH FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS.
- 14 EXTERIOR PLASTER OVER WIRE LATH AND 1 LAYER GRADE D BUILDING PAPER (SUPER JUMBO TEK OR EQ.) OVER 1 LAYER TYVEK OR TYPAR. ALL CORNERS BEADED.
- 15 ALL GUARDRAILS SHALL BE A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE. SEE DETAILS PER STURCTUAL ENGINEER.
- 16 PROVIDE COSELLA DORKEN DELTA DRAIN 6200 O/ BENTONITE WATERPROOFING (CETCO VOLCLAY SWELLTITE LA RRF 24735 OR APPROVED EQUAL) O/ SELF-ADHERING SHEET/ RUBBERIZED ASPHALT SHEET WATERPROOFING (CETCO ENVIRO SHEET OR APPROVED EQUAL) FOR FOUNDATION WATERPROOFING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 17 CONCRETE SLAB PER STRUCTURAL DRAWINGS.
- 18 CONCRETE SLAB PER STRUCTURAL DRAWINGS O/ 2" SAND O/ WATERPROOF MEMBRANE O/ 2" SAND O/ GRAVEL BED OVER COMPACTED OR UNDISTURBED SOIL, TYP.
- 19 1" HIGH MIN. RIGID, NON-BIODEGRADABLE CANT WITH LIQUID MEMBRANE COATING AT TOP SURFACE, TYP.
- 20 EXTERIOR BLIND BY HELLA AR 92 ECN / SHADING POCKET IN CEILING, WALL OR IN FRONT OF TRANSOM BEAM/ SEE RCP AND WINDOW SCHEDULE

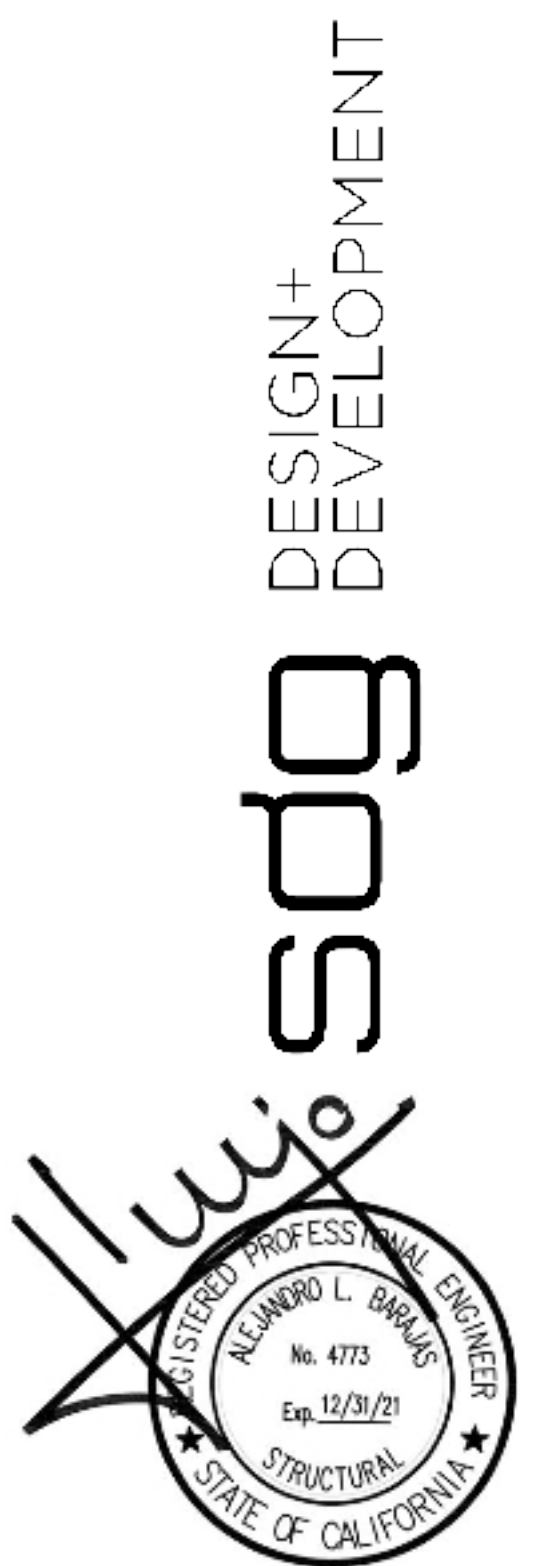
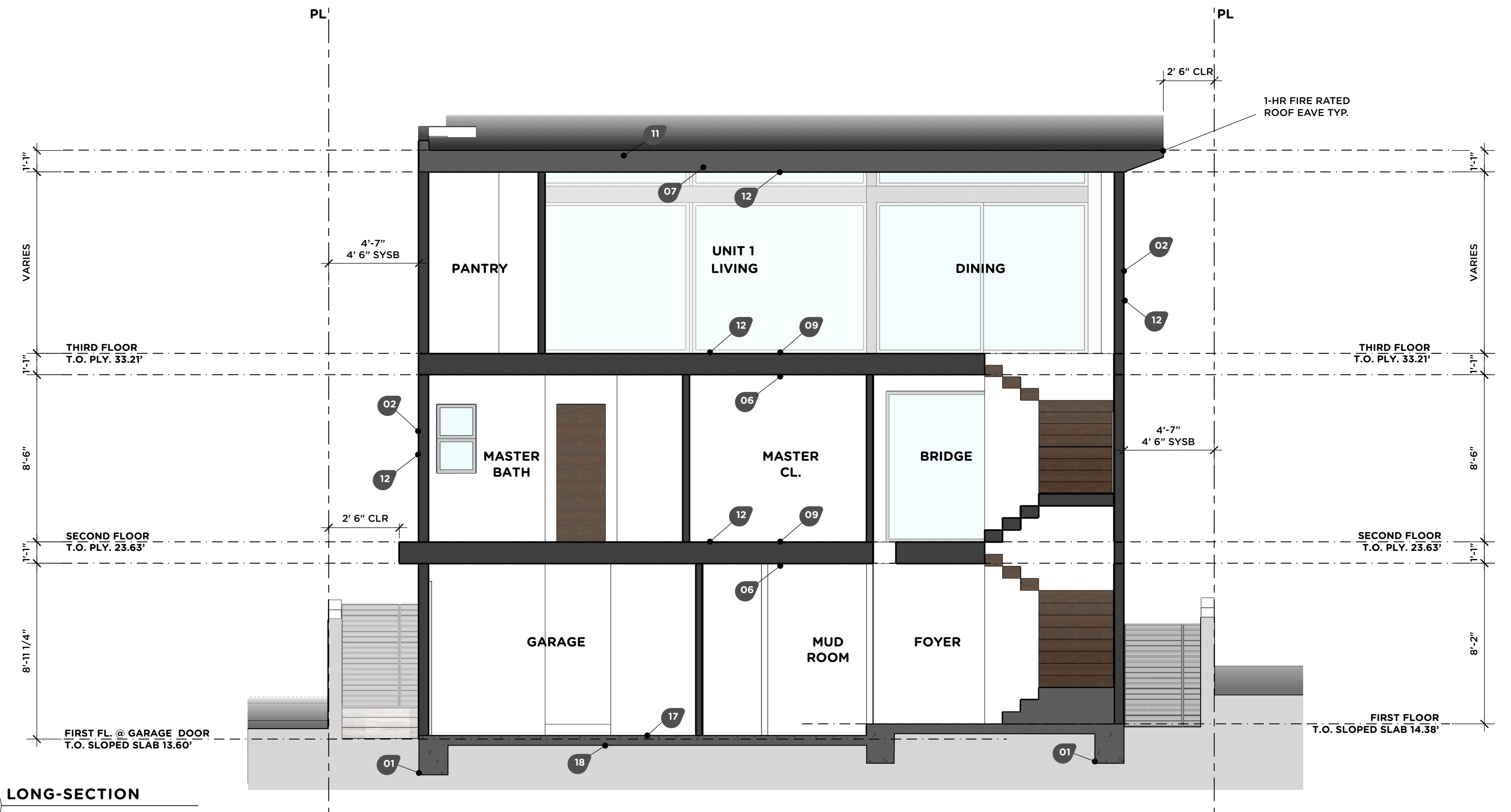
A CROSS-SECTION



B CROSS-SECTION



C LONG-SECTION



REVISIONS

NO.	DATE	DESCRIPTION

DATE
11/30/2020

SCALE
1/4" = 1'-0"

PROJECT NUMBER
2019.13

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SUBMITTALS
 01/02/2020 PLANNING SUBMITTAL
 02/21/2020 PLANNING RE-SUBMITTAL
 04/15/2020 B&S SUBMITTAL
 05/20/2020 B&S RE-SUBMITTAL
 06/18/2020 B&S RE-SUBMITTAL
 06/25/2020 FIRE SUBMITTAL

PROJECT NAME

44 THE STRAND

PROJECT ADDRESS
44 THE STRAND,
HERMOSA BEACH

SHEET NAME

SECTIONS

SHEET NUMBER
A4.0